

AREA STATEMENT

TOTAL PLOT AREA = 3728.00 SQ.MT

TOTAL ROAD WIDENING AREA = 91.87 SQ.MT

NET PLOT AREA AS PER SITE = 3636.13 SQ.MT

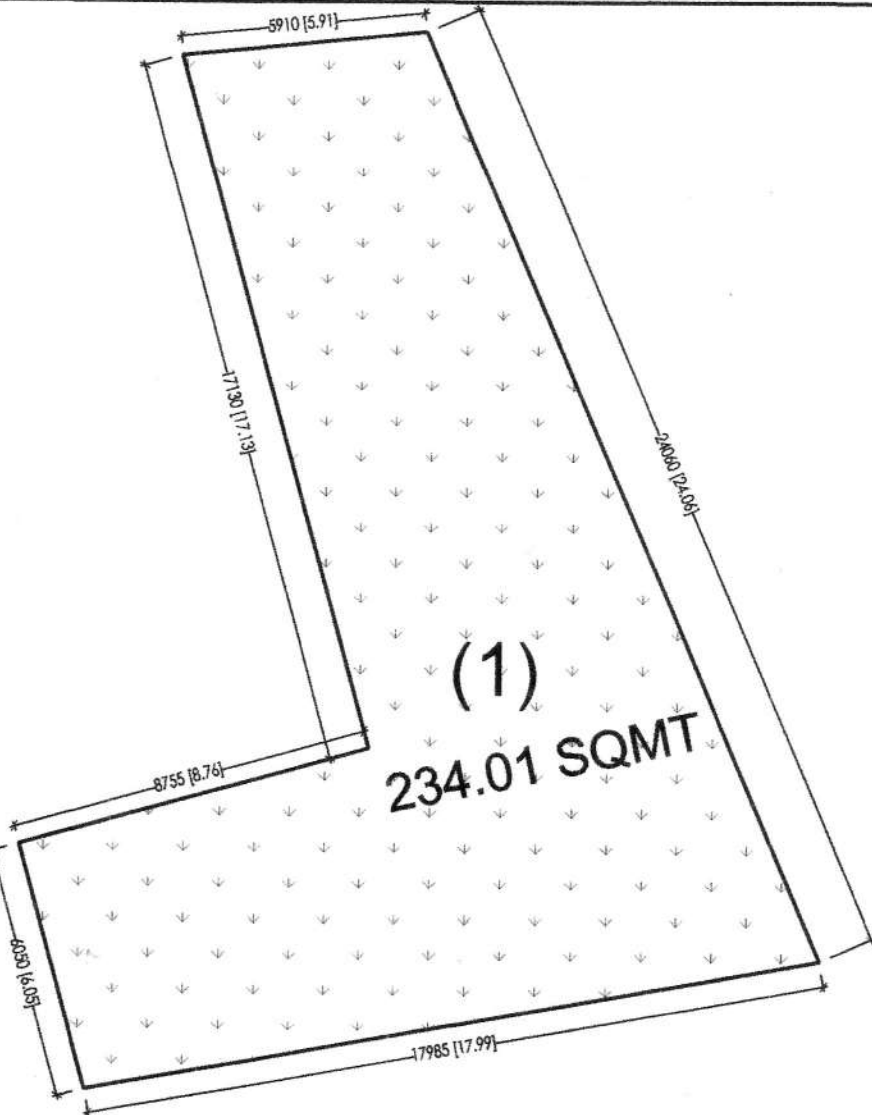
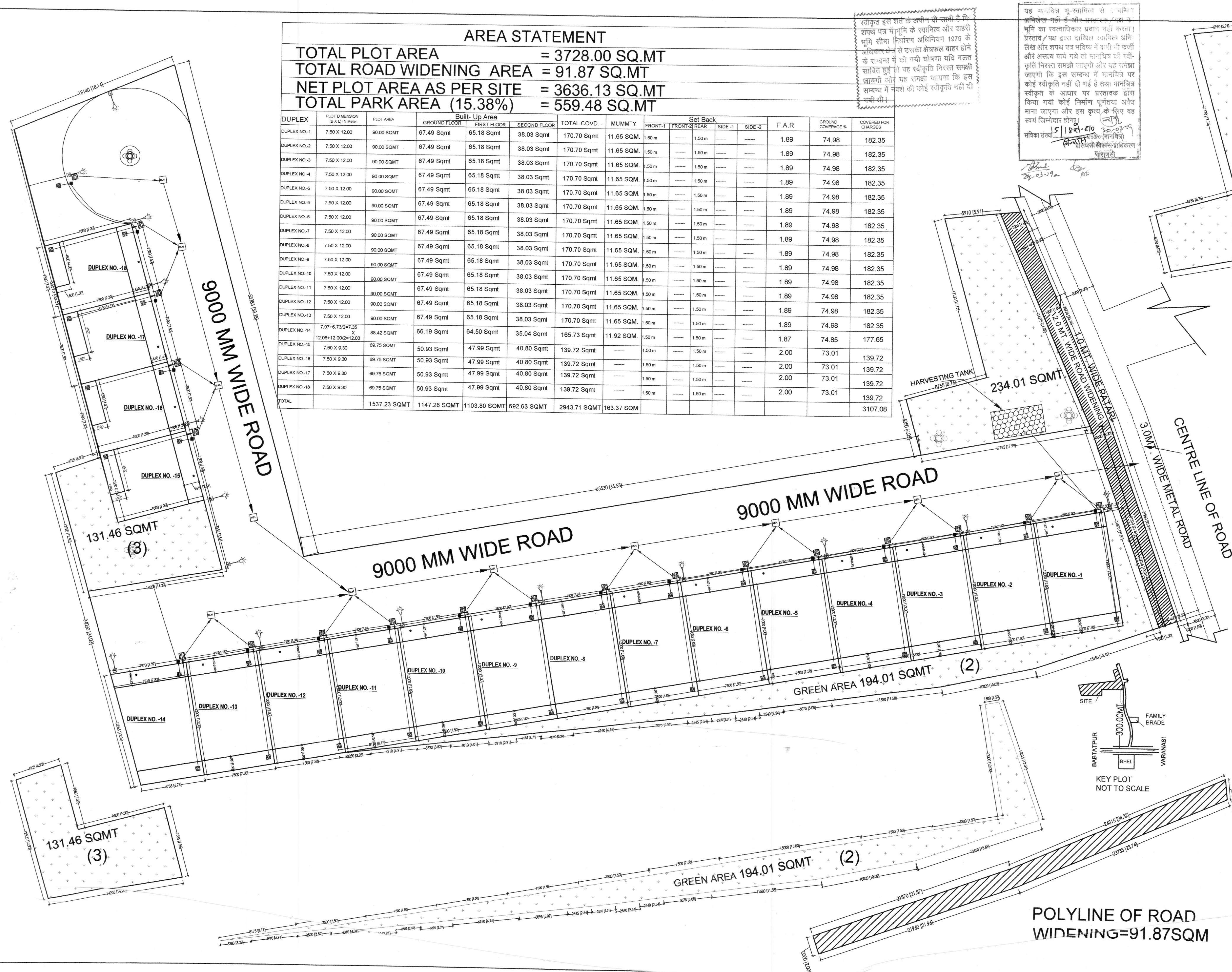
TOTAL PARK AREA (15.38%) = 559.48 SQ.MT

DUPLEX	PLOT DIMENSION (B X L) IN Meter	PLOT AREA	Built-Up Area			TOTAL COVD. -	MUMMTY	Set Back				F.A.R.	GROUND COVERAGE %	COVERED FOR CHARGES
			GROUND FLOOR	FIRST FLOOR	SECOND FLOOR			FRONT-1	FRONT-2	REAR	SIDE-1	SIDE-2		
DUPLEX NO.-1	7.50 X 12.00	90.00 SQMT	67.49 Sqmt	65.18 Sqmt	38.03 Sqmt	170.70 Sqmt	11.65 SQM.	1.50 m	-----	1.50 m	-----	-----	1.89	74.98
DUPLEX NO.-2	7.50 X 12.00	90.00 SQMT	67.49 Sqmt	65.18 Sqmt	38.03 Sqmt	170.70 Sqmt	11.65 SQM.	1.50 m	-----	1.50 m	-----	-----	1.89	74.98
DUPLEX NO.-3	7.50 X 12.00	90.00 SQMT	67.49 Sqmt	65.18 Sqmt	38.03 Sqmt	170.70 Sqmt	11.65 SQM.	1.50 m	-----	1.50 m	-----	-----	1.89	74.98
DUPLEX NO.-4	7.50 X 12.00	90.00 SQMT	67.49 Sqmt	65.18 Sqmt	38.03 Sqmt	170.70 Sqmt	11.65 SQM.	1.50 m	-----	1.50 m	-----	-----	1.89	74.98
DUPLEX NO.-5	7.50 X 12.00	90.00 SQMT	67.49 Sqmt	65.18 Sqmt	38.03 Sqmt	170.70 Sqmt	11.65 SQM.	1.50 m	-----	1.50 m	-----	-----	1.89	74.98
DUPLEX NO.-6	7.50 X 12.00	90.00 SQMT	67.49 Sqmt	65.18 Sqmt	38.03 Sqmt	170.70 Sqmt	11.65 SQM.	1.50 m	-----	1.50 m	-----	-----	1.89	74.98
DUPLEX NO.-7	7.50 X 12.00	90.00 SQMT	67.49 Sqmt	65.18 Sqmt	38.03 Sqmt	170.70 Sqmt	11.65 SQM.	1.50 m	-----	1.50 m	-----	-----	1.89	74.98
DUPLEX NO.-8	7.50 X 12.00	90.00 SQMT	67.49 Sqmt	65.18 Sqmt	38.03 Sqmt	170.70 Sqmt	11.65 SQM.	1.50 m	-----	1.50 m	-----	-----	1.89	74.98
DUPLEX NO.-9	7.50 X 12.00	90.00 SQMT	67.49 Sqmt	65.18 Sqmt	38.03 Sqmt	170.70 Sqmt	11.65 SQM.	1.50 m	-----	1.50 m	-----	-----	1.89	74.98
DUPLEX NO.-10	7.50 X 12.00	90.00 SQMT	67.49 Sqmt	65.18 Sqmt	38.03 Sqmt	170.70 Sqmt	11.65 SQM.	1.50 m	-----	1.50 m	-----	-----	1.89	74.98
DUPLEX NO.-11	7.50 X 12.00	90.00 SQMT	67.49 Sqmt	65.18 Sqmt	38.03 Sqmt	170.70 Sqmt	11.65 SQM.	1.50 m	-----	1.50 m	-----	-----	1.89	74.98
DUPLEX NO.-12	7.50 X 12.00	90.00 SQMT	67.49 Sqmt	65.18 Sqmt	38.03 Sqmt	170.70 Sqmt	11.65 SQM.	1.50 m	-----	1.50 m	-----	-----	1.89	74.98
DUPLEX NO.-13	7.50 X 12.00	90.00 SQMT	67.49 Sqmt	65.18 Sqmt	38.03 Sqmt	170.70 Sqmt	11.65 SQM.	1.50 m	-----	1.50 m	-----	-----	1.89	74.98
DUPLEX NO.-14	7.97 X 6.73 (2) = 7.35 X 12.06 (12.00) (2) = 12.03	88.42 SQMT	66.19 Sqmt	64.50 Sqmt	35.04 Sqmt	165.73 Sqmt	11.92 SQM.	1.50 m	-----	1.50 m	-----	-----	1.87	74.85
DUPLEX NO.-15	7.50 X 9.30	69.75 SQMT	50.93 Sqmt	47.99 Sqmt	40.80 Sqmt	139.72 Sqmt	-----	1.50 m	-----	1.50 m	-----	-----	2.00	73.01
DUPLEX NO.-16	7.50 X 9.30	69.75 SQMT	50.93 Sqmt	47.99 Sqmt	40.80 Sqmt	139.72 Sqmt	-----	1.50 m	-----	1.50 m	-----	-----	2.00	73.01
DUPLEX NO.-17	7.50 X 9.30	69.75 SQMT	50.93 Sqmt	47.99 Sqmt	40.80 Sqmt	139.72 Sqmt	-----	1.50 m	-----	1.50 m	-----	-----	2.00	73.01
DUPLEX NO.-18	7.50 X 9.30	69.75 SQMT	50.93 Sqmt	47.99 Sqmt	40.80 Sqmt	139.72 Sqmt	-----	1.50 m	-----	1.50 m	-----	-----	2.00	73.01
TOTAL		1537.23 SQMT	1147.28 SQMT	1103.80 SQMT	692.63 SQMT	2943.71 SQMT	163.37 SQM							3107.08

स्वीकृत इस शर्त के अधीन की जाती है कि शपथ पत्र में भूमि के स्वामित्व और शहरी भूमि सीमा निर्धारण अधिनियम 1978 के अधिनियम के तहत क्षेत्रफल बाहर होने की गयी घोषणा यदि गलत साबित हुई तो वह स्वीकृति निरस्त समझी जायेगी और यह समझा जायेगा कि इस सम्बन्ध में नक्शे की कोई स्वीकृति नहीं दी गयी थी।

यह मानचित्र मूल्यांकित क्षेत्र में स्थित भूमि का स्वामित्व प्रमाण नहीं करता। प्रस्ताव/पत्र द्वारा दस्तखत स्वामित्व अभिलेख और शपथ पत्र भविष्य में कभी भी कलई और असत्य पाये गये तो मानचित्र की स्वीकृति निरस्त समझी जायेगी और यह समझा जायेगा कि इस सम्बन्ध में मानचित्र पर कोई स्वीकृति नहीं दी गई है तथा मानचित्र स्वीकृति के आधार पर प्रस्तावक द्वारा किया गया कोई निर्माण पूर्णतया अवैध माना जाएगा और इस कृत्य के लिए वह स्वयं जिम्मेदार होगा।

5/18/2019 30.03.19
साधिका संख्या: 18/2019 (मानचित्र)
शहरी विकास प्राधिकरण
वाराणसी



PROPOSED ROW HOUSE PLAN OF
SITUATED AT ARAZI NO. -497 & 498,
MAUZA -TARNA, WARD- SHIVPUR,
PARAGANA-SHIVPUR, TEHSHIAL:-
SADAR ,DISTT-VARANASI.

OWNER NAME:-
SMT. DHANWANTI DEVI, W/O LATE
SRI RAJBABADUR SINGH.
SMT KRISHNA SINGH, W/O LATE SRI RAJESH
PRATAP SINGH
SRI RAJNISH SINGH S/O LATE SRI RAJESH
PRATAP SINGH
SRI RAVI PRAKASH SINGH, S/O LATE SRI DHIRENDRA
PRATAP SINGH.

SHEET NO.
2

SCALE
N.T.S

OWNER SIG. धनवन्ती देवी
रजेश सिंह
रवि प्रकाश सिंह

DESIGN CENTRE
ARCHITECT ENGINEER INTT.
DESIGNER VALUER
OFFICE NO.11 IIND FLOOR
P.C.F. PLAZA MINT HOUSE
NADESAR VARANASI
PH. NO. 0542,2505233

ARCHITECT

AREA STATEMENT

TOTAL PLOT AREA

= 3728.00 SQ.MT

TOTAL ROAD WIDENING AREA

= 91.87 SQ.MT

NET PLOT AREA AS PER SITE

= 3636.13 SQ.MT

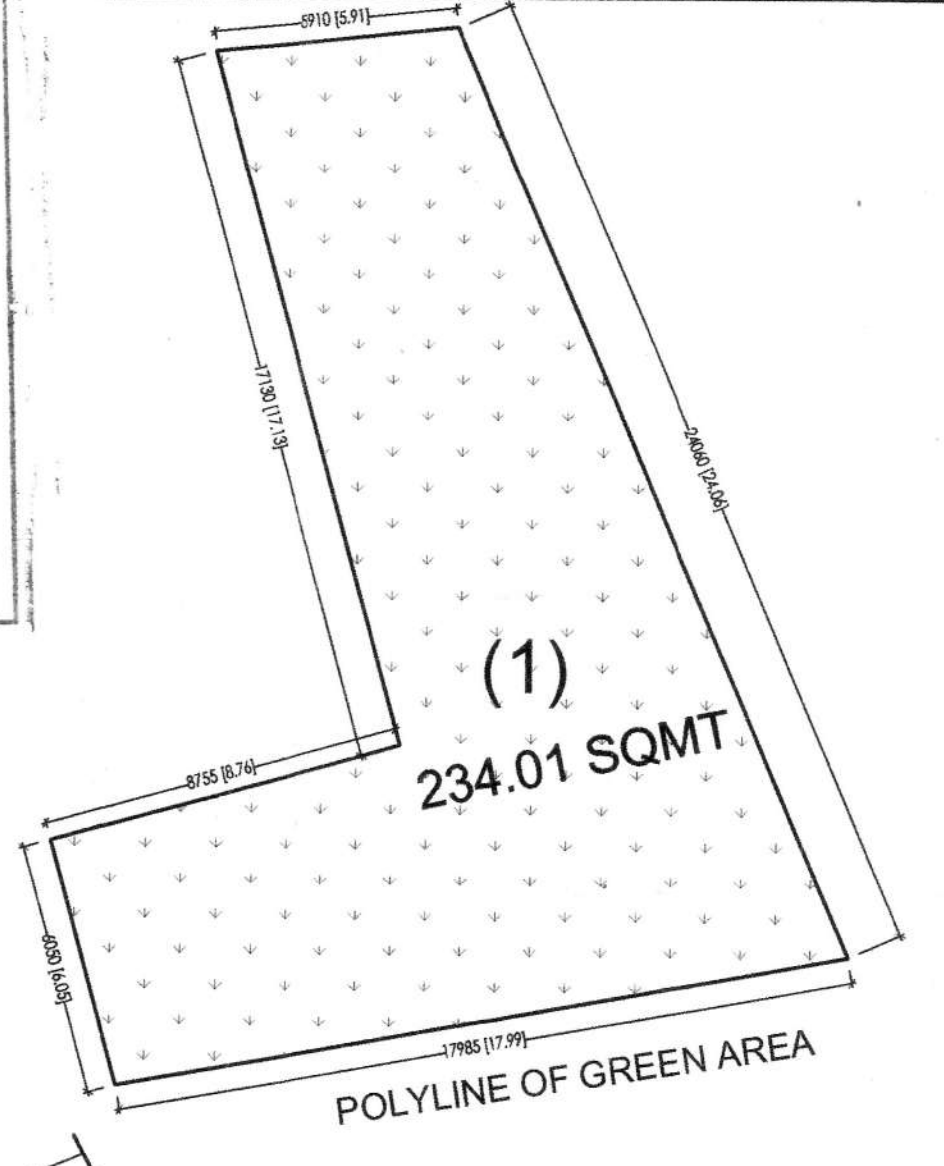
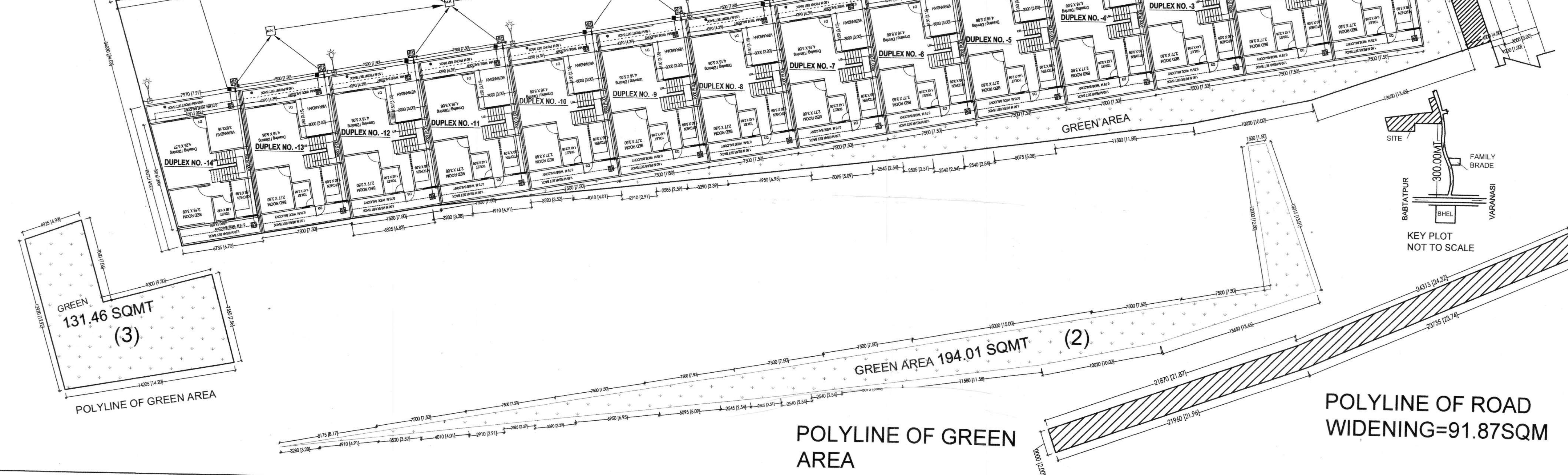
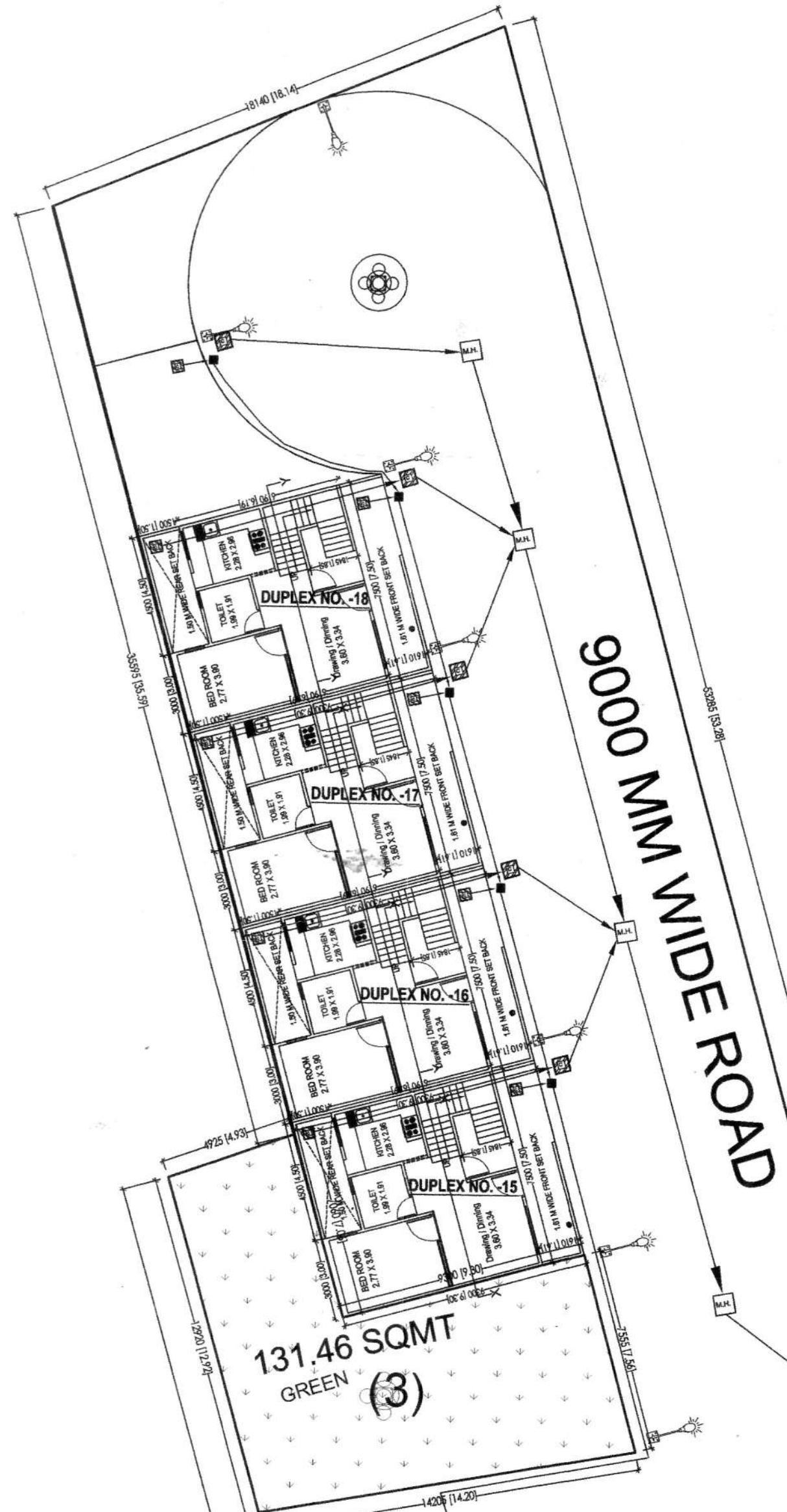
TOTAL PARK AREA (15.38%)

= 559.48 SQ.MT

DUPLEX	PLOT DIMENSION (B X L) IN Meter	PLOT AREA	Built-Up Area			TOTAL COVD. -	MUMMTY	Set Back					F.A.R.	GROUND COVERAGE %	COVERED FOR CHARGES
			GROUND FLOOR	FIRST FLOOR	SECOND FLOOR			FRONT-1	FRONT-2	REAR	SIDE-1	SIDE-2			
DUPLEX NO-1	7.50 X 12.00	90.00 SQMT	67.49 Sqmt	65.18 Sqmt	38.03 Sqmt	170.70 Sqmt	11.65 SQM.	1.50m	-----	1.50m	-----	-----	1.89	74.98	182.35
DUPLEX NO-2	7.50 X 12.00	90.00 SQMT	67.49 Sqmt	65.18 Sqmt	38.03 Sqmt	170.70 Sqmt	11.65 SQM.	1.50m	-----	1.50m	-----	-----	1.89	74.98	182.35
DUPLEX NO-3	7.50 X 12.00	90.00 SQMT	67.49 Sqmt	65.18 Sqmt	38.03 Sqmt	170.70 Sqmt	11.65 SQM.	1.50m	-----	1.50m	-----	-----	1.89	74.98	182.35
DUPLEX NO-4	7.50 X 12.00	90.00 SQMT	67.49 Sqmt	65.18 Sqmt	38.03 Sqmt	170.70 Sqmt	11.65 SQM.	1.50m	-----	1.50m	-----	-----	1.89	74.98	182.35
DUPLEX NO-5	7.50 X 12.00	90.00 SQMT	67.49 Sqmt	65.18 Sqmt	38.03 Sqmt	170.70 Sqmt	11.65 SQM.	1.50m	-----	1.50m	-----	-----	1.89	74.98	182.35
DUPLEX NO-6	7.50 X 12.00	90.00 SQMT	67.49 Sqmt	65.18 Sqmt	38.03 Sqmt	170.70 Sqmt	11.65 SQM.	1.50m	-----	1.50m	-----	-----	1.89	74.98	182.35
DUPLEX NO-7	7.50 X 12.00	90.00 SQMT	67.49 Sqmt	65.18 Sqmt	38.03 Sqmt	170.70 Sqmt	11.65 SQM.	1.50m	-----	1.50m	-----	-----	1.89	74.98	182.35
DUPLEX NO-8	7.50 X 12.00	90.00 SQMT	67.49 Sqmt	65.18 Sqmt	38.03 Sqmt	170.70 Sqmt	11.65 SQM.	1.50m	-----	1.50m	-----	-----	1.89	74.98	182.35
DUPLEX NO-9	7.50 X 12.00	90.00 SQMT	67.49 Sqmt	65.18 Sqmt	38.03 Sqmt	170.70 Sqmt	11.65 SQM.	1.50m	-----	1.50m	-----	-----	1.89	74.98	182.35
DUPLEX NO-10	7.50 X 12.00	90.00 SQMT	67.49 Sqmt	65.18 Sqmt	38.03 Sqmt	170.70 Sqmt	11.65 SQM.	1.50m	-----	1.50m	-----	-----	1.89	74.98	182.35
DUPLEX NO-11	7.50 X 12.00	90.00 SQMT	67.49 Sqmt	65.18 Sqmt	38.03 Sqmt	170.70 Sqmt	11.65 SQM.	1.50m	-----	1.50m	-----	-----	1.89	74.98	182.35
DUPLEX NO-12	7.50 X 12.00	90.00 SQMT	67.49 Sqmt	65.18 Sqmt	38.03 Sqmt	170.70 Sqmt	11.65 SQM.	1.50m	-----	1.50m	-----	-----	1.89	74.98	182.35
DUPLEX NO-13	7.50 X 12.00	90.00 SQMT	67.49 Sqmt	65.18 Sqmt	38.03 Sqmt	170.70 Sqmt	11.65 SQM.	1.50m	-----	1.50m	-----	-----	1.89	74.98	182.35
DUPLEX NO-14	7.97*6.732=7.35	88.42 SQMT	66.19 Sqmt	64.50 Sqmt	35.04 Sqmt	165.73 Sqmt	11.92 SQM.	1.50m	-----	1.50m	-----	-----	1.87	74.85	177.65
DUPLEX NO-15	12.06*12.002=12.03	69.75 SQMT	50.93 Sqmt	47.99 Sqmt	40.80 Sqmt	139.72 Sqmt	-----	1.50m	-----	1.50m	-----	-----	2.00	73.01	139.72
DUPLEX NO-16	7.50 X 9.30	69.75 SQMT	50.93 Sqmt	47.99 Sqmt	40.80 Sqmt	139.72 Sqmt	-----	1.50m	-----	1.50m	-----	-----	2.00	73.01	139.72
DUPLEX NO-17	7.50 X 9.30	69.75 SQMT	50.93 Sqmt	47.99 Sqmt	40.80 Sqmt	139.72 Sqmt	-----	1.50m	-----	1.50m	-----	-----	2.00	73.01	139.72
DUPLEX NO-18	7.50 X 9.30	69.75 SQMT	50.93 Sqmt	47.99 Sqmt	40.80 Sqmt	139.72 Sqmt	-----	1.50m	-----	1.50m	-----	-----	2.00	73.01	139.72
TOTAL		1537.23 SQMT	1147.28 SQMT	1103.80 SQMT	692.63 SQMT	2943.71 SQMT	163.37 SQM								3107.08

स्वीकृत इस शर्त के अधीन दी जाती है कि शपथ पत्र में भूमि के स्वामित्व और शहरी भूमि सीमा निर्धारण अधिनियम 1976 के अधिकार क्षेत्र से उसका क्षेत्रफल बाहर होने के सम्बन्ध में की गयी घोषणा यदि गलत साबित हुई तो वह स्वीकृति निरस्त समझी जायेगी और यह समझा जायेगा कि इस सम्बन्ध में नक्शे की कोई स्वीकृति नहीं दी गयी थी।

यह मानचित्र मन्सामित्व से अभिलेख नहीं है और प्रस्तावक को भूमि का स्वत्वाधिकार प्रदान नहीं करता। प्रस्ताव/पत्र द्वारा दाखिल स्वामित्व अभिलेख और शपथ पत्र भविष्य में कभी भी फर्जी और असत्य पाये गये तो मानचित्र की स्वीकृति निरस्त समझी जाएगी और यह समझा जाएगा कि इस सम्बन्ध में मानचित्र पर कोई स्वीकृति नहीं दी गई है तथा मानचित्र स्वीकृत के आधार पर प्रस्तावक द्वारा किया गया कोई निर्माण पूर्णतया अवैध माना जाएगा और इस कृत्य के लिए वह स्वयं जिम्मेदार होगा।
15/08/2020 3-03-19
सचिका संख्या: 15/08/2020 (मानचित्र)
वाराणसी विकास प्राधिकरण वाराणसी



PROPOSED ROW HOUSE PLAN OF ,SITUATED AT ARAZI NO. -497 & 498 , MAUZA -TARNA, WARD- SHIVPUR, PARAGANA-SHIVPUR, TEHSIAL:- SADAR ,DISTT-VARANASI.

OWNER NAME:-
SMT. DHANWANTI DEVI, W/O LATE SRI RAJBAHADUR SINGH.
SMT KRISHNA SINGH,W/O LATE SRI RAJESH PRATAP SINGH
SRI RAJNISH SINGH S/O LATE SRI RAJESH PRATAP SINGH
SRI RAVI PRAKASH SINGH, S/O LATE SRI DHIRENDRA PRATAP SINGH.

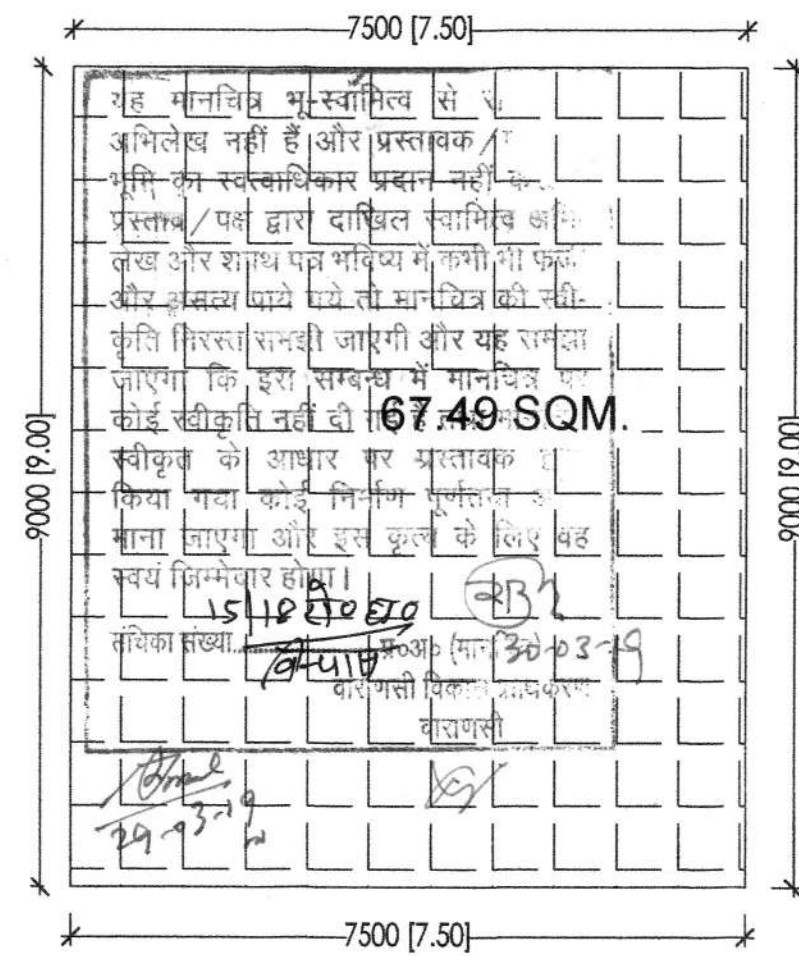
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SCALE N.T.S

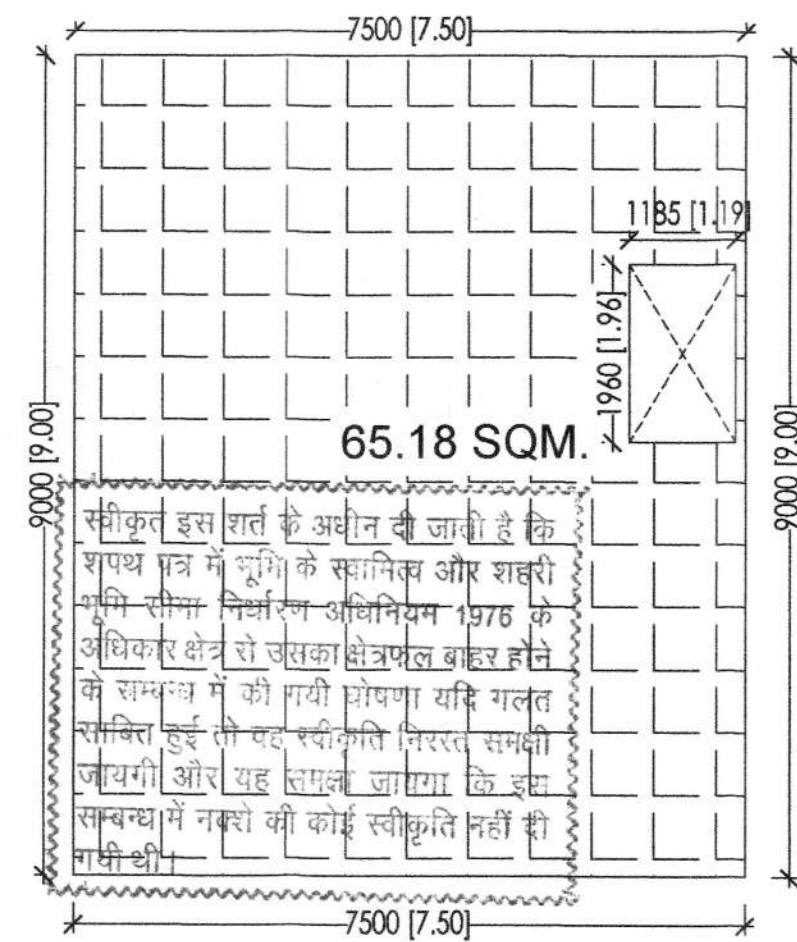
OWNER SIG. धनवन्ती देवी
रवि प्रकाश सिंह
राजेश सिंह

DESIGN CENTRE
ARCHITECT ENGINEER INTT. DESIGNER VALUER
OFFICE NO.11 IIND FLOOR
P.C.F. PLAZA MINT HOUSE
NADESAR VARANASI
PH. NO. 0542,2505233

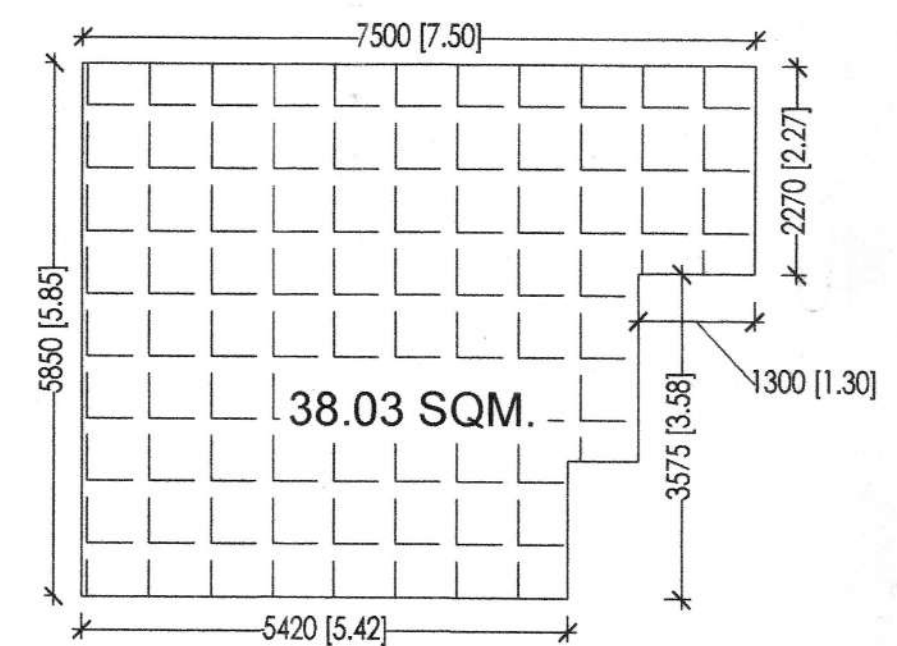
ARCHITECT
Architect Engineers Interior Design
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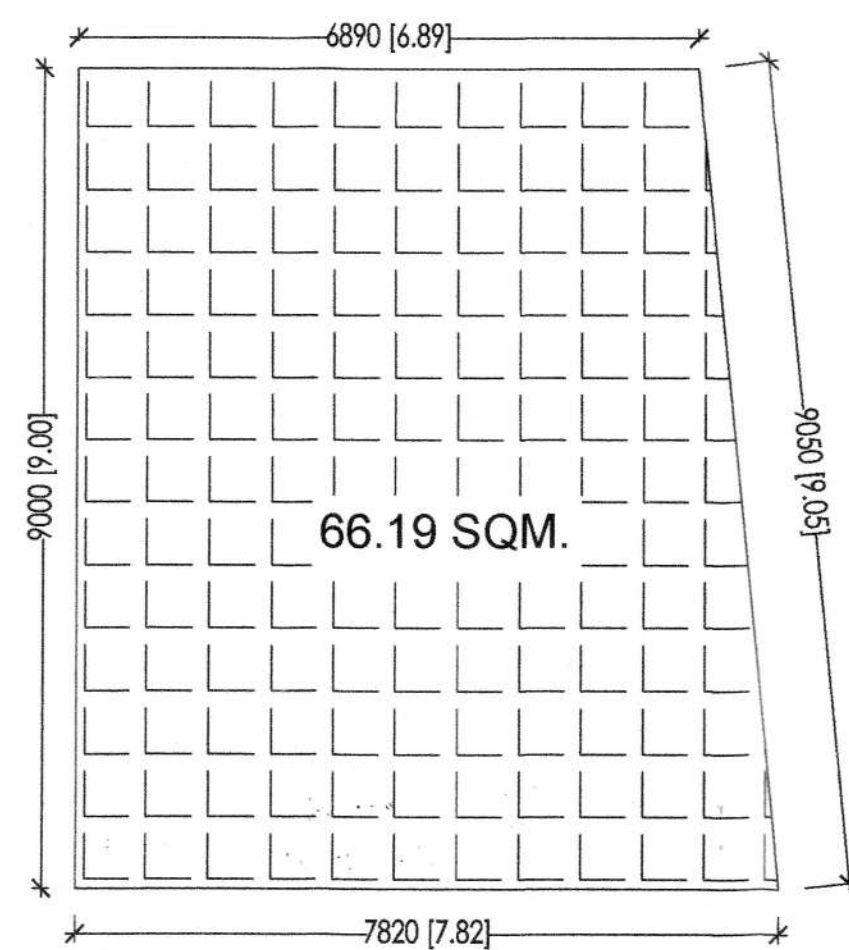
POLYLINE OF GROUND FLOOR
PLOT NO. 1.0 (67.49 SQM)
PLOT NO. 1.0 TO 13.0



POLYLINE OF FIRST FLOOR
PLOT NO. 1.0 (65.18 SQM)
PLOT NO. 1.0 TO 13.0



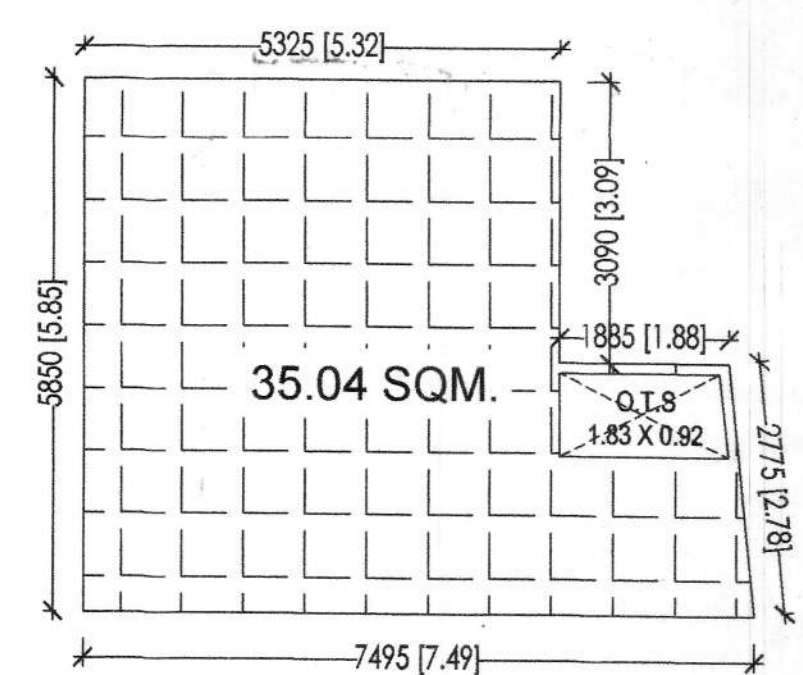
POLYLINE OF SECOND FLOOR
PLOT NO. 1.0 (38.03 SQM)
PLOT NO. 1.0 TO 13.0



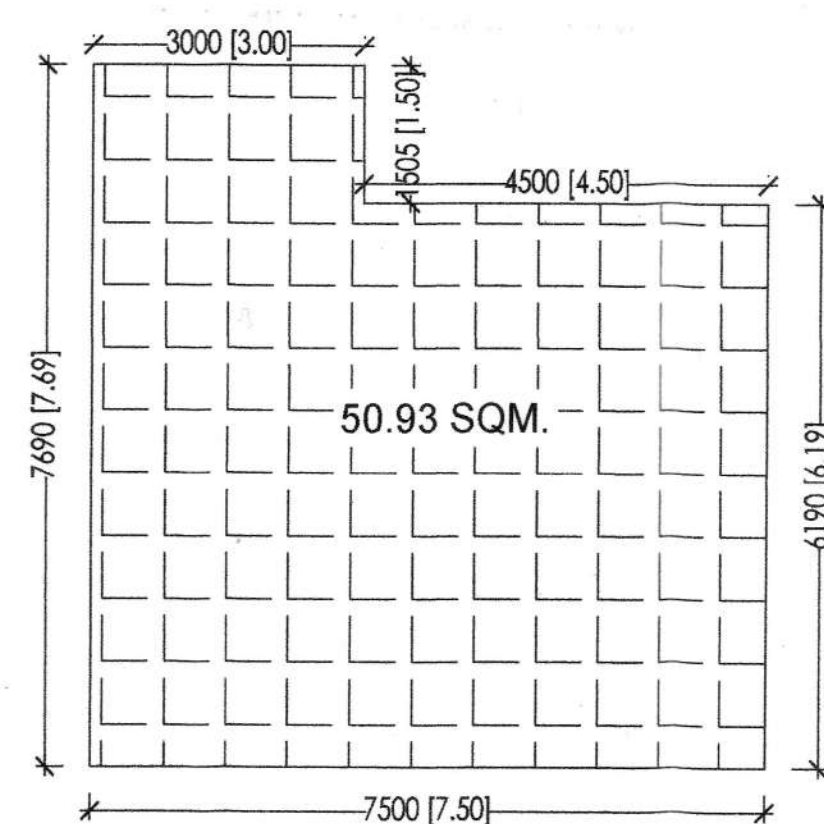
POLYLINE OF GROUND FLOOR
PLOT NO. 14.0 (66.19 SQM)



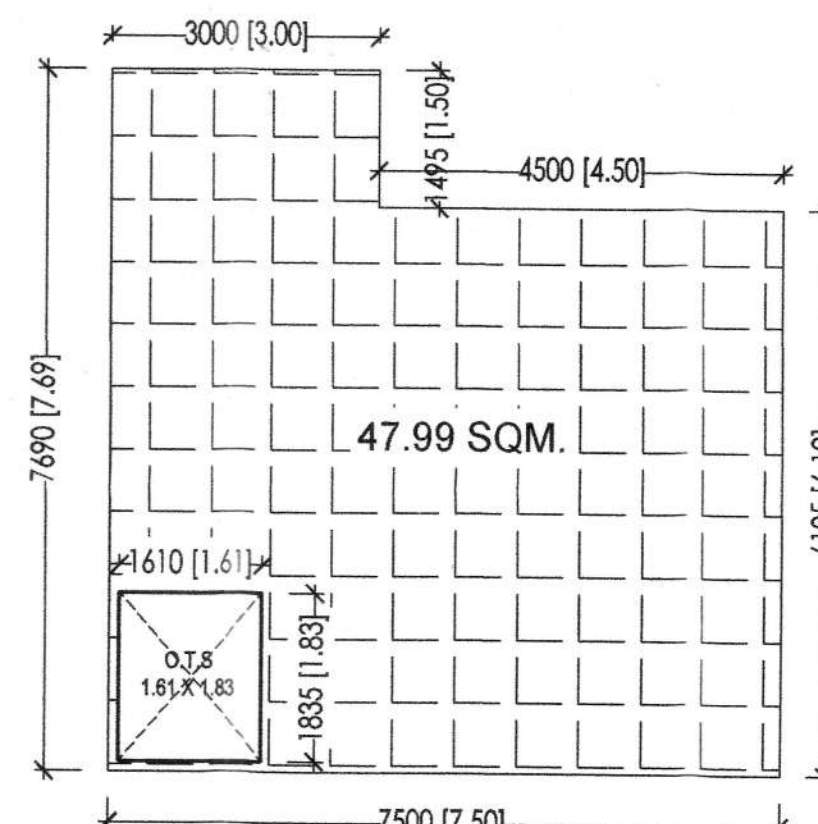
POLYLINE OF FIRST FLOOR
PLOT NO. 14.0 (64.50 SQM)



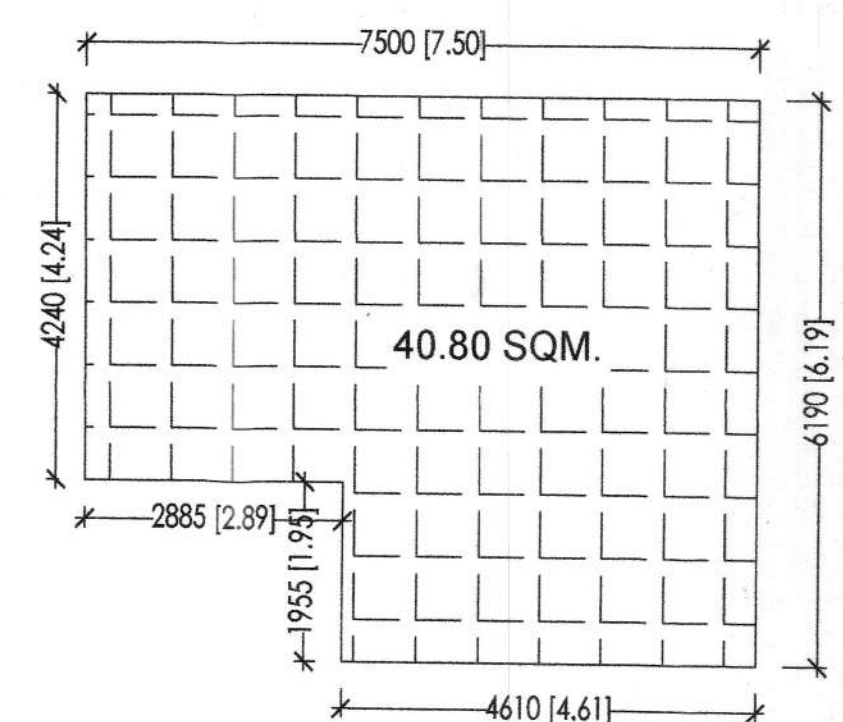
POLYLINE OF SECOND FLOOR
PLOT NO. 14.0 (35.04 SQM)



POLYLINE OF GROUND FLOOR
PLOT NO. 15.0 (50.93 SQM)
PLOT NO. 15.0 TO 18.0



POLYLINE OF FIRST FLOOR
PLOT NO. 15.0 (47.99 SQM)
PLOT NO. 15 TO 18.0



POLYLINE OF SECOND FLOOR
PLOT NO. 15.0 (40.80 SQM)
PLOT NO. 15.0 TO 18.0

PLYLINE OF ROW HOUSES NO.-1 TO 18
SITUATED AT ARAZI NO. -497 & 498, MAUZA
-TARNA, WARD- SHIVPUR,
PARAGANA-SHIVPUR, TEHSIAL:- SADAR
DISTT-VARANASI.

OWNER NAME-
SMT. DHANWANTI DEVI, W/O LATE SRI RAJBAHADUR SINGH,
SMT. KRISHNA SINGH W/O LATE SRI RAJESH PRATAP SINGH,
SRI RAJNISH SINGH S/O LATE SRI RAJESH PRATAP SINGH,
SRI RAVI PRAKASH SINGH, S/O LATE SRI DHIRENDRA
PRATAP SINGH.

OWNER SIG.

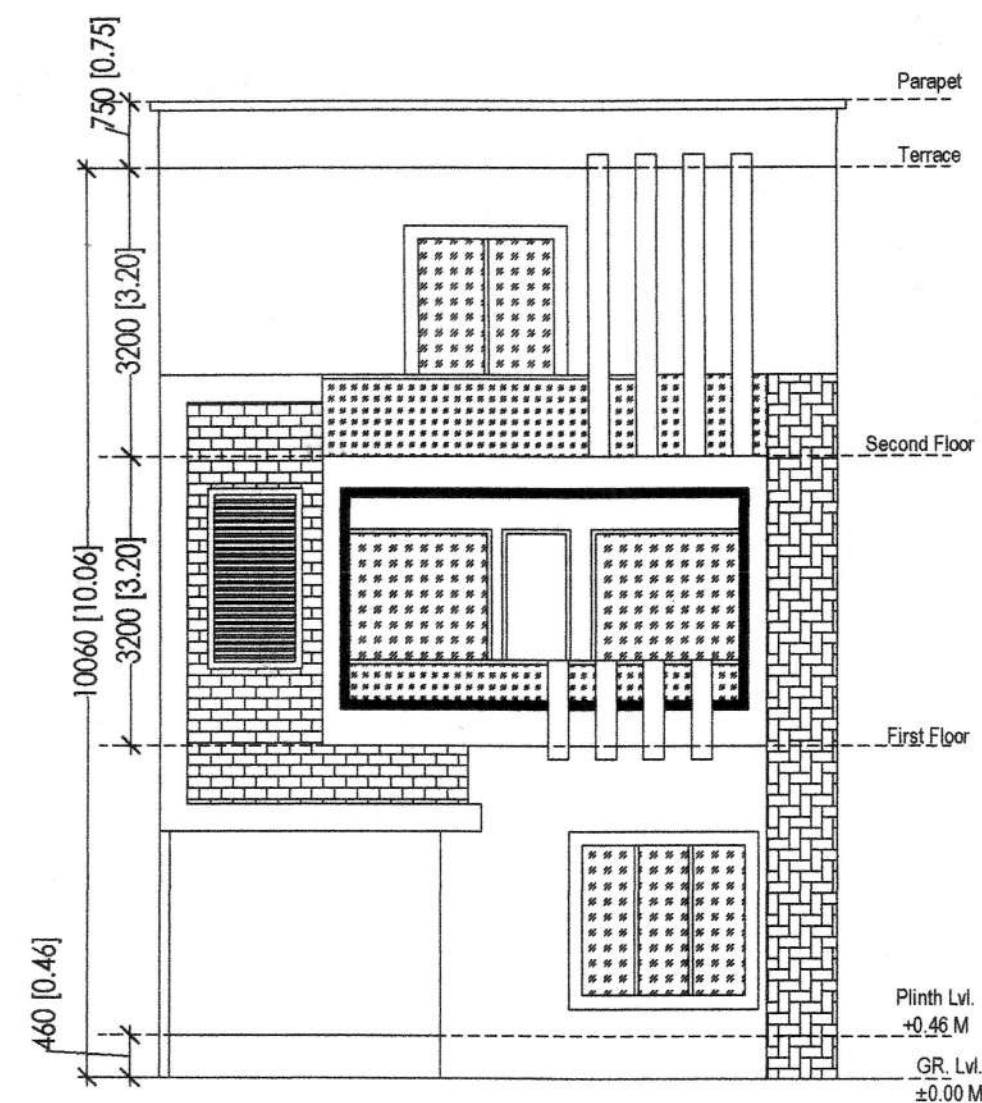
राजेश प्रताप सिंह
राजेश सिंह
रवि प्रकाश सिंह



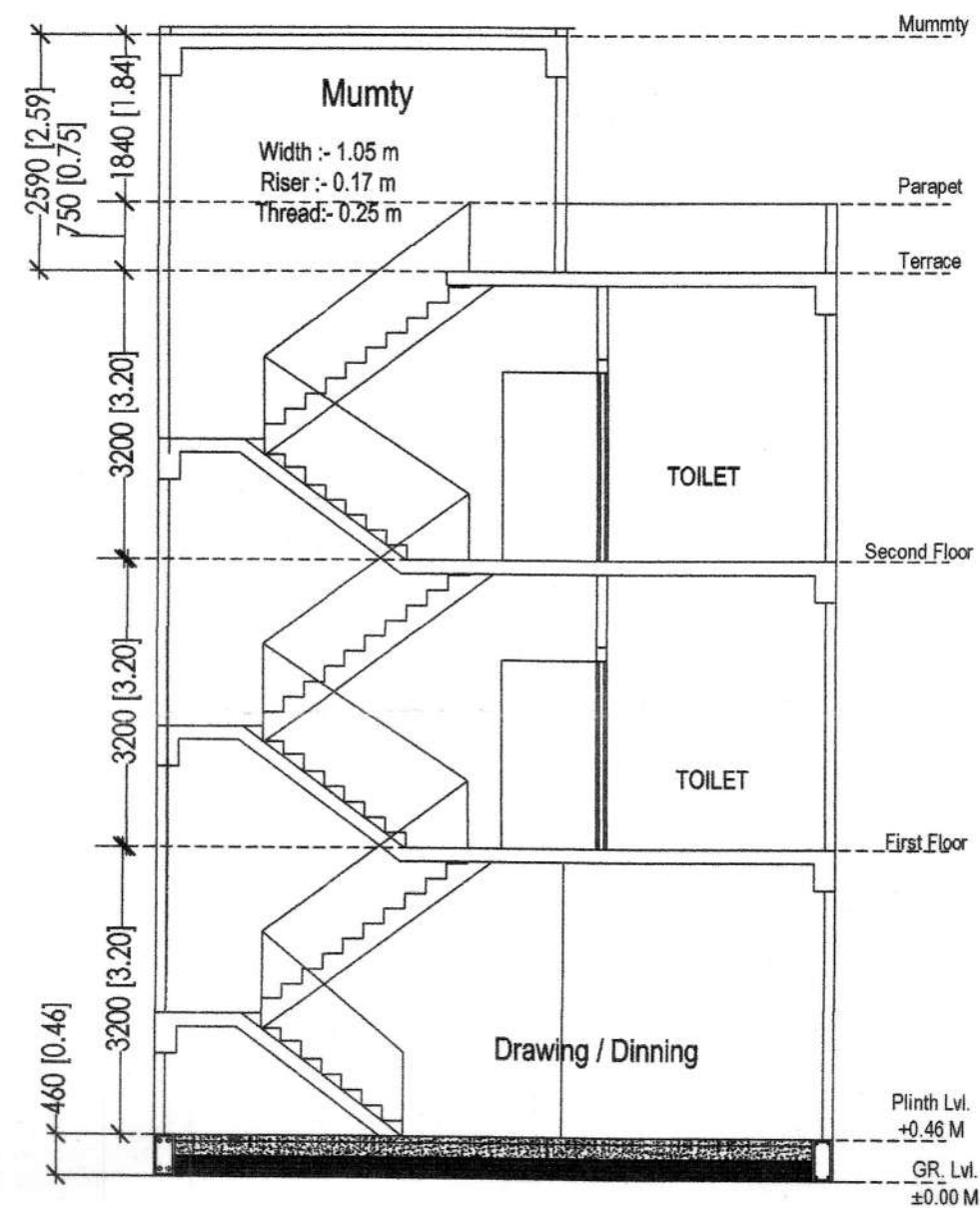
DATED 10-10-2018
SCALE = N.T.S

ARCHITECT

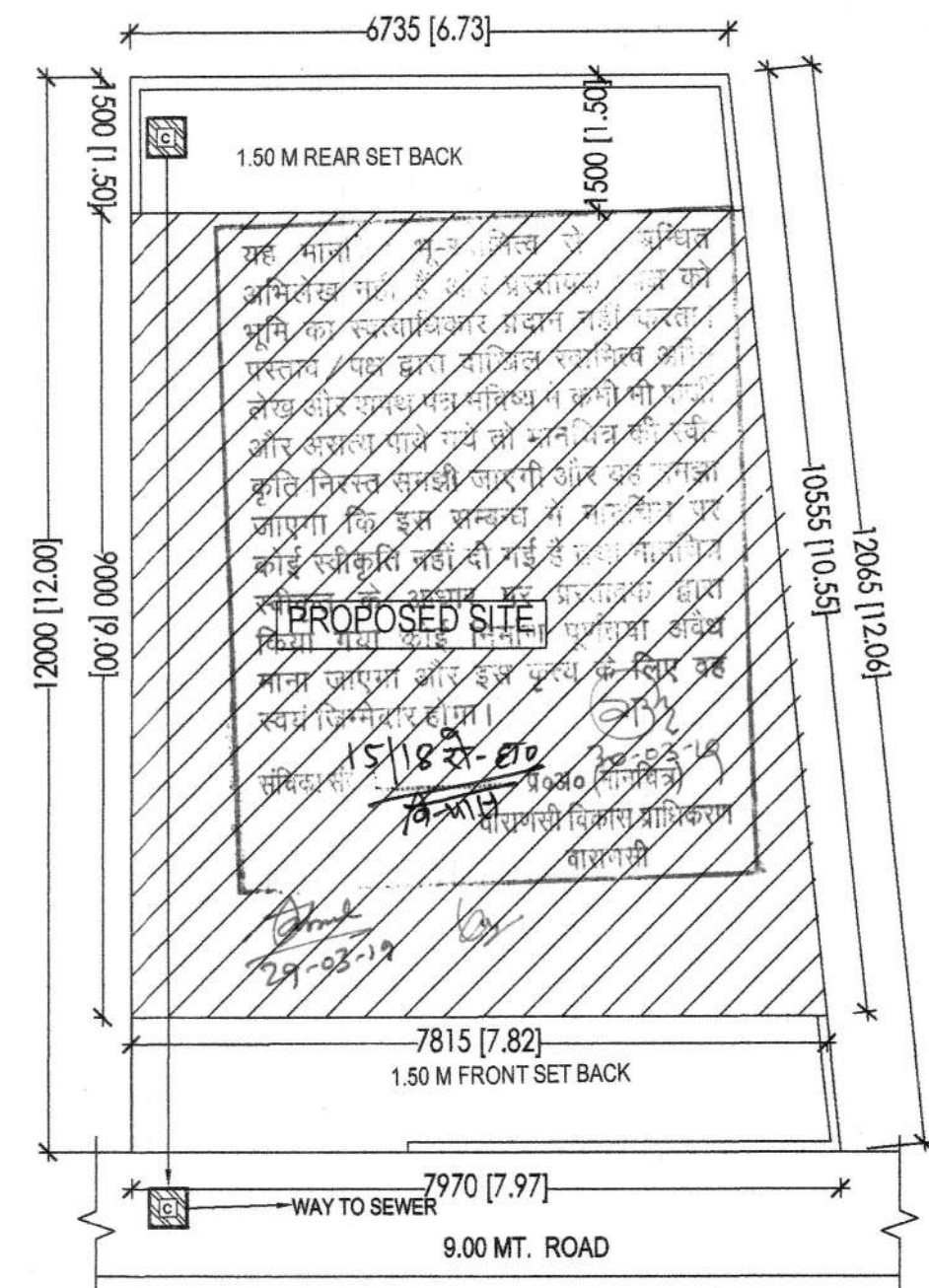




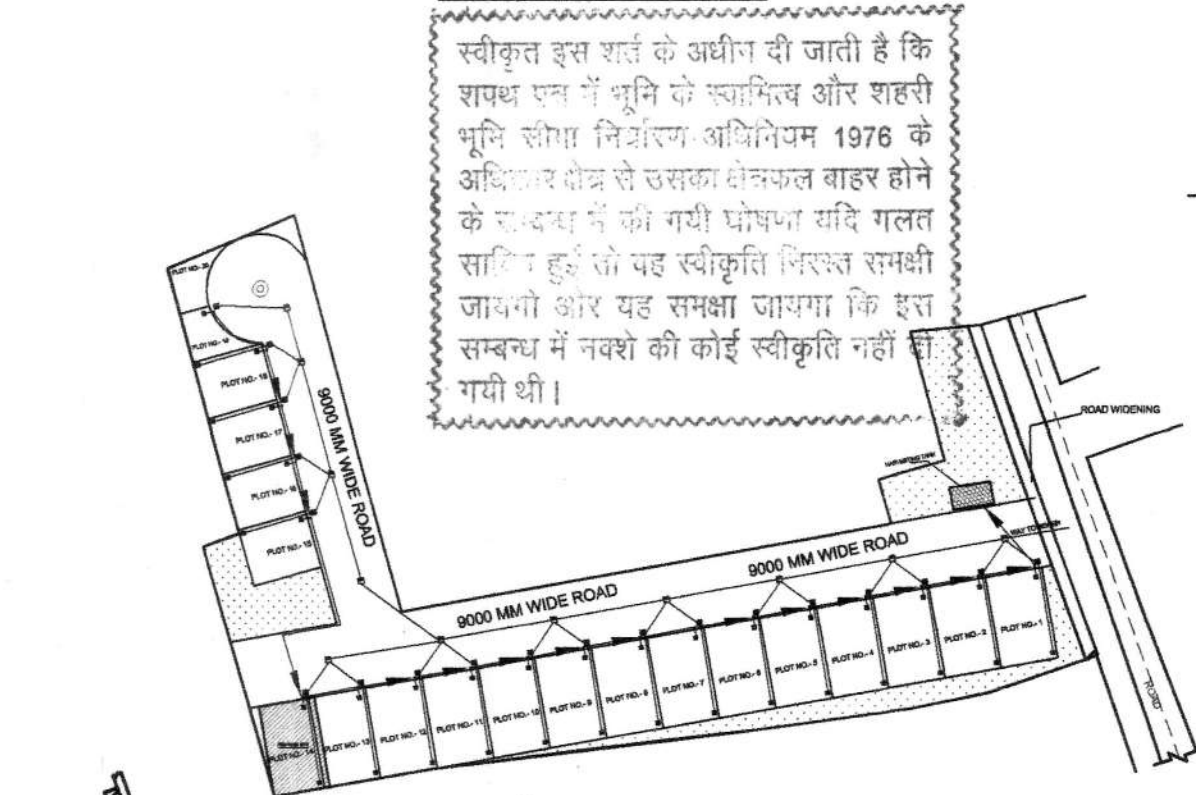
FRONT ELEVATION



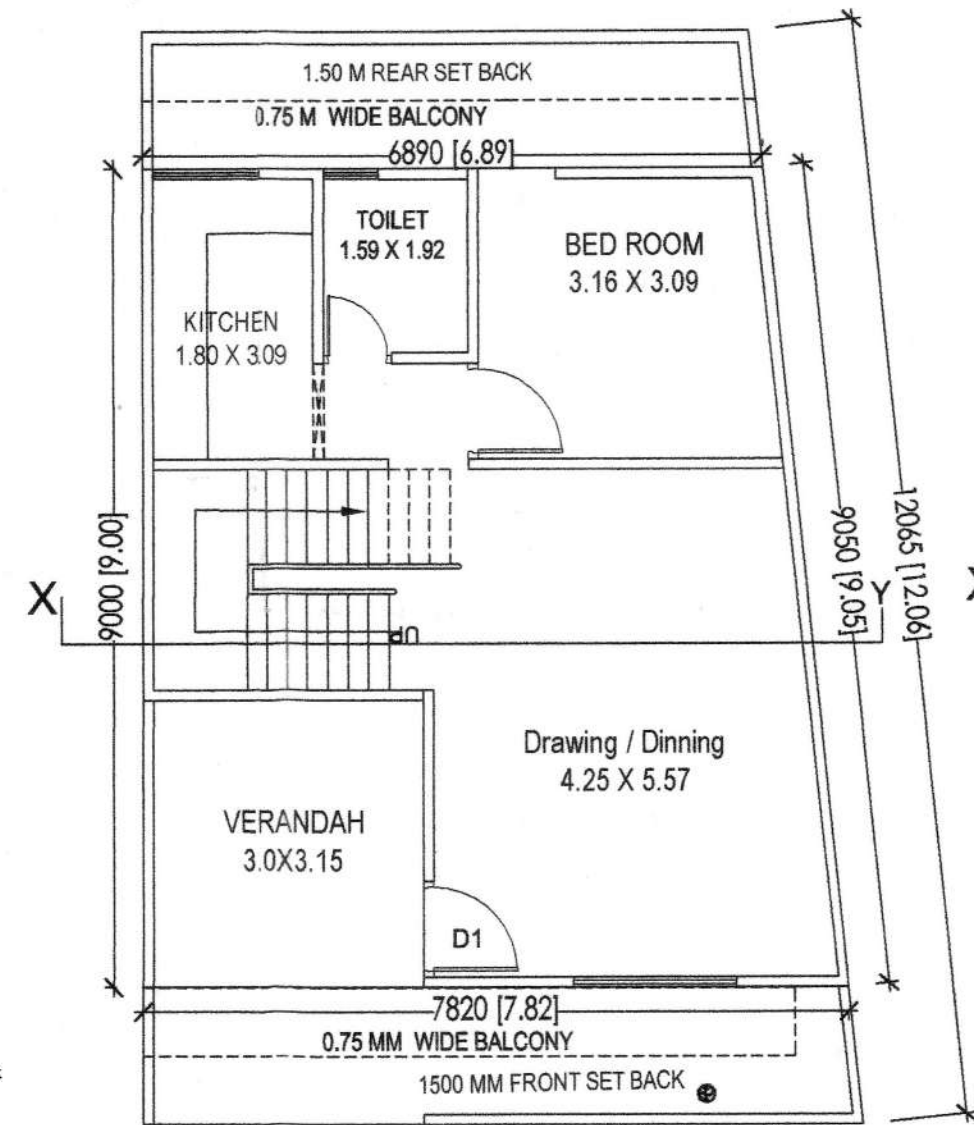
SECTION X-Y



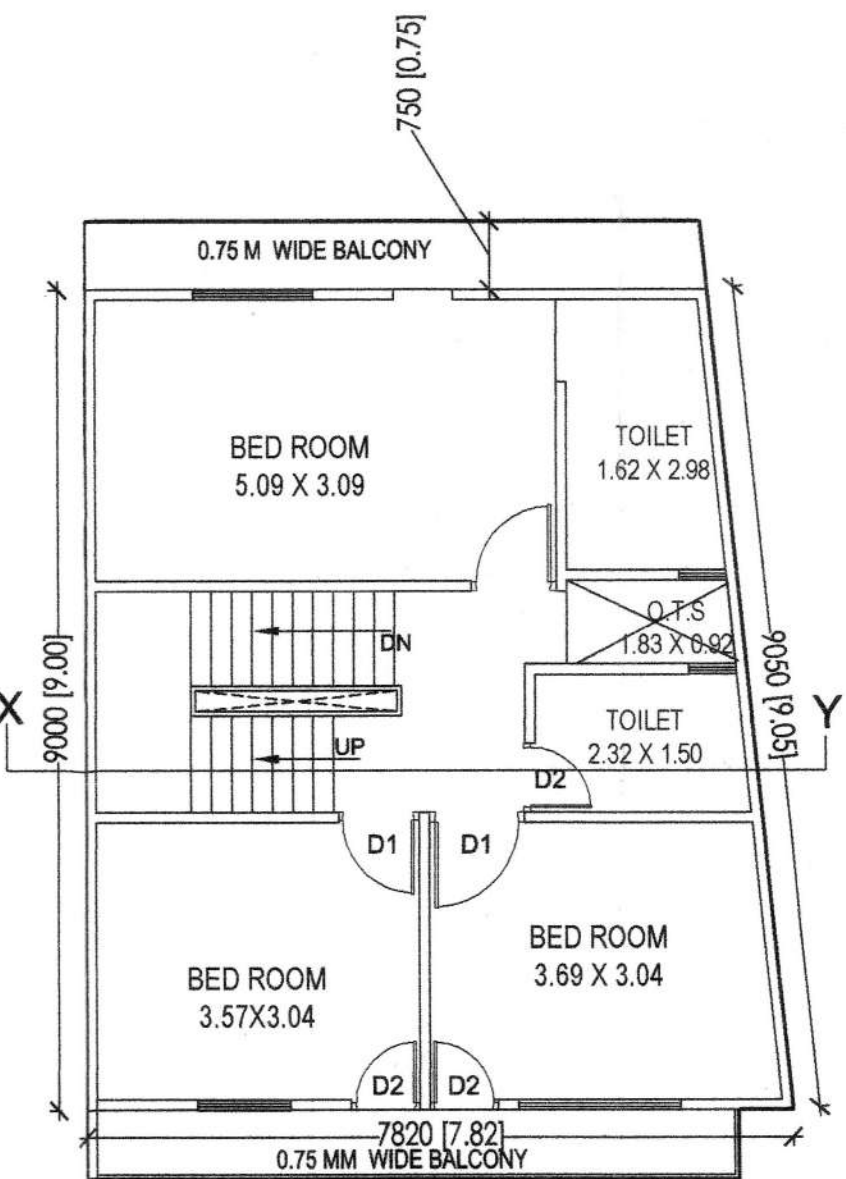
SITE PLAN



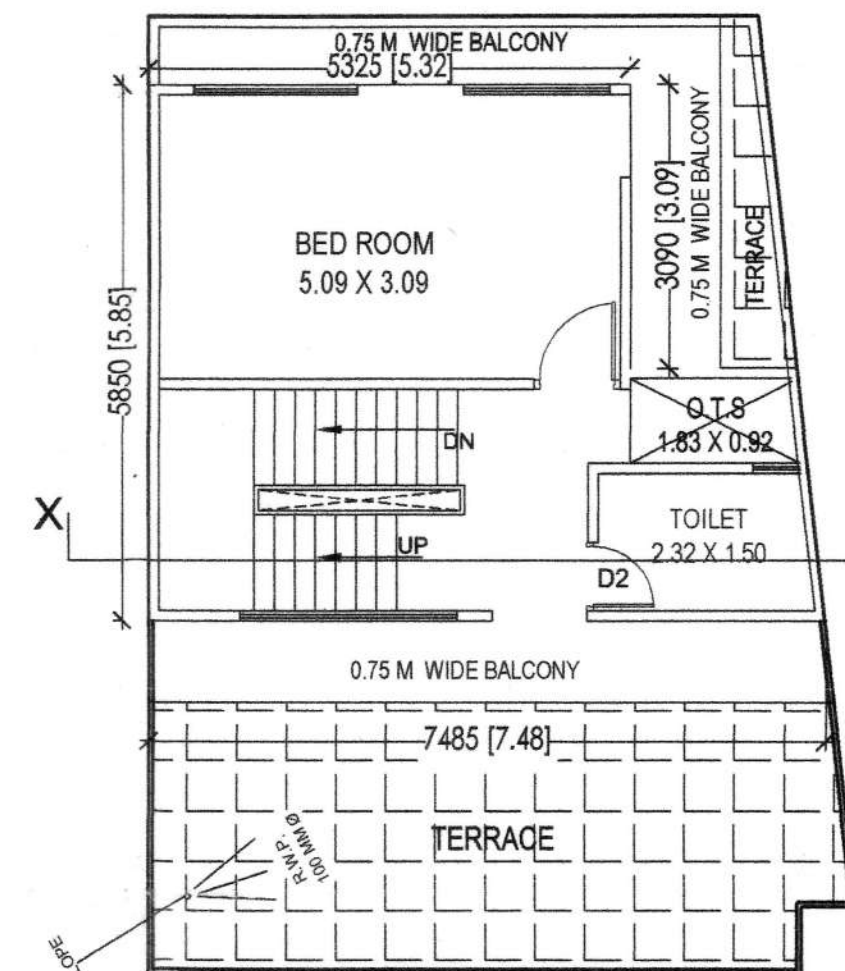
KEY PLAN



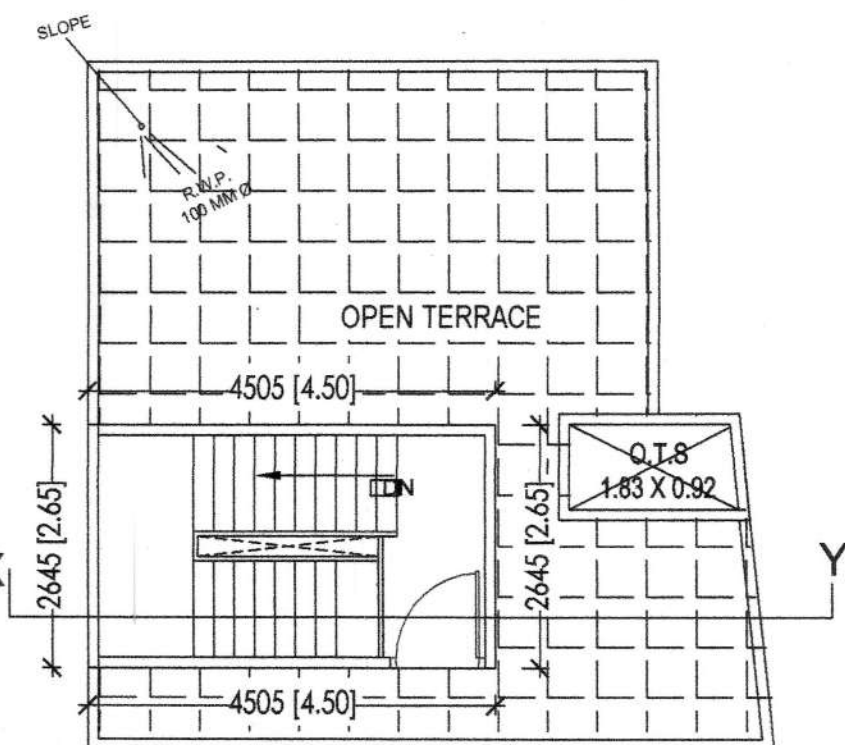
GROUND FLOOR



FIRST FLOOR



SECOND FLOOR



TERRACE

PROPOSED ROW HOUSE
PLAN OF PLOT NO.-14
SITUATED AT ARAZI NO.
-497 & 498, MAUZA
-TARNA, WARD- SHIVPUR,
PARAGANA-SHIVPUR,
TEHSHIAL:- SADAR
DISTT-VARANASI.

AREA CHART

1 - TOTAL PLOT AREA AS PER	=	88.42 SQM.
2 - GROUND FLOOR AREA	=	66.19 SQM.
3 - FIRST FLOOR AREA	=	64.50 SQM.
4 - SECOND FLOOR AREA	=	35.04 SQM.
5 - MUMTY AREA	=	11.92 SQM.
6 - TOTAL COVD AREA	=	165.73 SQM.
7 - F.A.R.	=	1.87

OWNER NAME-

SMT. DHANWANTI DEVI, W/O LATE SRI RAJBABADUR SINGH,
SMT. KRISHNA SINGH, W/O LATE SRI RAJESH PRATAP SINGH
SRI RAJNISH SINGH S/O LATE SRI RAJESH PRATAP SINGH
SRI RAVI PRAKASH SINGH, S/O LATE SRI DHIRENDRA PRATAP SINGH.

OWNER SIG.

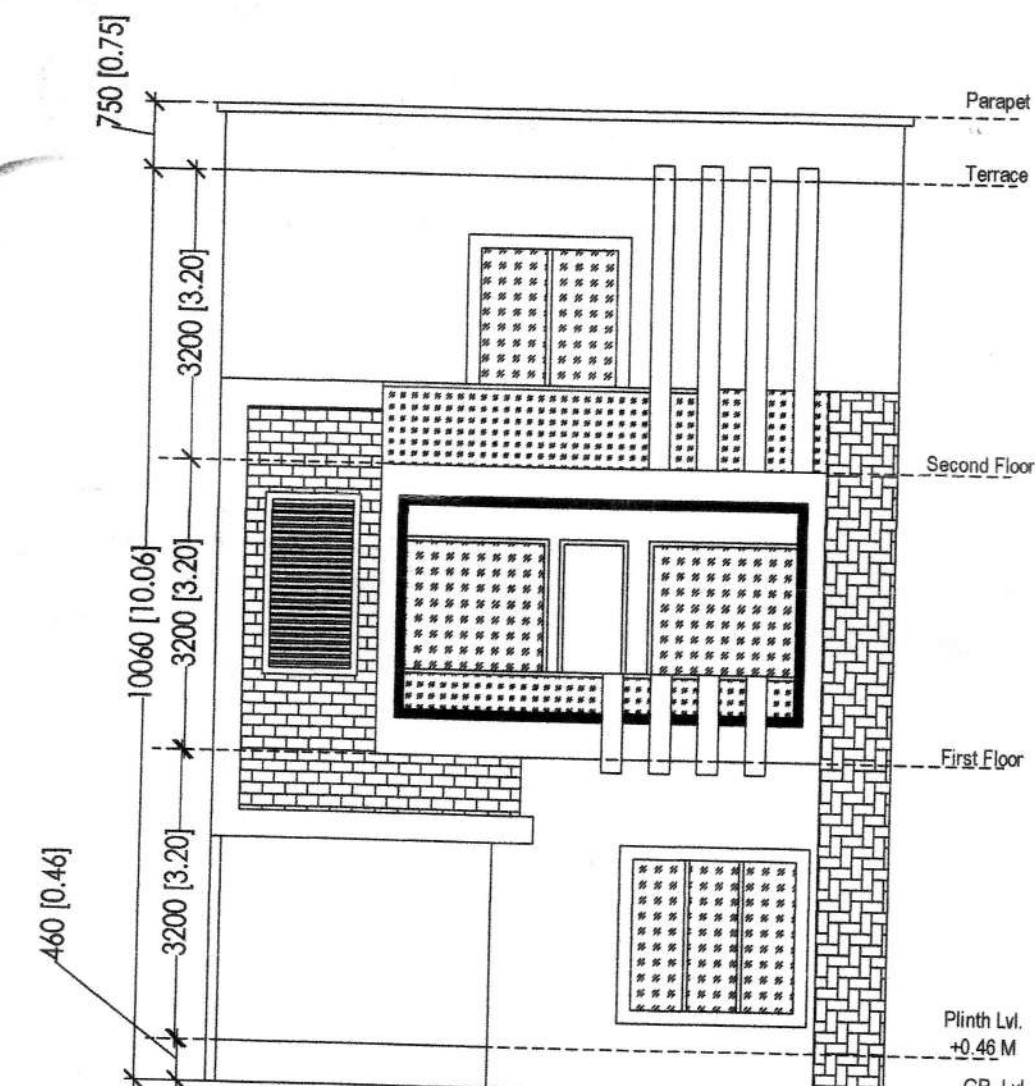
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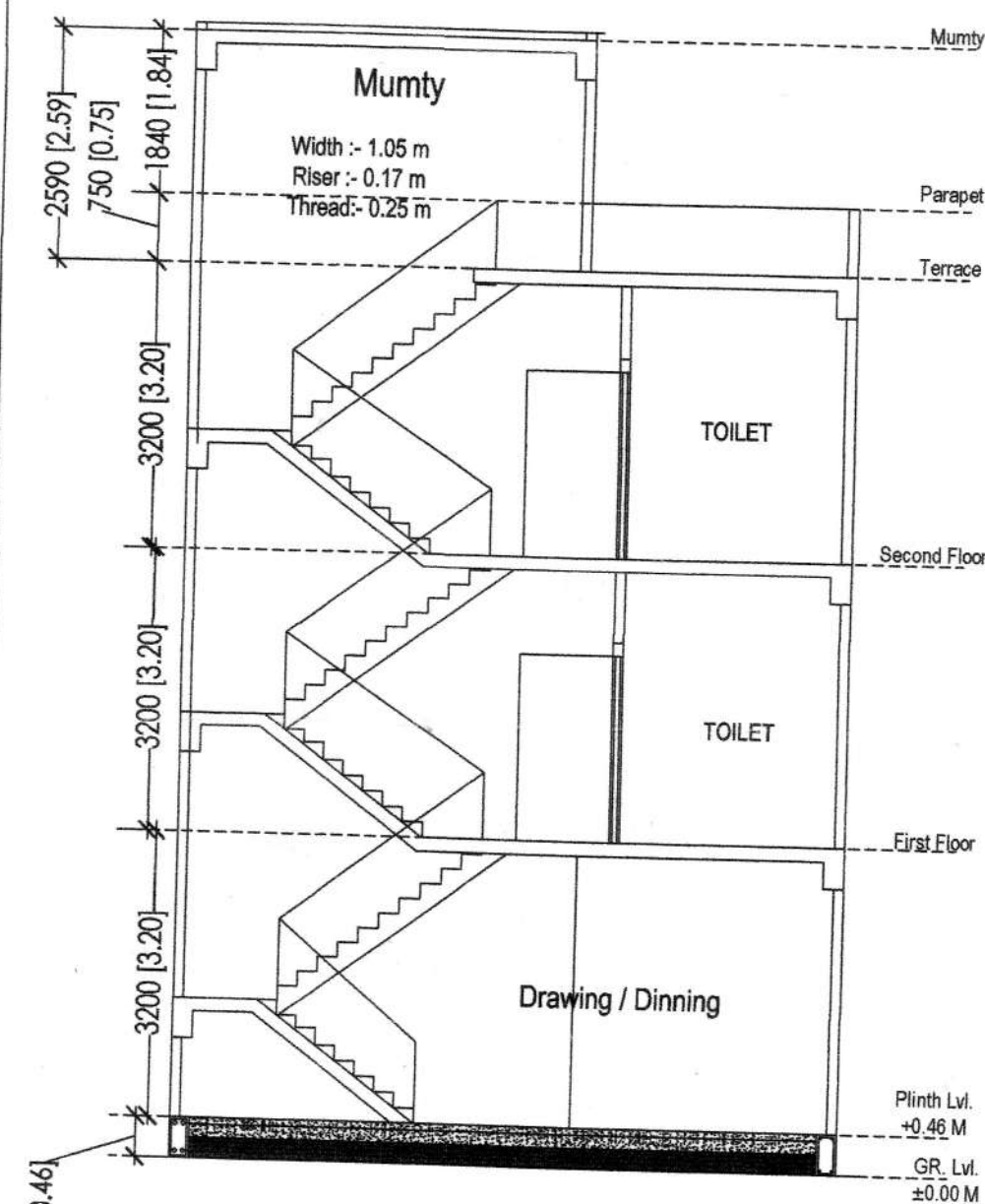
DATED 10-10-2018
SCALE = N.T.S

ARCHITECT

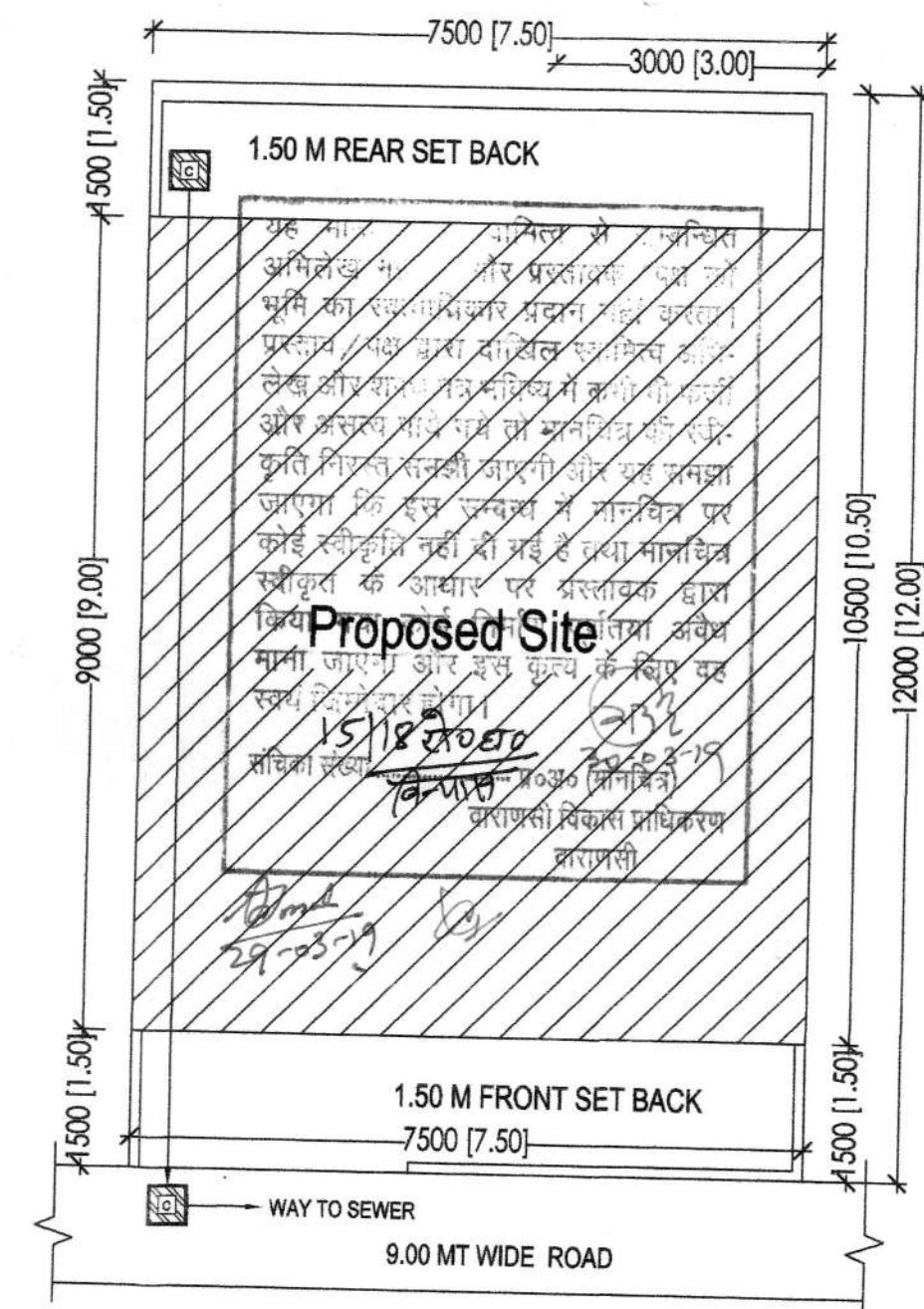




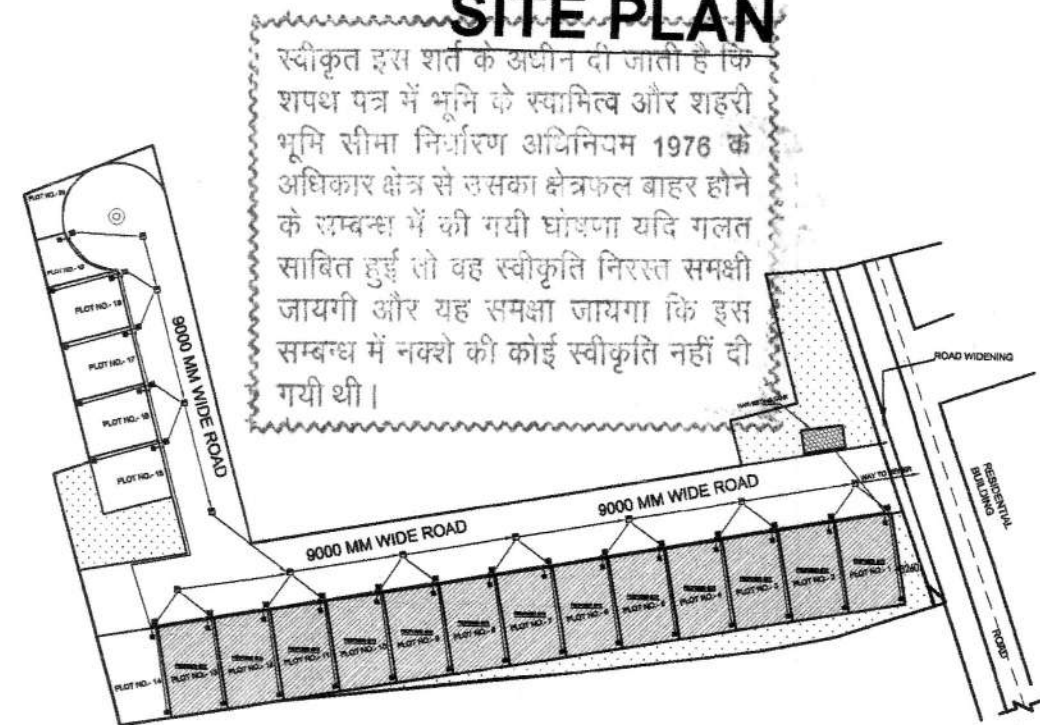
FRONT ELEVATION



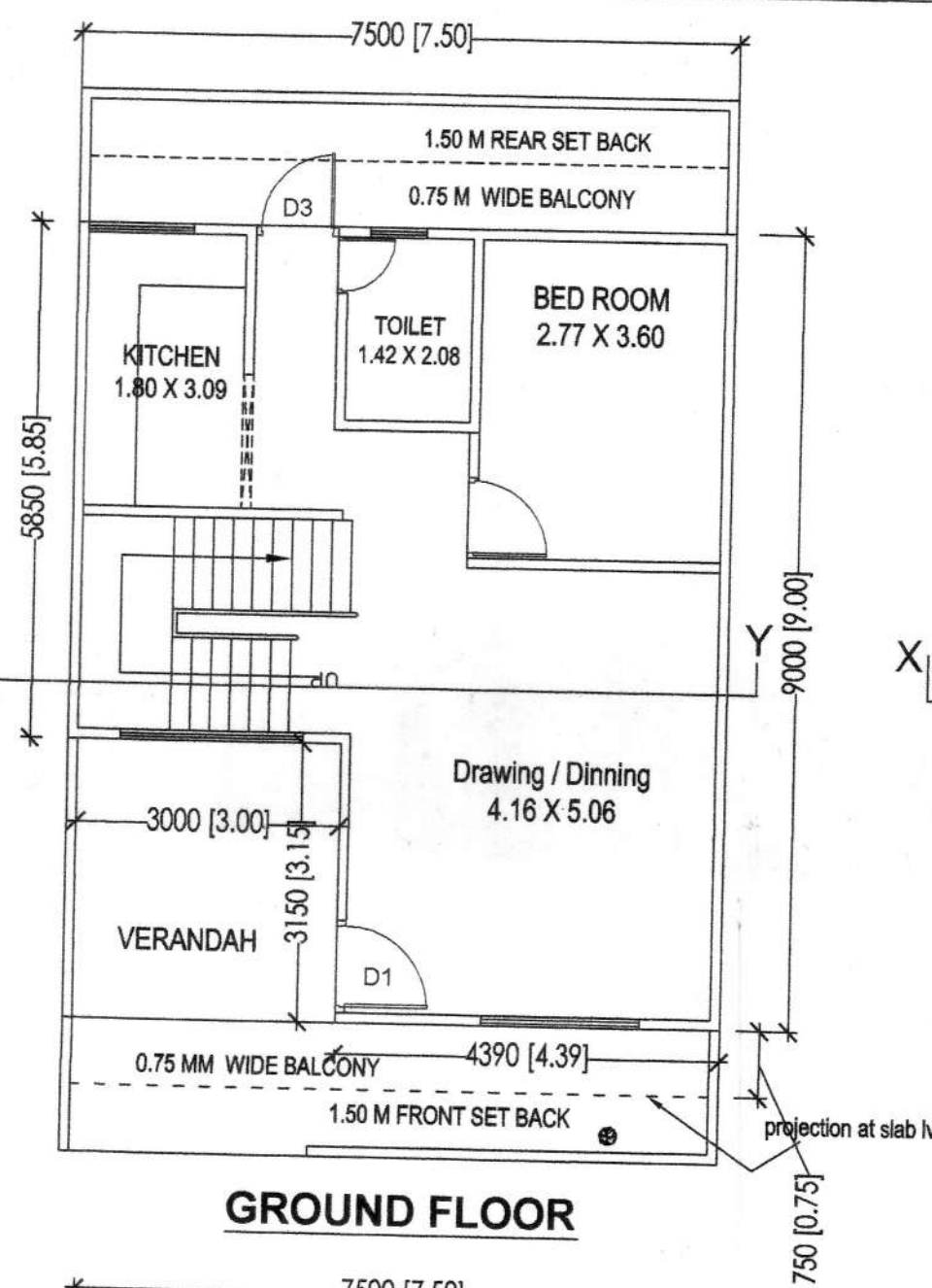
SECTION X-Y



SITE PLAN



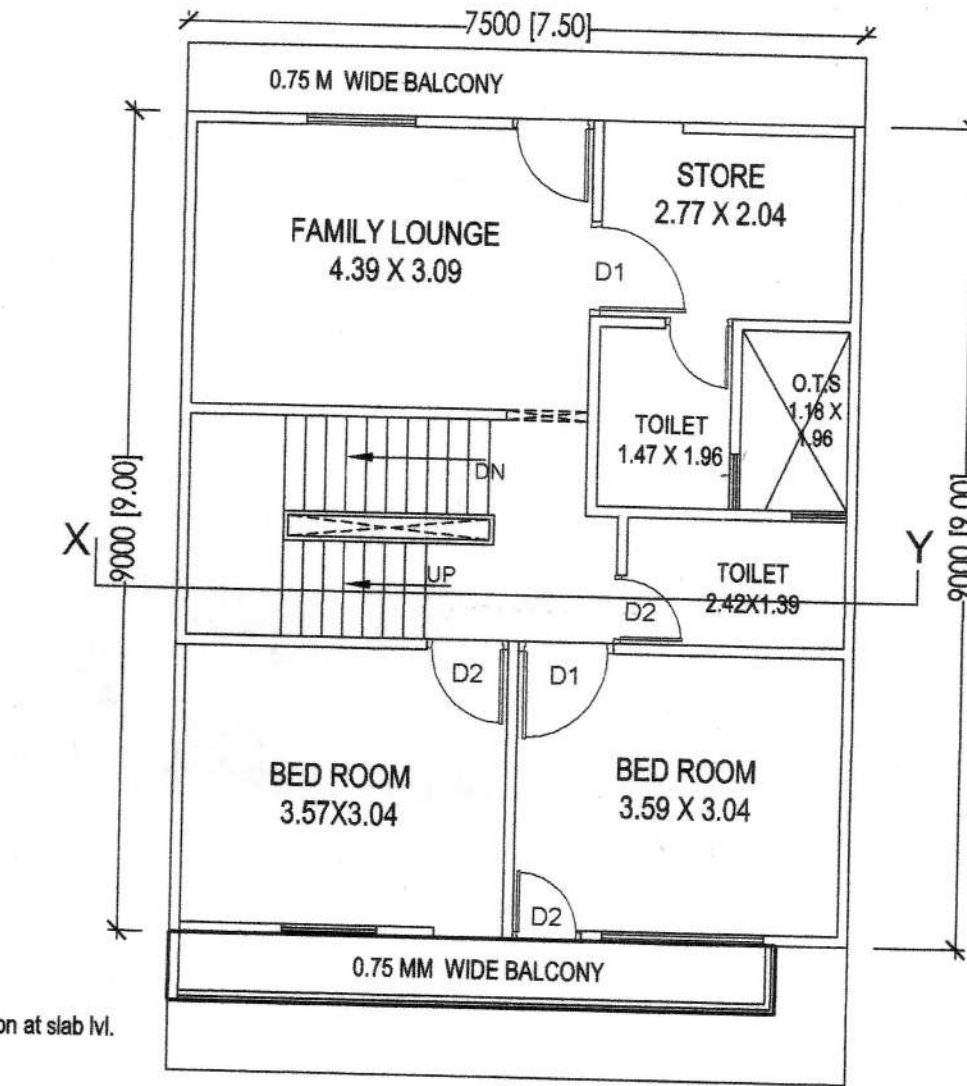
KEY PLAN



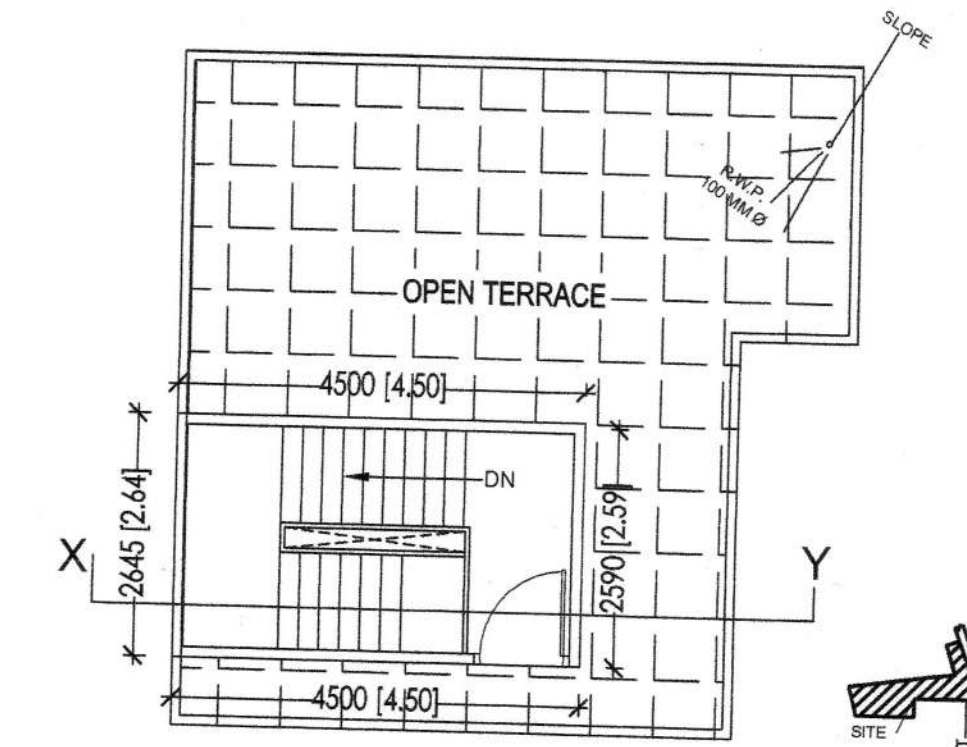
GROUND FLOOR



SECOND FLOOR



FIRST FLOOR



TERRACE

PROPOSED ROW
HOUSES PLOT NO.-1 TO
13, SITUATED AT ARAZI
NO. -497 & 498, MAUZA
-TARNA, WARD- SHIVPUR,
PARAGANA-SHIVPUR,
TEHSHIAL:- SADAR
DISTT-VARANASI.

AREA CHART

1 - TOTAL PLOT AREA AS PER	= 90.00 SQM.
2 - GROUND FLOOR AREA	= 67.49 SQM.
3 - FIRST FLOOR AREA	= 65.18 SQM.
4 - SECOND FLOOR AREA	= 38.03 SQM.
5 - MUMTY AREA	= 11.65 SQM.
6 - TOTAL COVD AREA	= 170.70 SQM.
7 - F.A.R.	= 1.89

SAME AS PLOT NO. 1 TO
13

OWNER NAME:-

SMT. DHANWANTI DEVI, W/O LATE SRI RAJBABADUR SINGH,
SMT. KRISHNA SINGH, W/O LATE SRI RAJESH PRATAP SINGH,
SRI RAJNISH SINGH S/O LATE SRI RAJESH PRATAP SINGH,
SRI RAVI PRAKASH SINGH, S/O LATE SRI DHIRENDRA PRATAP SINGH.

OWNER SIG.

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रवि प्रकाश सिंह
राजेश सिंह



DATED 24-09-2018
SCALE = N.T.S

ARCHITECT



