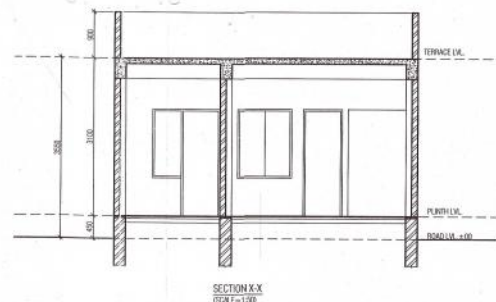
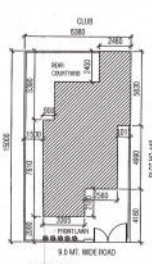
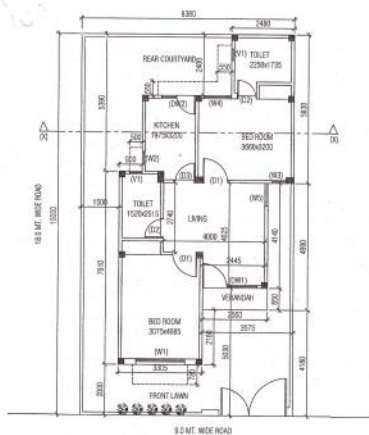


SPECIFICATIONS:

Foundation

- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.

Superstructure

- Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)

Slab

* R.C.C. slab as per structural design in M:25 grade conc.

Joinery

- Door frames in sal wood with 32mm commercial board shutter.
Windows in aluminium /UPVC.

Flooring

- Vitrified tiles/marble/kota/c.c.

Painting

-O.B.D. inside & cement based waterproofing paint outside.

Plaster

-12mm plaster in 1:6 c.m.

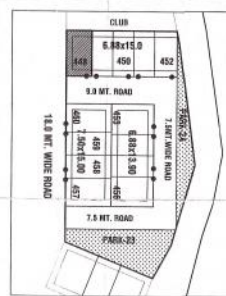
Plumbing 8.

* All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.

Electrical work

* Conduiting, wiring & M.C.B. with I.S.I. marked material.

Required electric load - 3 KVA



SNO	TYPE	SG
1.	D1	650 X
2.	D2	765 X
3.	D3	800 X
4.	W1	1925 X
5.	W2	500 X
6.	W3	550 X
7.	DW1	2166 X
8.	W1	500
9.	W4	1065 X
10.	W5	800 X
11.	DW2	1330 X

AREA STATEMENT :	SQ. MT.
1) TOTAL PLOT AREA	125.70sq.mt.
2) COVERED AREA ON GROUND FLOOR	63.33sq.mt.
3) OPEN AREA	62.37sq.mt.
4) TOTAL BUILT-UP AREA(FOR F.A.R.)	63.33sq.mt.
5) GROUND COVERAGE ACHIEVED	50.38%
6) F.A.R. ACHIEVED	0.504

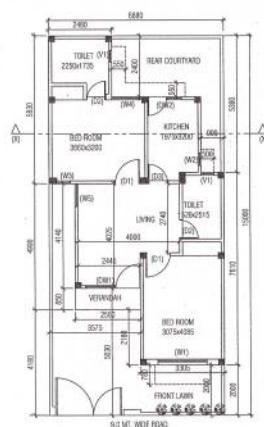
SQ. MT.
125.70sq.mt
63.33sq.mt.
62.37sq.mt.
63.33sq.mt.
50.38%
0.504

DEVELOPER

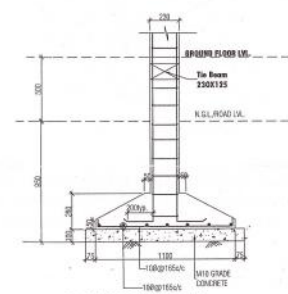
ARCHITECT

EXPENSES
Ar. Sanjay Kumar Gupta
 108/F, Hing Corporation, Chakrabarti
 Uddhav Khanna Road, 1st
 Lucknow-226007
 Ph. No. 8280100011/91145509
 email: arsanjaygupta@yahoo.com

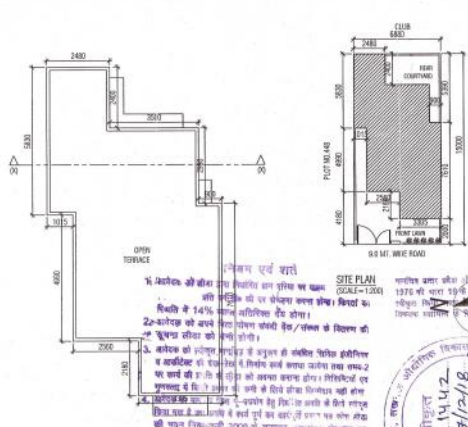
Cited: 01.05.2018



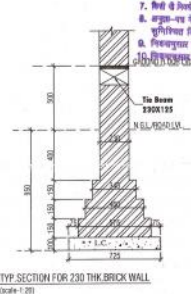
GROUND FLOOR PLAN
(SCALE=1:100)



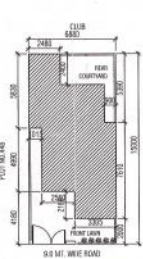
TYP. SECTION OF COLUMN FOOTING
(Scale=1:20)



TERRACE PLAN
(SCALE=1:100)



TYP. SECTION FOR 230 THK. BRICK WALL
(Scale=1:20)

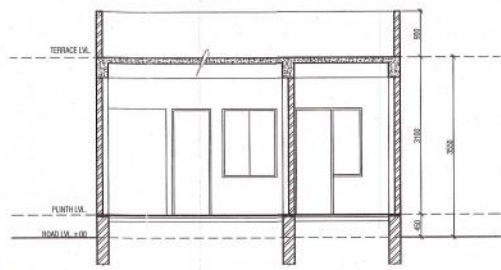


SITE PLAN
(SCALE=1:200)

1. नोटिफिकेशन नं. 14/2/18 दिनांक 23/12/18
2. नोटिफिकेशन नं. 14/2/18 दिनांक 23/12/18
3. नोटिफिकेशन नं. 14/2/18 दिनांक 23/12/18
4. नोटिफिकेशन नं. 14/2/18 दिनांक 23/12/18
5. नोटिफिकेशन नं. 14/2/18 दिनांक 23/12/18
6. नोटिफिकेशन नं. 14/2/18 दिनांक 23/12/18
7. नोटिफिकेशन नं. 14/2/18 दिनांक 23/12/18
8. नोटिफिकेशन नं. 14/2/18 दिनांक 23/12/18
9. नोटिफिकेशन नं. 14/2/18 दिनांक 23/12/18
10. नोटिफिकेशन नं. 14/2/18 दिनांक 23/12/18

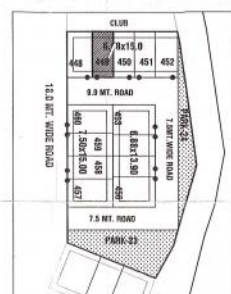


FRONT ELEVATION
(SCALE=1:100)



SECTION X-X
(SCALE=1:50)

- SPECIFICATIONS:**
- Foundation** - Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
 - Superstructure** - Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
 - Slab** - R.C.C. slab as per structural design in M-25 grade conc.
 - Joinery** - Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
 - Flooring** - Vitrified tiles/marble/kota/c.c.
 - Painting** - O.B.D. inside & cement based waterproofing paint outside.
 - Plaster** - 12mm plaster in 1:6 c.m.
 - Plumbing & sanitary fitting** - All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
 - Electrical work** - Conduiting, wiring & M.C.B. with I.S.I. marked material.
- Required electric load - 3 KVA



LOCATION PLAN
(NOT TO SCALE)

PROPOSED RESIDENCE IN PART LAYOUT (KARNATAKA STATE ELECTIONS),
PLOT NO. 449, B.E. IN RESIDENCE KARNATAKA STATE ELECTIONS,
VILLAGE: CHANDRAWAL, VILLAGE: NATURAL, VILLAGE: NOOR NAGAR,
BRANDRA, VILLAGE: SHIVNAGAR, LUCKNOW
DEVELOPMENT AUTHORITY AREA, LUCKNOW

PLOT NO. 449

Developer:
Eldaco housing & industries ltd.

NOTES:
1. Architect shall not be responsible for any violation of the by the developer.
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE LIAISON WITH SUBMISSION.
3. HOUSING SCHEME APPROVED VICE PERMIT NO. 718, dated: 27/12/18

DOOR/WINDOW SCHEDULE	AREA	NO.
1. DOOR	1.00	1
2. WINDOW	1.00	1
3. DOOR	1.00	1
4. WINDOW	1.00	1
5. DOOR	1.00	1
6. WINDOW	1.00	1
7. DOOR	1.00	1
8. WINDOW	1.00	1
9. DOOR	1.00	1
10. WINDOW	1.00	1
11. DOOR	1.00	1
12. WINDOW	1.00	1

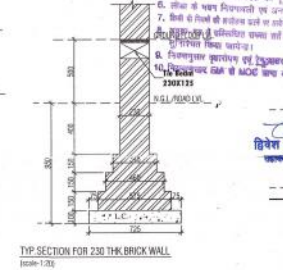
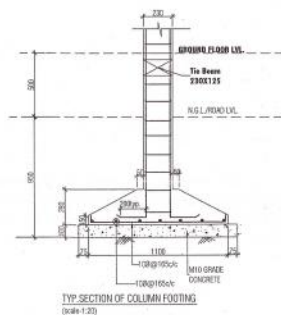
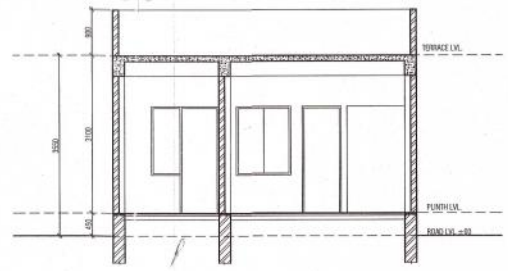
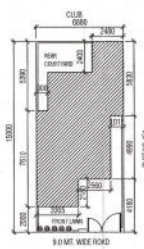
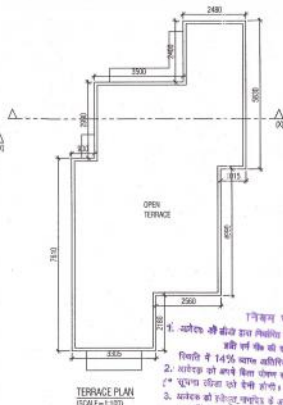
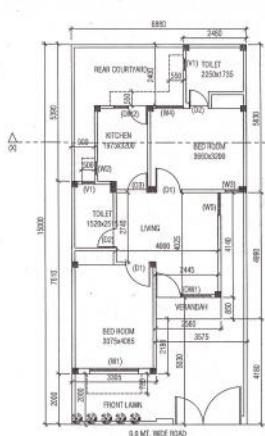
AREA STATEMENT :	SQ. MT.
1) TOTAL PLOT AREA	103.20sq.mt.
2) COVERED AREA ON GROUND FLOOR	63.33sq.mt.
3) OPEN AREA	39.87sq.mt.
4) TOTAL BUILT-UP AREA(FOR F.A.R.)	63.33sq.mt.
5) GROUND COVERAGE ACHIEVED	61.37%
6) F.A.R. ACHIEVED	0.614

DEVELOPER

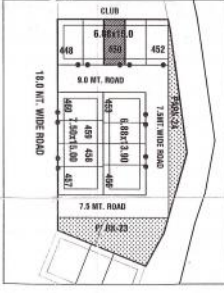
ARCHITECT

Ar. Sangeet Kumar Gupta
100, P. P. Road, Chandrawal, Lucknow
U.P. 226001
9198000000000000
9198000000000000

Dated: 01.05.2018



- SPECIFICATIONS:**
- Foundation**
 - Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
 - Superstructure**
 - Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
 - Slab**
 - R.C.C. slab as per structural design in M-25 grade conc.
 - Joinery**
 - Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
 - Flooring**
 - Vitrified tiles/marble/kota/c.c.
 - Painting**
 - O.S.D. inside & cement based waterproofing paint outside.
 - Plaster**
 - 12mm plaster in 1:6 c.m.
 - Plumbing & sanitary fitting**
 - All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
 - Electrical work**
 - Conduiting, wiring & M.C.B. with I.S.I. marked material.
- Required electric load - 3 KVA



PROPOSED RESIDENCE IN PART LAYOUT (OLD/NEW NORTH BLOC), PLOT NO. D.R. 4 IN HOUSING SCHEME/OLD/NEW NORTH BLOC, VILLAGE CHANDRAWALI, VILLAGE KATKI, VILLAGE-NORTH NAGAR, BRADWALA, VILLAGE-BADWALA, LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW

PLOT NO. 450

Developer: **Eldeco Housing & Industries Ltd.**

NOTES:

- Architect shall not be responsible for any alteration of site by the Developer.
- Developer shall ensure LEGAL POSSESSION OF PLOT BEFORE LIAISON SUBMISSION.
- HOUSING SCHEME APPROVED VEC PWD NO. 716/ANM/ 25/2018

DOOR/WINDOW SCHEDULE		
S.NO.	TYPE	SIZE
1	D1	850 X 2100
2	D2	1050 X 2100
3	W1	850 X 2100
4	W2	1050 X 2100
5	W3	1050 X 2100
6	W4	1050 X 2100
7	W5	1050 X 2100
8	W6	1050 X 2100
9	W7	1050 X 2100
10	W8	1050 X 2100
11	W9	1050 X 2100

AREA STATEMENT		SQ. MT.
1) TOTAL PLOT AREA		103.20sq.mt.
2) COVERED AREA ON GROUND FLOOR		63.33sq.mt.
3) OPEN AREA		39.87sq.mt.
4) TOTAL BUILT UP AREA (FOR F.A.R.)		63.33sq.mt.
5) GROUND COVERAGE ACHIEVED		61.37%
6) F.A.R. ACHIEVED		0.614

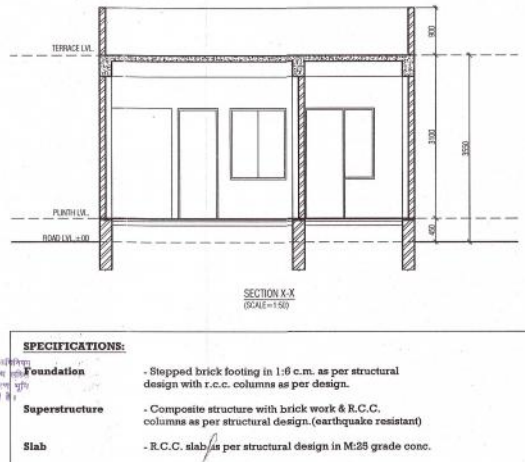
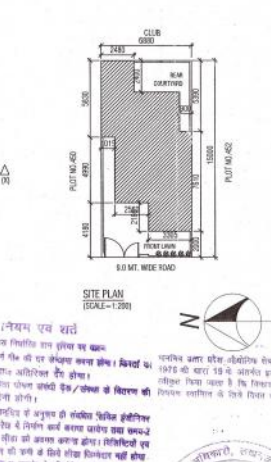
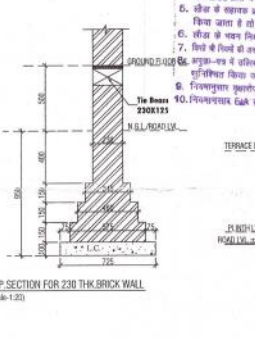
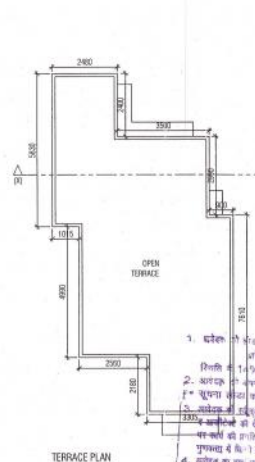
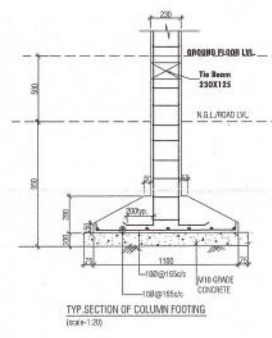
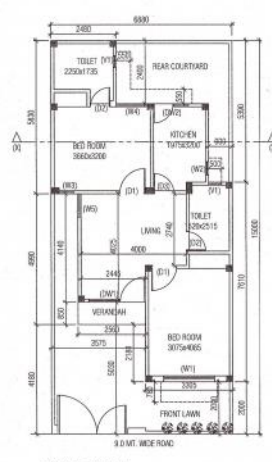
DEVELOPER: **Eldeco Housing & Industries Ltd.**

ARCHITECT: **Ar. Sanjay Kumar Gupta**

100% Firm Registered Under the Architects Act, 1947 (No. 100/2018-2019)

100% Firm Registered Under the Architects Act, 1947 (No. 100/2018-2019)

Date: 01.05.2018



- SPECIFICATIONS:**
- Foundation**
 - Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
 - Superstructure**
 - Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
 - Slab**
 - R.C.C. slab as per structural design in M:25 grade conc.
 - Joinery**
 - Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
 - Flooring**
 - Vitrified tiles/marble/kota/c.e.
 - Painting**
 - O.B.D. inside & cement based waterproofing paint outside.
 - Plaster**
 - 12mm plaster in 1:6 c.m.
 - Plumbing & sanitary fitting**
 - All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
 - Electrical work**
 - Conduiting, wiring & M.C.B. with I.S.I. marked material.
- Required electric load - 3 KVA

PROPOSED RESIDENCE IN FIRST LAYOUT (ELDECO SOUTH BLOCK), PLOT NO. C-2-1 IN BHOJINGI INDUSTRIAL AREA, VILLAGE-CHANDRAWAL, VILLAGE-MATVER, VILLAGE-ROOR NAGAR, BHILWARA, TALUKA-BHOJINGI, DISTRICT-JODHPUR, DEVELOPMENT AUTHORITY AREA, JODHPUR.

PLOT NO. 451

Prepared: Eldeco housing & industries Ltd.

ES: Architect shall not be responsible for any deviation at site by the developer. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.O.A SUBMISSION. HOUSING SCHEME APPROVED VIDE PERMIT NO-718, DATED 27/02/19.

DOOR WINDOW SCHEDULE :		
S.NO.	TYPE	QTY
1.	DT	860 X 2100
2.	D2	765 X 2100
3.	WT	1850 X 2100
4.	WT	1850 X 1500
5.	WT	200 X 1150
6.	WT	550 X 1500
7.	WT	2110 X 1500
8.	WT	500 X 600
9.	WT	1000 X 1200
10.	WT	800 X 1200
11.	WT	1300 X 1200

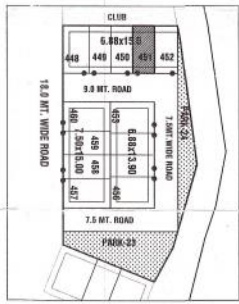
AREA STATEMENT :		SQ. MT.
1.)	TOTAL PLOT AREA	103.20sq.mt.
2.)	COVERED AREA ON GROUND FLOOR	63.33sq.mt.
3.)	OPEN AREA	39.87sq.mt.
4.)	TOTAL BUILT-UP AREA(FOR F.A.R.)	63.33sq.mt.
5.)	GROUND COVERAGE ACHIEVED	61.37%
6.)	F.A.R. ACHIEVED	0.614

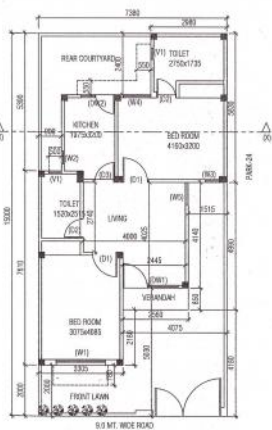
DEVELOPER:

ARCHITECT:

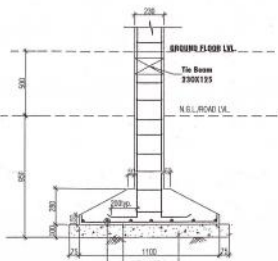
As Sanjay Kumar Sharma
Architect
Sanjay Kumar Sharma & Co.
Architects
P/No. 10, Sector-14, Gurgaon
Haryana-122002

Date: 01.03.2018





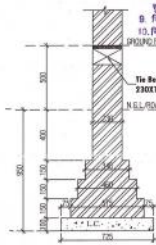
GROUND FLOOR PLAN
(SCALE=1:100)



TYP. SECTION OF COLUMN FOOTING
(SCALE=1:20)



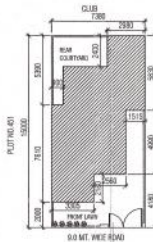
TERRACE PLAN
(SCALE=1:100)



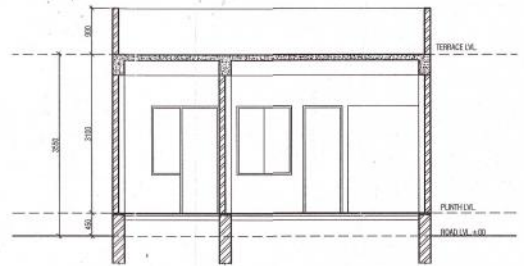
TYP. SECTION FOR 230 THK. BRICK WALL
(SCALE=1:20)



FRONT ELEVATION
(SCALE=1:100)



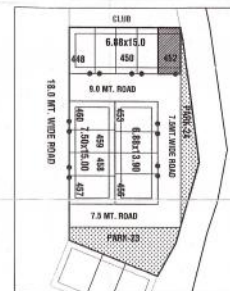
SITE PLAN
(SCALE=1:200)



SECTION X-X
(SCALE=1:50)

SPECIFICATIONS:

- Foundation** - Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
- Superstructure** - Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
- Slab** - R.C.C. slab as per structural design in M-25 grade conc.
- Joinery** - Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
- Flooring** - Vitrified tiles/marble/kota/c.c.
- Painting** - O.B.D. inside & cement based waterproofing paint outside.
- Plaster** - 12mm plaster in 1:6 c.m.
- Plumbing & sanitary fitting** - All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
- Electrical work** - Conduiting, wiring & M.C.B. with I.S.I. marked material.
- Required electric load - 3 KVA**



LOCATION PLAN
(NOT TO SCALE)

PROPOSED RESIDENCE IN PART LAYOUT (ELECTED SOUTH BLOCK),
PLOT NO. G.S. 1 IN HOUSING SCHEME/ALCOA BRANCH AT
VILLAGE, CHANDIGARH, VILLAGE, NATION, VILLAGE, NOOR NAGAR
BRADKARA, VILLAGE, BHOJ, LUCKNOW INDUSTRIAL
DEVELOPMENT AUTHORITY AREA, LUCKNOW

PLOT NO. 452

Developer:
Eldico housing & industries ltd.

DOOR/WINDOW SCHEDULE			
S.NO.	TYPE	SIZE	QTY.
1.	D1	300 X 2100	1
2.	D2	100 X 2100	1
3.	D3	600 X 2100	1
4.	W1	1200 X 1350	1
5.	W2	500 X 1350	1
6.	W3	300 X 1350	1
7.	W4	2100 X 1000	1
8.	W5	300 X 800	1
9.	W6	1000 X 1200	1
10.	W7	800 X 1200	1
11.	W8	1300 X 1300	1

AREA STATEMENT:

	SQ. MT.
1) TOTAL PLOT AREA	110.70sq.mt.
2) COVERED AREA ON GROUND FLOOR	66.25sq.mt.
3) OPEN AREA	44.45sq.mt.
4) TOTAL BUILT-UP AREA(F.O.R.)	66.25sq.mt.
5) GROUND COVERAGE ACHIEVED	59.85%
6) F.A.R. ACHIEVED	0.599

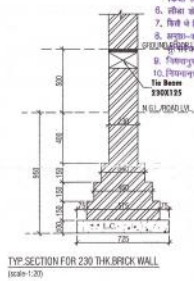
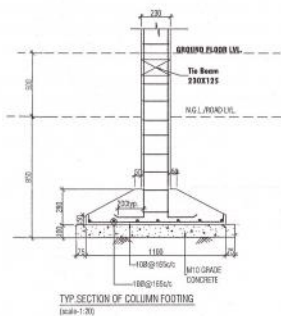
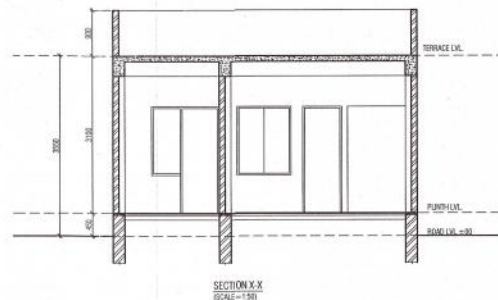
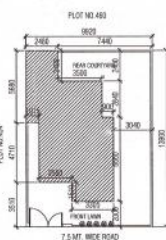
DEVELOPER

(Signature)
Date: 01.05.2018

ARCHITECT

(Signature)
Date: 01.05.2018

- NOTES:
- Architect shall not be responsible for any deviation of site by the developer.
 - DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.D.A. SUBMISSION.
 - HOUSING SCHEME APPROVED UNDER PERMIT NO. - 1746/2018-19



DEVELOPER	ARCHITECT
	
	Dated: 01/05/2018

SPECIFICATIONS:

Foundation

Superstructure

Slab

Joinery

10/11/2011

Painting

Plaster

Plumbing &

Revised class

- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.

- Composite structure with brick work & R.C.C. columns as per structural design.(earthquake resistant)

- R.C.C. slab as per structural design in M:25 grade conc.

- Door frames in sal wood with 32mm commercial board shutter.
Windows in aluminium /UPVC.

- Vitrified tiles/marble/kota/c.c.

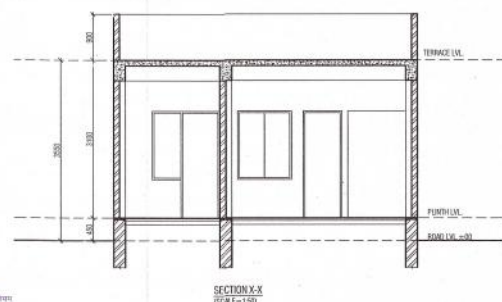
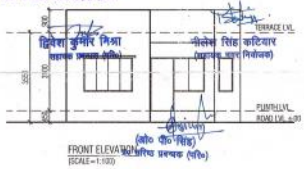
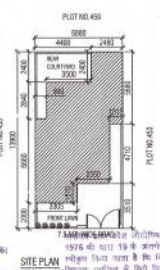
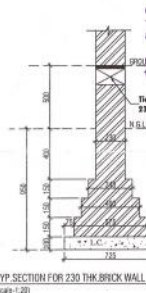
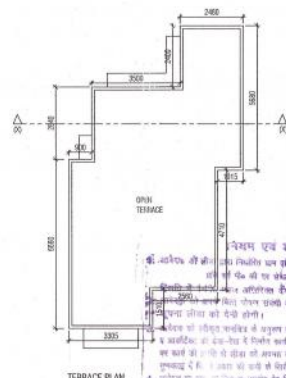
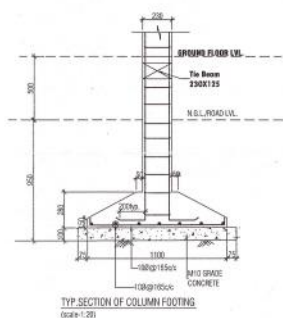
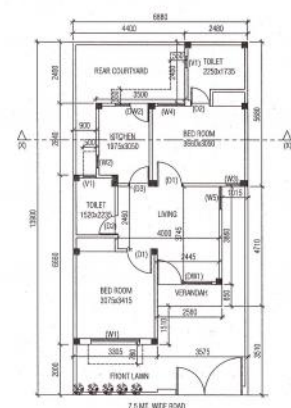
-O.B.D. inside & cement based waterproofing paint outside.

-12mm plaster in 1:6 c.m.

- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.

- Conduiting, wiring & M.C.B. with I.S.I. marked material.

nd - 3 KVA



निष्पत्ति एवं सूची

१. **आदेशों की सूची** - निम्नलिखित आदेशों का सारांश:

२. **आदेशों की सूची** - निम्नलिखित आदेशों का सारांश:

३. **आदेशों की सूची** - निम्नलिखित आदेशों का सारांश:

४. **आदेशों की सूची** - निम्नलिखित आदेशों का सारांश:

५. **आदेशों की सूची** - निम्नलिखित आदेशों का सारांश:

६. **आदेशों की सूची** - निम्नलिखित आदेशों का सारांश:

७. **आदेशों की सूची** - निम्नलिखित आदेशों का सारांश:

८. **आदेशों की सूची** - निम्नलिखित आदेशों का सारांश:

९. **आदेशों की सूची** - निम्नलिखित आदेशों का सारांश:

१०. **आदेशों की सूची** - निम्नलिखित आदेशों का सारांश:

SPECIFICATIONS

Foundation	- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
Superstructure	- Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
Slab	- R.C.C. slab as per structural design in M-25 grade conc.
Joinery	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
Flooring	- Vitrified tiles/marble/kota/c.c.
Painting	- O.B.D. inside & cement based waterproofing paint outside.
Plaster	- 12mm plaster in 1:6 c.m.
Plumbing & sanitary fitting	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
Electrical work	- Conduiting, wiring & M.C.B. with I.S.I. marked material.
Required electric load	- 3 KVA

Superstructure - Composite structure with brick work & R.C.C.

Slab - R.C.C. slab as per structural design in M:25 grade conc.

Joinery - Door frames in sal wood with 32mm commercial board shutter.
Windows in aluminium /UPVC.

Flooring - Vitrified tiles/marble/kota/c.c

Painting -O.B.D. inside & cement based waterproofing paint outside.

Plaster	-12mm plaster in 1:6 c.m.
---------	---------------------------

Plumbing & sanitary fitting - All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.

Electrical work - Conduiting, wiring & M.C.B. with L.S.I. marked material.

Required electric load - 3 KVA



PROPOSED RESIDENCE IN PART LAYOUT (ELDECO SOUTH BLOCK),
PLOT NO. G.M.-1 IN HOUSING SCHEME/ELDECO SHAKARTI AT
VILLAGE-CHANDRAWAL, VILLAGE- NATHU, VILLAGE-NOOR NAGAR
RURAL, VILLAGE- LADKHA, DISTRICT-LUCKNOW (U.P.)
DEVELOPMENT AUTHORITY AREA, LUCKNOW

PLOT NO. 454

Developer:
Eldeco housing & industries ltd.

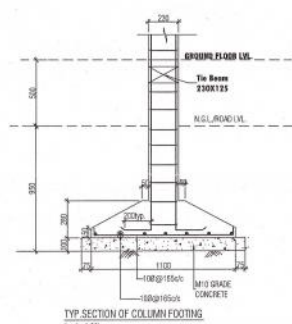
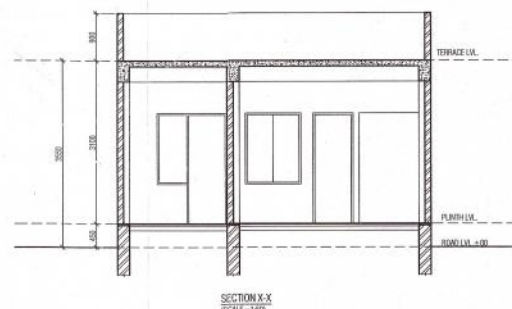
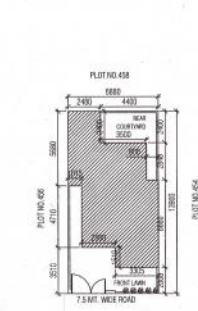
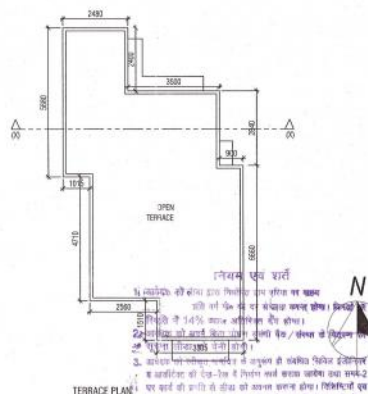
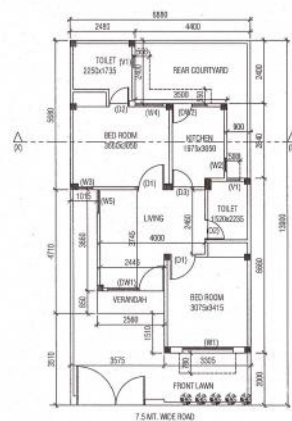
NOTES:
Architect shall not be responsible for any decision of site by the developer.
DEVELOPER SHALL OBTAIN LEGAL POSSESSION OF PLOT BEFORE L.I.D.A.SURVEY
HOUSING SCHEME APPROVED VIDE PERMIT NO.-TH/18/2019

DOOR / WINDOW	SCHEDULE	TYPE	SIZE
1.	D1	950 X 2190	
2.	D2	785 X 2156	
3.	D3	800 X 2100	
4.	W1	1825 X 1300	
5.	W2	560 X 1050	
6.	W3	590 X 1200	
7.	W4	2160 X 1200	
8.	W5	500 X 500	
9.	W6	1065 X 1200	
10.	W7	800 X 1200	
11.	D8	1330 X 1200	

AREA STATEMENT :	SQ. MT.
1.) TOTAL PLOT AREA	95.63sq.mt.
2.) COVERED AREA ON GROUND FLOOR	58.57sq.mt.
3.) OPEN AREA	37.06sq.mt.
4.) TOTAL BUILT-UP AREA(FOR F.A.R.)	58.57sq.mt.
5.) GROUND COVERAGE ACHIEVED	61.25%
6.) F.A.R. ACHIEVED	0.613

DEVELOPER 	ARCHITECT
	 espace Ar. Seelaj Ramani Gupta 108/F, First Corporation Building-7, Vikram Khem Development, Laxminagar, Gurgaon, Haryana 122002 India Ph: 91 98686 99999 / 91 12499 99999 email: seelaj@espacearchitect.com 
	Issued: 01.05.2018

Entered: 01.05.2018



SPECIFICATIONS:

Foundation

- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.

Superstructure

- Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)

Slab

- R.C.C. slab as per structural design in M:25 grade conc.

Joinery

- Door frames in sal wood with 32mm commercial board shutter.
Windows in aluminium /UPVC.

Flooring

- Vitrified tiles/marble/kota/c.c.

Painting

-O.B.D. inside & cement based waterproofing paint outside

Plaster

-12mm plaster in 1:6 c.m.

Plumbing &

- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.

Electrical work

- Conduiting, wiring & M.C.B. with I.S.I. marked material

Required electric load - 3 KVA



DOOR/WINDOW SCHEDULE :		
S.NO	TYPE	SIZE
1	D1	950 X 2100
2	D2	765 X 2100
3	D3	800 X 2100
4	W1	1925 X 1200
5	W2	500 X 1050
6	W3	550 X 1200
7	D/W1	2160 X 1200
8	V1	900 X 600
9	V2	1265 X 120
10	W5	900 X 1200
11	D/W2	1225 X 1200

AREA STATEMENT :	SQ. MT.
1.) TOTAL PLOT AREA	95.63sq.mt
2.) COVERED AREA ON GROUND FLOOR	58.57sq.mt
3.) OPEN AREA	37.06sq.mt
4.) TOTAL BUILT-UP AREA(FOR F.A.R.)	58.57sq.mt
5.) GROUND COVERAGE ACHIEVED	61.25%
6.) F.A.R. ACHIEVED	0.613

DEVELOPERARCHITECT

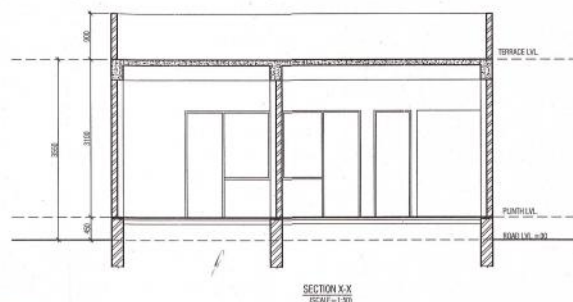
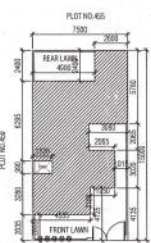
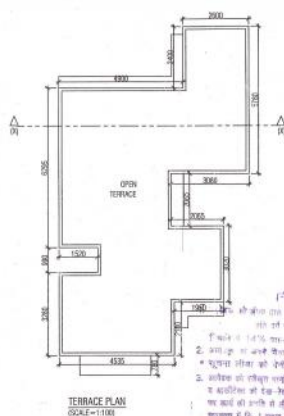
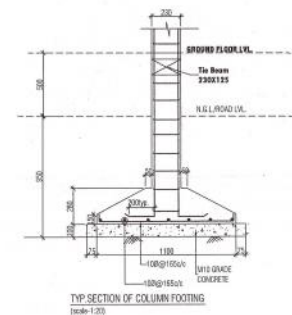
espaces
Dr. Sergey Kumar Gupta
 108/F, Pricor Corporate Chamber 1
 Mahalaxmi Road, Connaught Place,
 New Delhi - 110028
 Ph: 011-46104010, 46104011
 email:espaces_www@rediffmail.com

PROPOSED RESIDENCE IN PART LAYOUT (ELDECO SOUTH BLOCK),
PLOT NO. G.H.-1 IN HOUSING SCHEME(ELDECO SHAKYA) AT
VILLAGE- CHANDRAWAL, VILLAGE- NATKUR, VILLAGE-MOOR NEGER
HEADARSA, VILLAGE- BIJNORE,LUCKNOW INDUSTRIAL
DEVELOPMENT AUTHORITY AREA, LUCKNOW

PLOT NO. 455

Developer:
Eideco housing & industries ltd.

NOTES:
Architect shall not be responsible for any deviation at site by the developer.
DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D. SUBMISSION.
HOUSING SCHEME APPROVED VIDE PERMIT NO.-710 dated 27/02/16



नियम एवं शर्तें

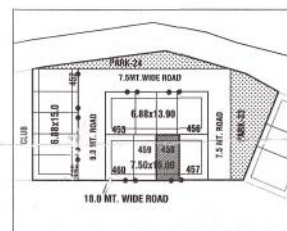
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द्विवेश कुमार मिश्रा
सहायक प्रबन्धक (धन)

नीलेश सिंह कटिया
(अध्यक्ष, जगत विरोध)



FRONT ELEVATION
(SCALE = 1/100)



LOCATION PLAN
INLET TO SEAL FI

NOTES:

1. Architect shall not be responsible for any deviation at site by the developer.
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A. SUBMISSION.
3. HOUSING SCHEME APPROVED UNDER PERMIT NO -718 dated: 27/03/16

NO.	TYPE	SIZE
1	01	350 X 2100
2	02	750 X 2100
3	03	800 X 2100
4	04	2540 X 1200
5	05	630 X 1050
6	06	165 X 1050
7	07	1545 X 1200
8	08	500 X 600
9	09	1595 X 1200
10	10	1675 X 1200
11	11	990 X 1200
12	12	1675 X 1200
13	13	165 X 2100
14	14	500 X 1200

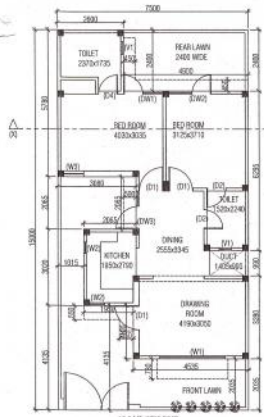
AREA STATEMENT	SQ. MT.
1) TOTAL PLOT AREA	112.50sq.mt
2) COVERED AREA ON GROUND FLOOR	68.32sq.mt.
3) OPEN AREA	44.18sq.mt.
4) TOTAL BUILT-UP AREA (FOR F.A.R.)	68.32sq.mt.
5) GROUND COVERAGE ACHIEVED	60.73%
6) F.A.R. ACHIEVED	0.61

DEVELOPERS

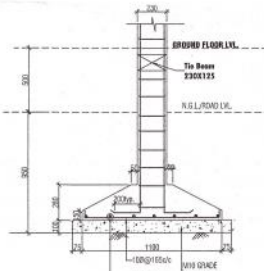
ARCHITECT

Dr. Sangeeta Kaurer Gupta
199 E. 1st Floor Corporate Center I,
Michael Road, Durgam Chawl,
Lucknow-226019
Email: sangeeta@rediffmail.com
sangeeta@rediffmail.com

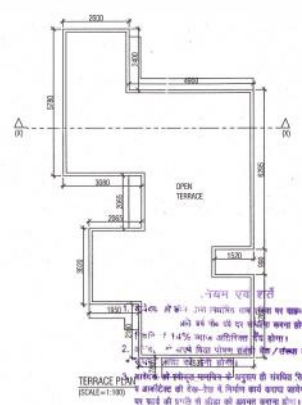
Collect: 01.05.2018



GROUND FLOOR PLAN
(Scale=1:100)



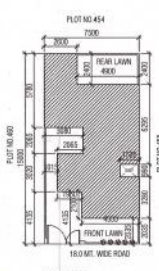
TYP. SECTION OF COLUMN FOOTING
(Scale=1:20)



TERRACE FLOOR PLAN
(Scale=1:100)

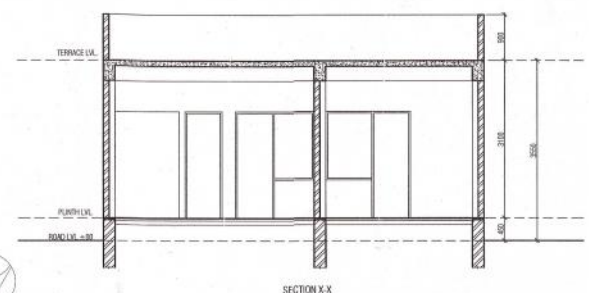


TYP. SECTION FOR 230 THK. BRICK WALL
(Scale=1:20)



SITE PLAN
(Scale=1:100)

1. 1:475 आवाक अतिरिक्त दिनांक 1978 की धारा 19 के अंतर्गत इस अधिनियम अधिनियमित किया गया है कि जिसका अधिनियम संख्या 1978 के अधिनियम के तहत किया गया है।

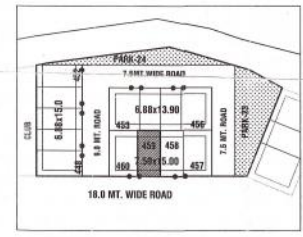


SECTION X-X
(Scale=1:30)

SPECIFICATIONS:

- Foundation** - Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
- Superstructure** - Composite structure with brick work & R.C.C. columns as per structural design.(earthquake resistant)
- Slab** - R.C.C. slab as per structural design in M-25 grade conc.
- Joinery** - Door frames in sa' wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
- Flooring** - Vitrified tiles/marble/kota/c.c.
- Painting** - O.B.D. inside & cement based waterproofing paint outside.
- Plaster** - 12mm plaster in 1:6 c.m.
- Plumbing & sanitary fitting** - All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
- Electrical work** - Conduiting, wiring & M.C.B. with I.S.I. marked material.

Required electric load - 3 KVA



LOCATION PLAN
(NOT TO SCALE)

PROPOSED RESIDENCE IN PART LAYOUT (ELDECO SOUTH BLOCK), PLOT NO. C.E.-1 IN HOUSING SCHEME (ELDECO HOUSING) AT VILLAGE CHANDRABALL, VILLAGE HATCH, VILLAGE MOON RAGAR, BIRGARH, VILLAGE, SINGH, LUDHIANA INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUDHIANA

PLOT NO. 454

Developer: **Eldeco Housing & Industries Ltd.**

NOTES:

1. Architect shall not be responsible for any deviation at site by the Developer.
2. DEVELOPER SHALL OBTAIN LEGAL POSSESSION OF PLOT BEFORE L.O.A. SUBMISSION.
3. HOUSING SCHEME APPROVED VIDE PERMIT NO.-77/19/2018

DOOR WINDOW SCHEDULE:			
Sl. No.	TYPE	SIZE	QTY
1	DOOR	2000 X 2100	1
2	DOOR	2000 X 2100	1
3	DOOR	2000 X 2100	1
4	DOOR	2000 X 2100	1
5	DOOR	2000 X 2100	1
6	DOOR	2000 X 2100	1
7	DOOR	2000 X 2100	1
8	DOOR	2000 X 2100	1
9	DOOR	2000 X 2100	1
10	DOOR	2000 X 2100	1
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13	DOOR	2000 X 2100	1
14	DOOR	2000 X 2100	1

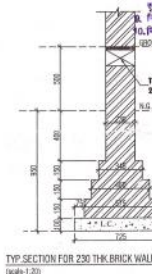
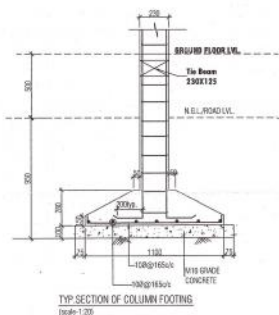
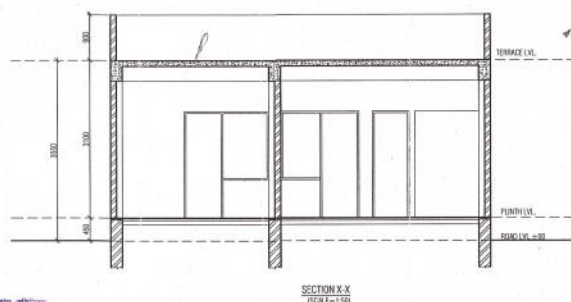
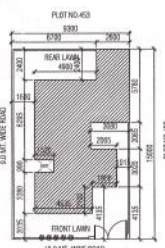
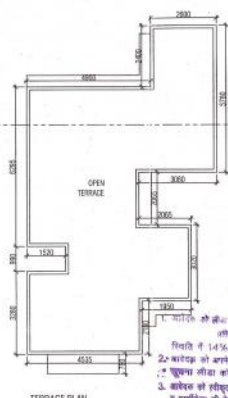
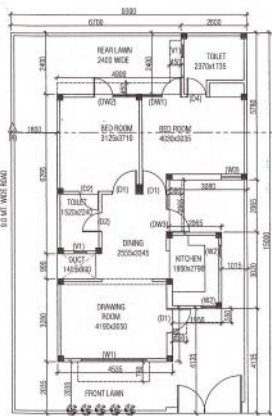
AREA STATEMENT :		SQ. MT.
1.) TOTAL PLOT AREA		112.50sq.mt.
2.) COVERED AREA ON GROUND FLOOR		68.32sq.mt.
3.) OPEN AREA		44.18sq.mt.
4.) TOTAL BUILT-UP AREA(FOR F.A.R.)		68.32sq.mt.
5.) GROUND COVERAGE ACHIEVED		60.73%
6.) F.A.R. ACHIEVED		0.61

DEVELOPER

ARCHITECT

As Shriy Kumar Gupta
100/1, New Corporate, Sector-1,
Indira Nagar, Gurgaon, Haryana
Ludhiana-141001
Ph: 98150-00000
Email: shriy.kumar@gmail.com

Date: 01.05.2018



SPECIFICATIONS:

Foundation

- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.

Superstructure

- Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)

Slab

* R.C.C. slab as per structural design in M:25 grade conc.

100

• Door frames in sal wood with 32mm commercial board shutter.
Windows in aluminium /UPVC.

100

100 800 600 400 200 0

Flooring

- Vitrified tiles/marble/ Kota/ C.C.

Painting

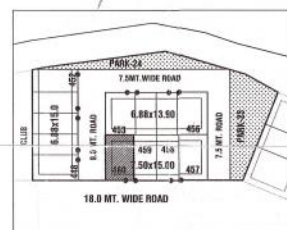
-O.B.D. inside & cement l

Plaster

-12mm plaster in 1:6 c.m.

Plumbing &

sanitary fitting - All plus



**PROPOSED RESIDENCE IN PART LAYOUT (ELEDKO SOUTH BLOCK),
PLOT NO. G-8-1 IN HOUSING SCHEME(ELEDKO) NEARBY AT
VILLAGE- CHENDRAKOTTA, VILLAGE- LATER, VILLAGE-NOOR RAGES,
BENARSHI, VILLAGE- RINORE,LACKNOW INDUSTRIAL
DEVELOPMENT AUTHORITY AREA, LACKNOW**

PLOT NO. 403

Developer:

Eledko housing & industries ltd.

NOTES:

1. Applicant shall not be responsible for any overclaim of site by the developer.
2. DEVELOPER SHALL SINGULAR LEGAL POSSESSION OF PLOT BEFORE 1.10.2009
3. HOUSING SCHEME APPROVED VCD PERMIT NO- 718.dated 27/02/18

S.NO	TYPE	SQ
1	D1	850 X 2100
2	D2	750 X 2100
3	D3	800 X 2100
4	W1	2500 X 1200
5	W2	1000 X 1600
6	W3	745 X 1500
7	W4	1545 X 1000
8	W5	1545 X 600
9	W6	1545 X 1200
10	W7	1675 X 1200
11	W8	990 X 1000
12	DW1	1675 X 1200
13	D4	745 X 2100
14	DW5	1500 X 1200

AREA STATEMENT :	SQ. MT.
1.) TOTAL PLOT AREA	139.50sq.
2.) COVERED AREA ON GROUND FLOOR	68.32sq.m
3.) OPEN AREA	71.18sq.m
4.) TOTAL BUILT-UP AREA(FOR F.A.R.)	68.32sq.m
5.) GROUND COVERAGE ACHIEVED	48.97%
6.) F.A.R. ACHIEVED	0.49

DEVELOPER	ARCHITECT
	 espace <i>Architecture</i> 100 P. Ponce de Leon Avenue Suite 1000, Atlanta, Georgia 30308 Phone: 404.525.1111 Fax: 404.525.1112 www.espaceatl.com 
Dated: 01.05.2010	

