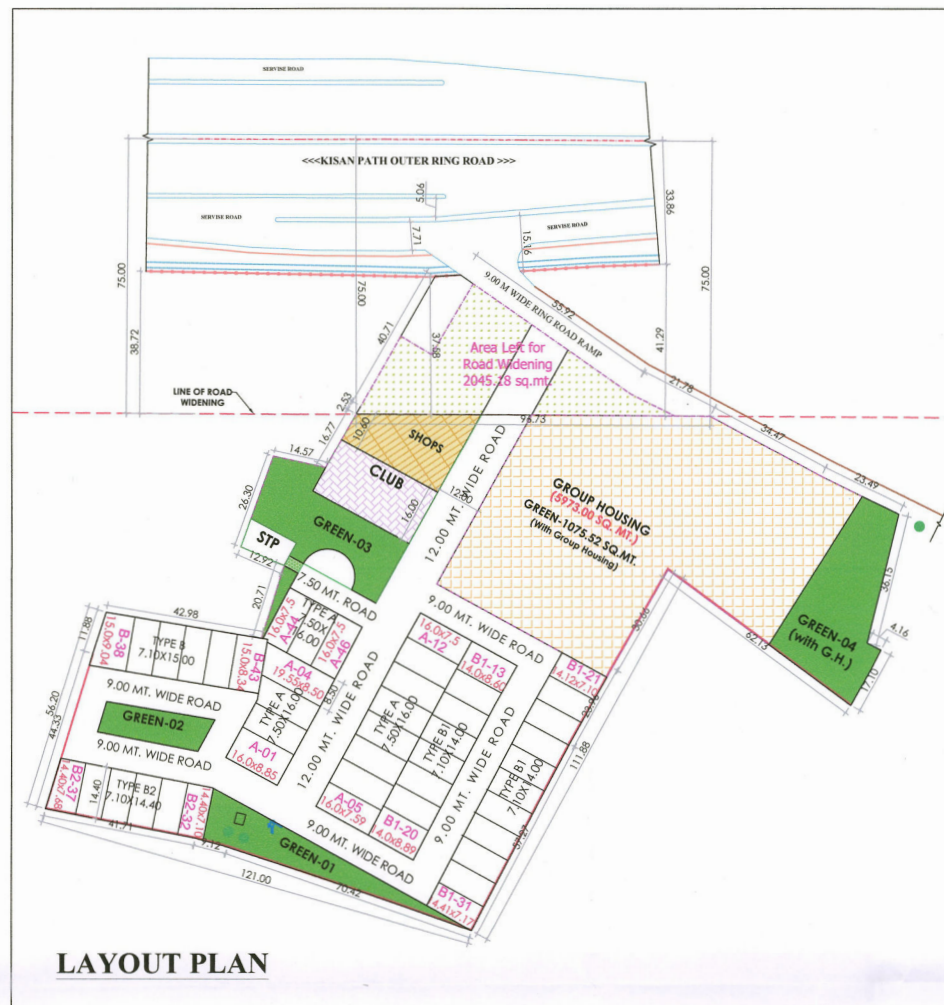


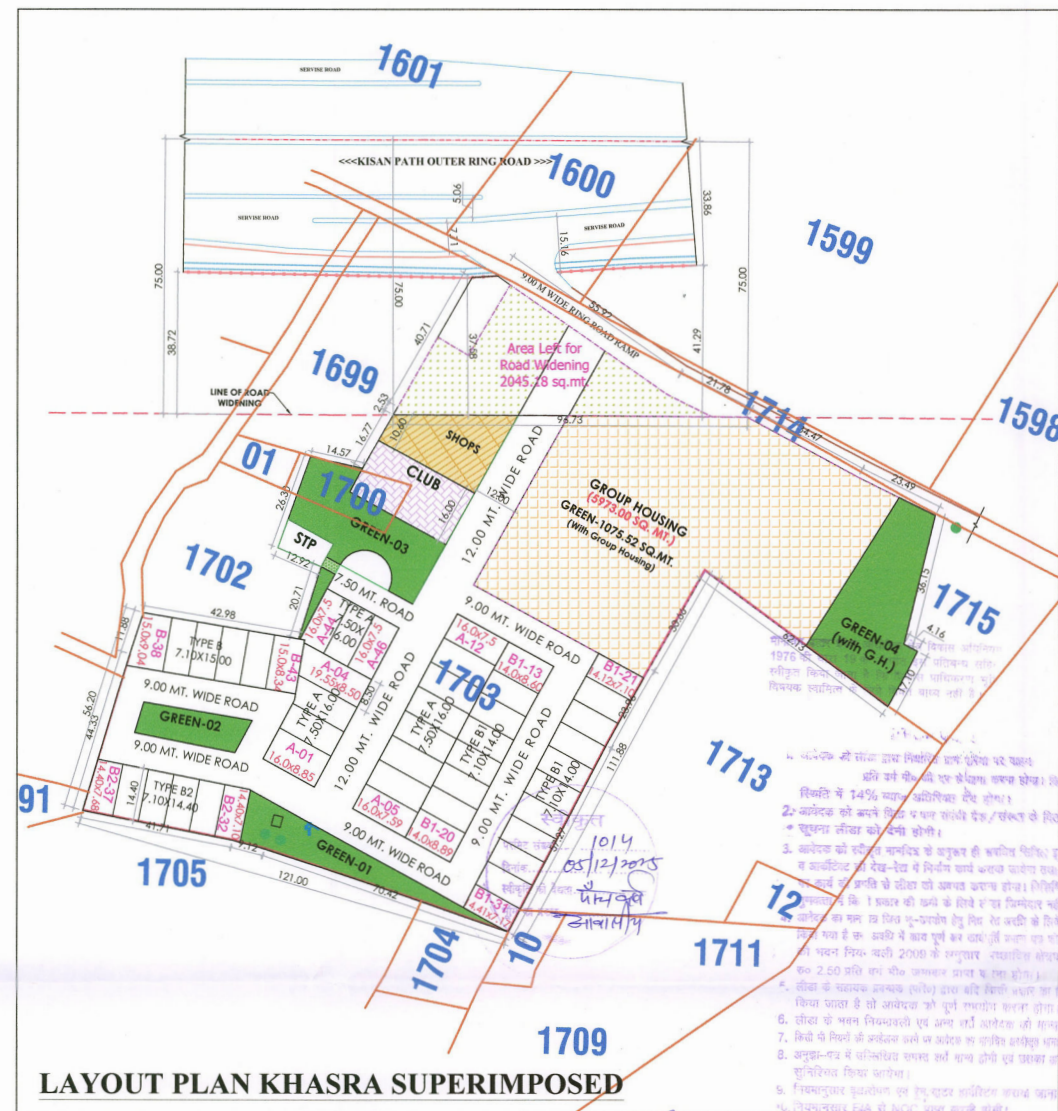


AREA STATEMENT

S.NO.	DESCRIPTION	AREA(sq.mt.)	AREA(hect.)
1.	LAND AREA	19136.00	1.9136
2.	AREA UNDER ROAD WIDENING	2045.18	0.2045
3.	NET LAND AREA	17090.82	1.7090

LAND USE DISTRIBUTION AS PER LAYOUT PLAN

S.NO.	DESCRIPTION		AREA		
			in sq.mt.	in hect.	% achieved
1	RESIDENTIAL AREA	PLOTTED	5135.62		30.05%
		GROUP HOUSING	5973.00		34.95%
		SUB TOTAL	11108.62	1.11086	65.00%
2	COMMERCIAL	SHOPPING	482.10		
		SUB TOTAL	482.10	0.0482	2.82%
3	COMMUNITY FACILITY	CLUB	481.30		
		SUB TOTAL	481.30	0.0481	2.82%
4	GREEN COVER	GREEN/GREEN BELT	2723.21		
		SUB TOTAL	2723.21	0.2723	15.93%
5	SERVICES	SERVICES	102.52		
		SUB TOTAL	102.52	0.0102	0.60%
6	ROAD AREA	ROAD AREA	2193.07		
		SUB TOTAL	2193.07	0.2193	12.83%

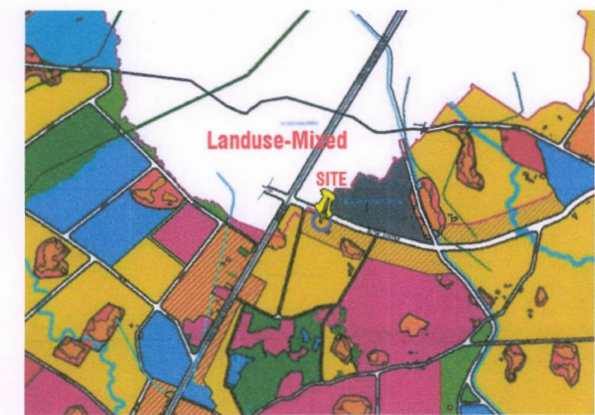


GREEN AREA DETAIL:

S.NO.	DESCRIPTION	AREA(SQ.MT)
1.	GREEN-01	529.45 sq.mt.
2.	GREEN-02	259.78 sq.mt.
3.	GREEN-03	858.46 sq.mt.
4.	GREEN(With Group Housing)	1075.52 sq.mt.
	TOTAL GREEN AREA	2723.21 sq.mt.

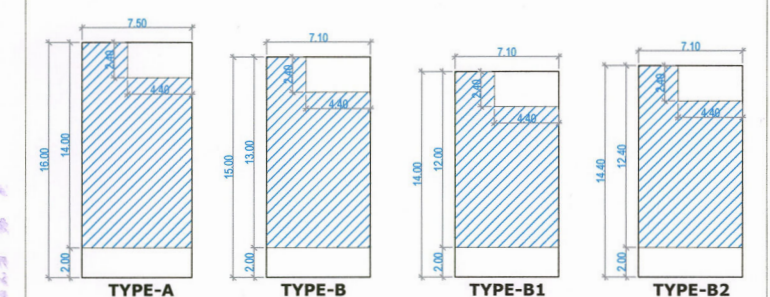
NOTE: PLANTATION & GREEN COVER

- Park area = 2723.21 sq.mt.
- Green area shall be provided as well maintained park. Total no. of 214 trees/plants @ 125 trees per hac., shall be part of this residential colony planted along roads & inside parks.
- 12/9 mt. wide road shall be lined with evergreen trees @ 7.5mt.C/C.
- A Separate Landscape plan is attached showing plantation layout with the categories of trees.
- Refer landscape layout for trees/plants location.



SITE LOCATION IN LIDA MASTER PLAN

SETBACK DETAILS



*AS PER UPSIDA BYE-LAWS - 2009

CORNER & OTHER PLOTS AREA & SIZES

PLOT NO.	PLOT SIZE	PLOT AREA (sq.mt.)
A-01	16.00x8.85	141.60
A-03	16.98x7.50	127.37
A-04	19.64x8.50	166.97
A-05	16.00x7.59	121.44
A-12	16.00x7.50	120.00
B1-13	14.00x8.60	120.40
B1-20	14.00x8.89	124.46
B1-21	14.12x7.10	100.25
B1-31	14.41x7.17	103.32
B1-32	14.40x7.10	102.24
B1-37	14.40x7.68	110.59
B1-38	15.0x9.04	135.66
B1-43	15.0x8.34	125.10
A-44	16.0x7.5	120.00
A-46	16.0x7.5	120.00
TOTAL PLOTS = 15 NOS.		

TOTAL PLOTS = 15 NOS.

PROJECT:

**PROPOSED MINI TOWNSHIP AT KHASRA NO.1703 &1700,NATKUR, PARGANA
BIJNOUR,LUCKNOW**

NOTES:

- PROFILE AND LAND OWNERSHIP DETAILS HAVE BEEN PROVIDED & VERIFIED BY THE DEVELOPER.
- THIS DRAWING IS VALID ONLY IF SIGNED BY THE DEVELOPER.
- SIZRA PLAN DETAILS & LAND AREA CHART IS BEING VERIFIED BY THE DEVELOPER FOR IT'S ACCURACY. ARCHITECT IS NOT RESPONSIBLE FOR THE SAME.

TITLE:

**SUBMISSION
DRAWING**

SCALE

1:1000

DATE:

24.09.2025

NORTH:	
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DEVELOPER/PROMOTER:

Green Apple Infratech Pvt. Ltd.

Director

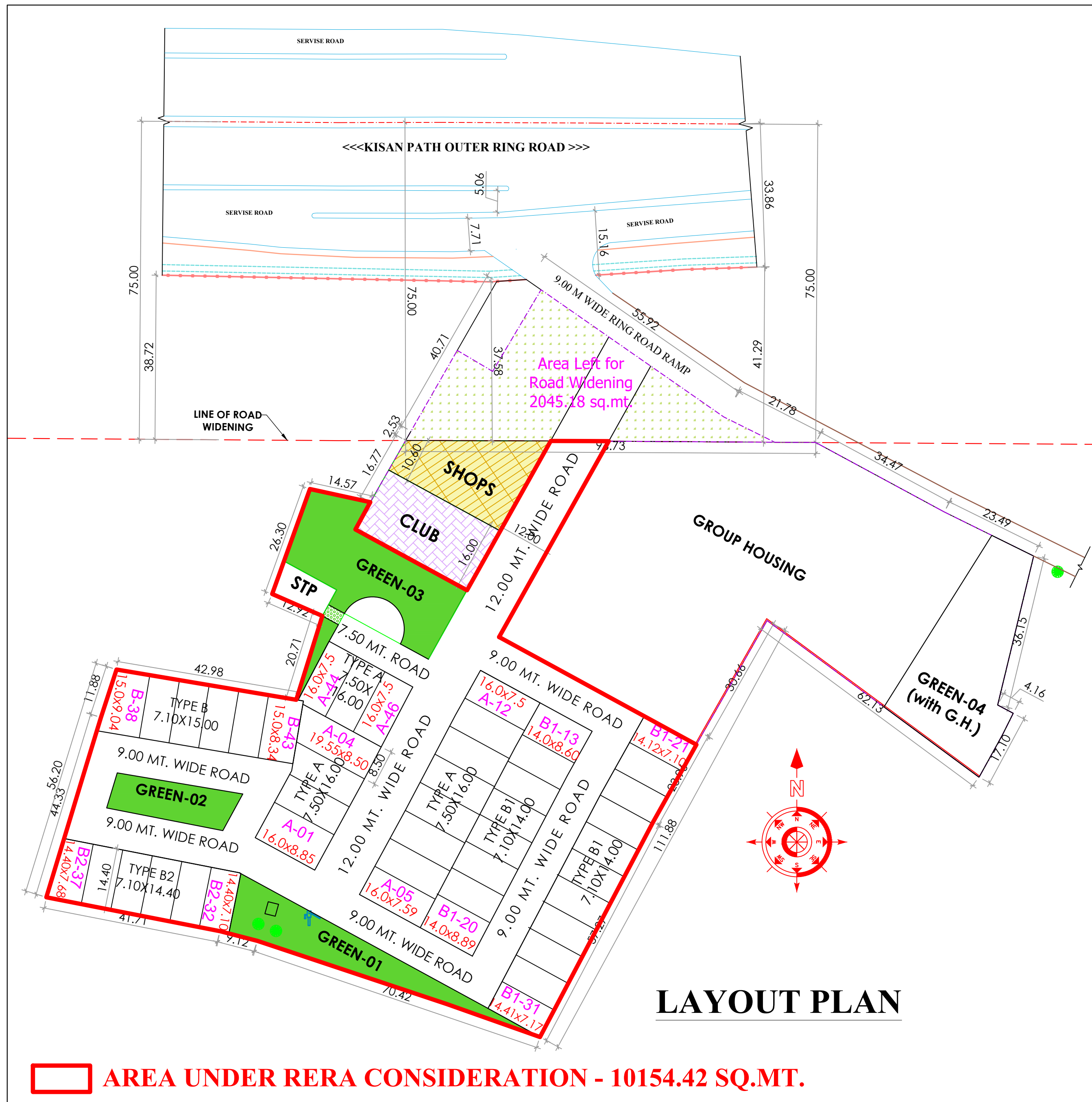
ARCHITECT:



AR. SANJAY KR. GUPTA

GREEN APPLE INFRATECH PRIVATE LIMITED





AREA STATEMENT

S.NO.	DESCRIPTION	AREA(sq.mt.)	AREA(hect.)
1.	LAND AREA	19136.00	1.9136
2.	AREA UNDER ROAD WIDENING	2045.18	0.2045
3.	NET LAND AREA	17090.82	1.7090

LAND USE DISTRIBUTION AS PER LAYOUT PLAN					
S.NO.	DESCRIPTION		AREA		
			in sq.mt.	in hect.	% achieved
1	RESIDENTIAL AREA	PLOTTED	5135.62		30.05%
		GROUP HOUSING	5973.00		34.95%
		SUB TOTAL	11108.62	1.11086	65.00%
2	COMMERCIAL	SHOPPING	482.10		
		SUB TOTAL	482.10	0.0482	2.82%
3	COMMUNITY FACILITY	CLUB	481.30		
		SUB TOTAL	481.30	0.0481	2.82%
4	GREEN COVER	GREEN/GREEN BELT	2723.21		
		SUB TOTAL	2723.21	0.2723	15.93%
5	SERVICES	SERVICES	102.52		
		SUB TOTAL	102.52	0.0102	0.60%
6	ROAD AREA	ROAD AREA	2193.07		
		SUB TOTAL	2193.07	0.2193	12.83%

PROJECT:

PROPOSED MINI TOWNSHIP AT KHASRA NO.1703 &1700,NATKUR, PARGANA BIJNOUR,LUCKNOW

NOTES:

- PROFILE AND LAND OWNERSHIP DETAILS HAVE BEEN PROVIDED & VERIFIED BY THE DEVELOPER.
- THIS DRAWING IS VALID ONLY IF SIGNED BY THE DEVELOPER.
- SZIRA PLAN DETAILS & LAND AREA CHART IS BEING VERIFIED BY THE DEVELOPER FOR IT'S ACCURACY. ARCHITECT IS NOT RESPONSIBLE FOR THE SAME.

TITLE:

APPROVED LAYOUT

SCALE

1:1000

DATE:

07.03.2026

NORTH:

DEVELOPER/PROMOTER:

Green Apple Infratech Pvt. Ltd.

Director

GREEN APPLE INFRATECH PRIVATE LIMITED

ARCHITECT:

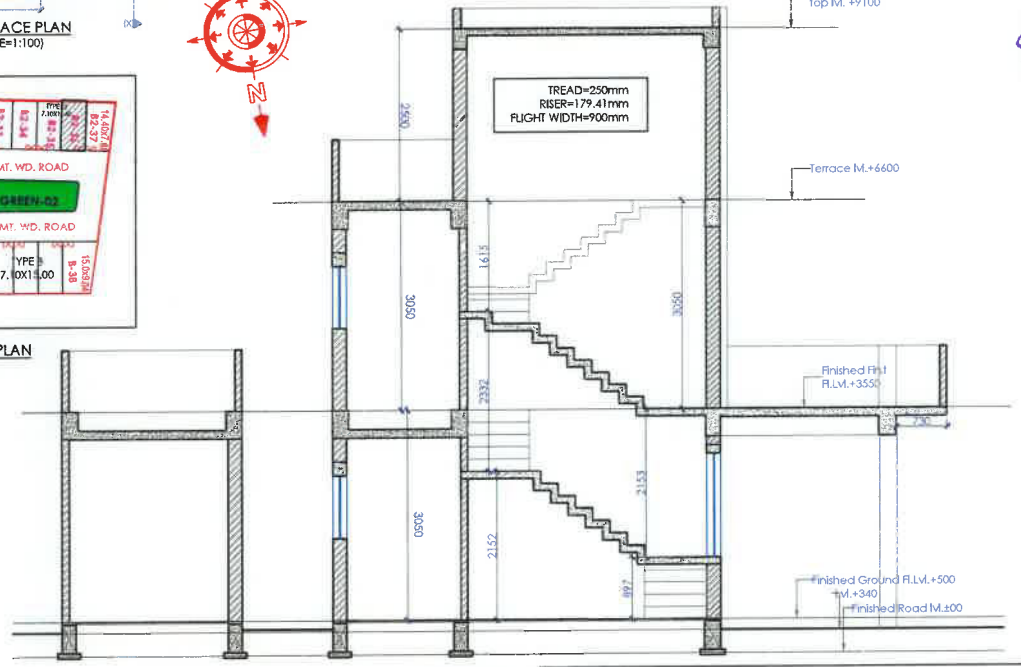
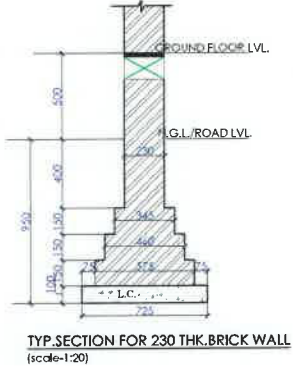
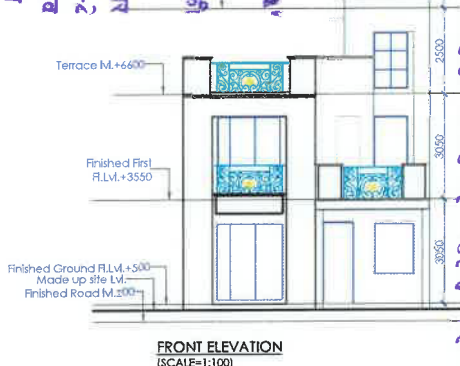
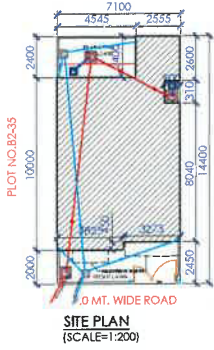
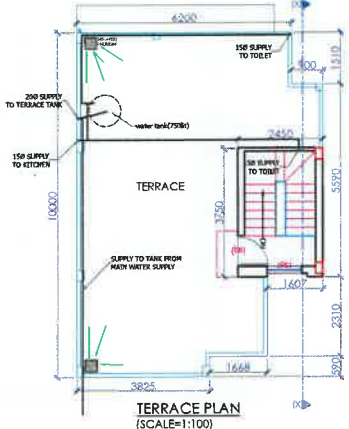
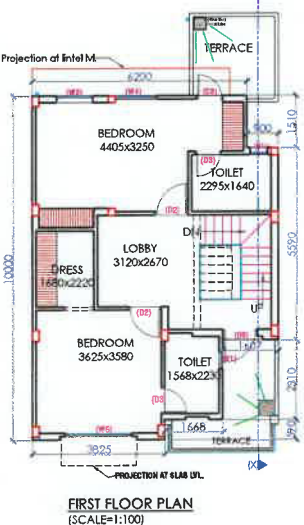
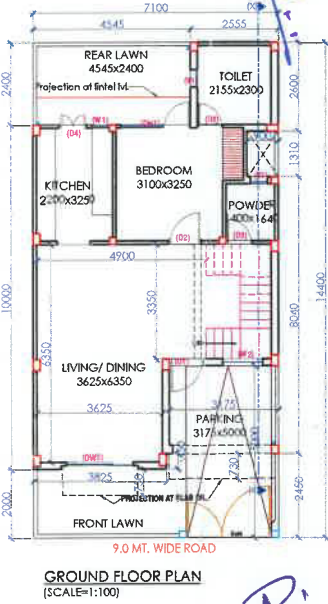
espaces

नियम एवं २

- आवेदक को लीज प्राप्त निशचित रूप परिया कर सक्षम प्रति वर्ष मी० की दर से कर देना होगा। केला व स्थिति में 14% व्याज अतिरिक्त देय होगा।
- आवेदक को अपने वित्त पत्र पर सही ढंग से निशचित कर देना होगा।
- आवेदक को स्थित, मानविक क्षेत्र विकास निशचित इतिहास व आर्किटेक्चर की देख-रेख में निर्माण कार्य कराया जावेगा तथा समय-2 पर कार्य की प्रगति से लीज को अवगत कराया होगा। निशचित एवं गुणवत्ता में किसी प्रकार की कमी के लिये तंज निशचित नहीं होगा।
- आवेदक को मानविक क्षेत्र विकास निशचित इतिहास व आर्किटेक्चर की देख-रेख में कार्य पूर्ण कर कार्य निशचित प्रमाण पत्र देना होगा।
- लीज के सहायक प्रत्येक निर्माण कार्य यदि किसी प्रकार का निशचित किया जाता है तो आवेदक को पूर्ण सहयोग करना होगा।
- लीज के भवन नियमावली एवं अन्य शर्तों आवेदक को मान्य होनी चाहिए।
- किसी भी नियम को अवहेलना करने पर आवेदक का मानविक क्षेत्र विकास निशचित प्रमाण पत्र रद्द होना होगा।
- अनुज्ञा-पत्र में उल्लिखित समस्त शर्तें मान्य होनी होंगी व सख्त अनुपालन सुनिश्चित किया जायेगा।
- नियमानुसार वृक्षारोपण एवं पेड़-पौधे लगाये जायेंगे।
- नियमानुसार 50% से अधिक पार्क कर देना होगा।

मानविक क्षेत्र विकास निशचित इतिहास व आर्किटेक्चर की देख-रेख में निर्माण कार्य कराया जावेगा। 1976 की धारा 19 के अंतर्गत इस प्रतिबन्ध सहित स्वीकृत किया जाता है कि विकास प्राधिकरण भूमि विषयक स्वामित्व के लिये विवेक बाध्य नहीं है।

स्वीकृत
परमिट संख्या... 1303
दिनांक... 18.02.26
स्वीकृति की वैधता... पांच वर्ष
भूमि का प्रकार... आवासीय



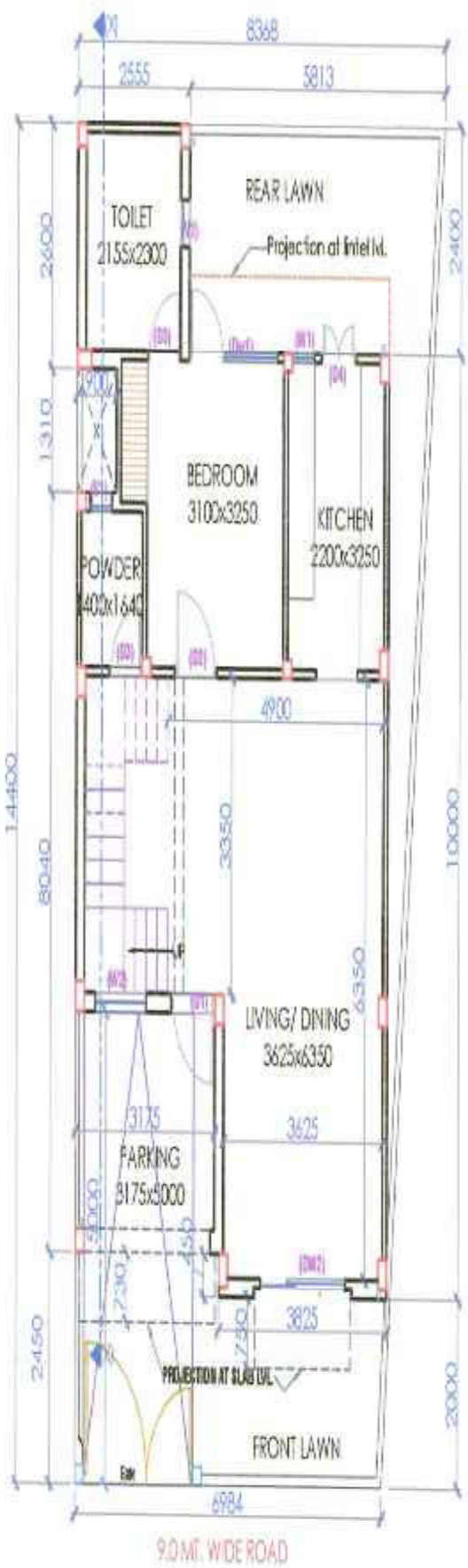
MINI TOWNSHIP AT KHASRA NO. 1703 & 1700, NATKUR, PARGANA BIJNOUR, LUCKNOW
PLOT NO. B2-36
Developer:
GREEN APPLE INFRA TECH PRIVATE LIMITED

DOOR/WINDOW	SCHEDULE
1. D1	1000x2400
2. D2	750x2100
3. D3	2400x1000
4. D4	800x2100
5. D5	1000x2100
6. DW1	2000x2100
7. DW2	1200x2400
8. W1	1000x1000
9. W2	1150x1500
10. W3	1040x1200
11. W4	1150x1200
12. W5	500x600
13. W6	1920x1500
14. D6	900x2100

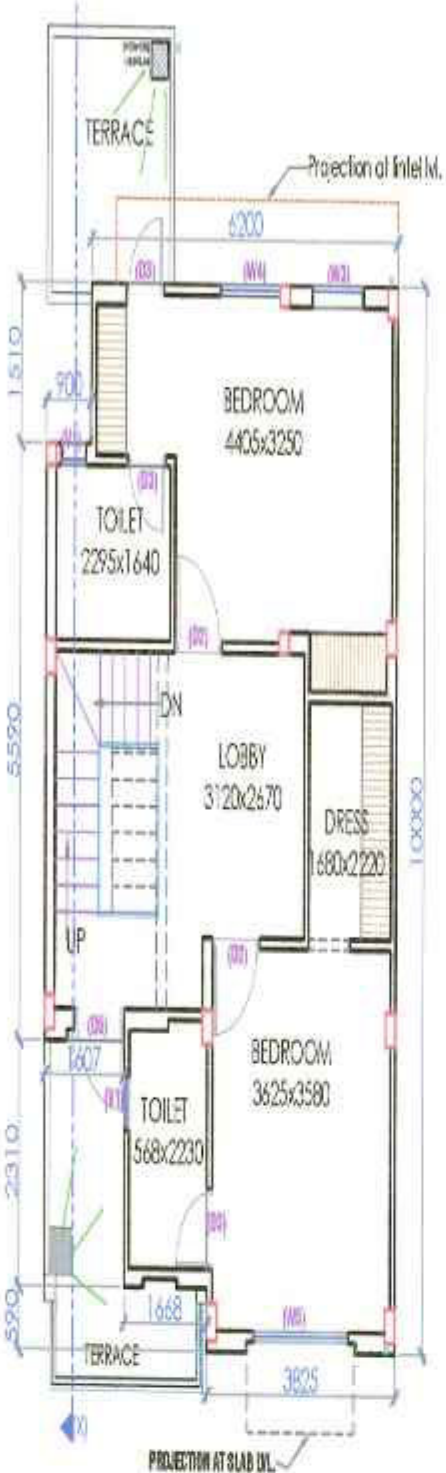
AREA STATEMENT	SQ. MT.
1. TOTAL PLOT AREA	102.24sq.mt.
2. COVERED AREA ON GROUND FLOOR	74.48sq.mt.
3. COVERED AREA ON FIRST FLOOR	64.00sq.mt.
4. OPEN AREA	27.76sq.mt.
5. MUMTY AREA	9.19sq.mt.
6. PROJECTION AREA (half area to be included in F.A.R.)	15.19sq.mt.
7. TOTAL BUILT-UP AREA (2x3+5+half of 6)-FOR F.A.R.	155.27sq.mt.
8. GROUND COVERAGE ACHIEVED (permissible-75%)	72.85%
9. F.A.R. ACHIEVED (permissible-1.80)	1.519

DEVELOPER
Green Apple Infra Tech Pvt. Ltd.
ARCHITECT
A.R. Sanjay Kumar Gupta
100 F. Floor Corporate Chamber-1,
Mineral House, Convent Road,
Lucknow-226010
Ph: 9805505050, 9811140000
email: aparc@rediffmail.com

SPECIFICATIONS:	
Foundation	- Stepped brick footing in 1:3 c.m. as per structural design with r.c.c. columns as per design.
Superstructure	- Composite structure with brick work & R.C.C. columns as per structural design (earthquake resistant)
Slab	- R.C.C. slab as per structural design in M25 grade conc.
Joinery	- Door frames in solid wood with 32mm commercial board shutter. Windows in aluminium UPVC.
Flooring	- Vitrified tiles/marble/kota/c.c.
Painting	- O.B.D. inside & cement based waterproofing paint outside.
Plaster	- 12mm plaster in 1:3 c.m.
Plumbing & sanitary fitting	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
Electrical work	- Cabling, wiring & M.C.B. with I.S.I. marked material.



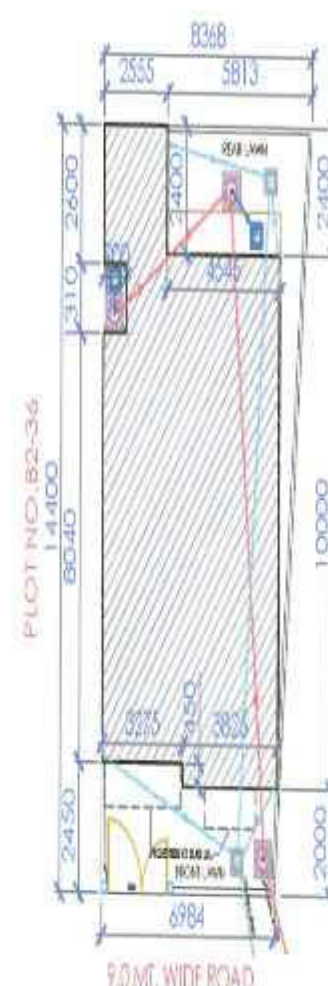
GROUND FLOOR PLAN
(SCALE=1:100)



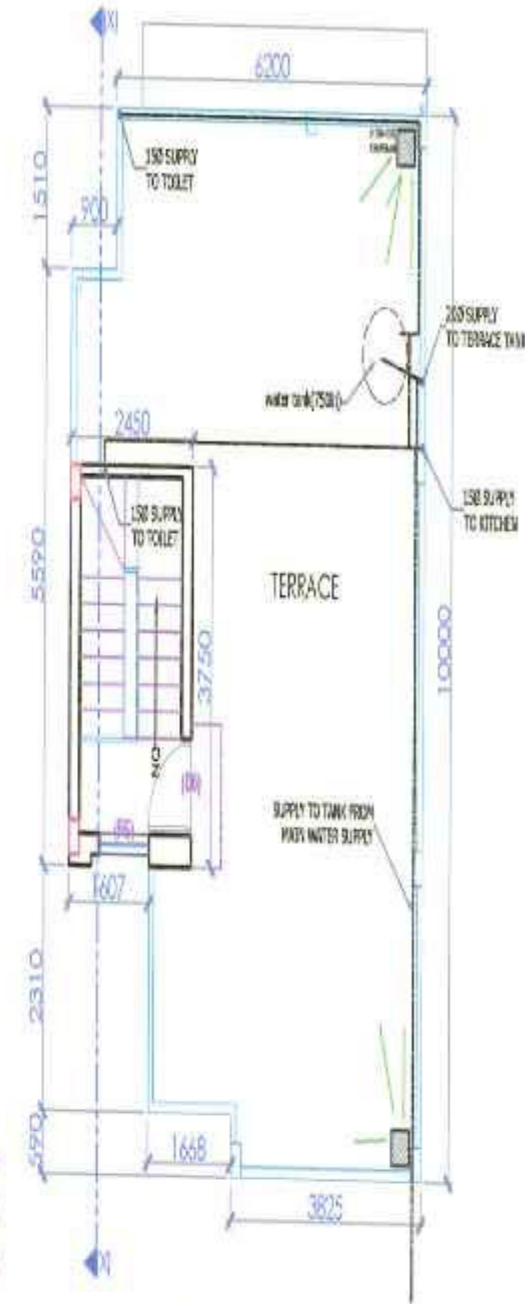
FIRST FLOOR PLAN
(SCALE=1:100)



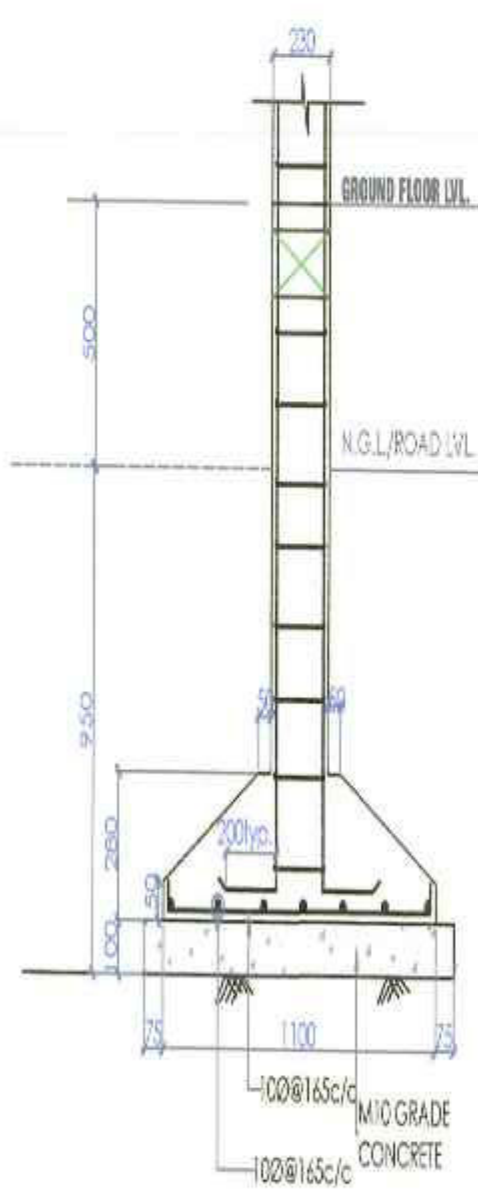
FRONT ELEVATION
(SCALE=1:100)



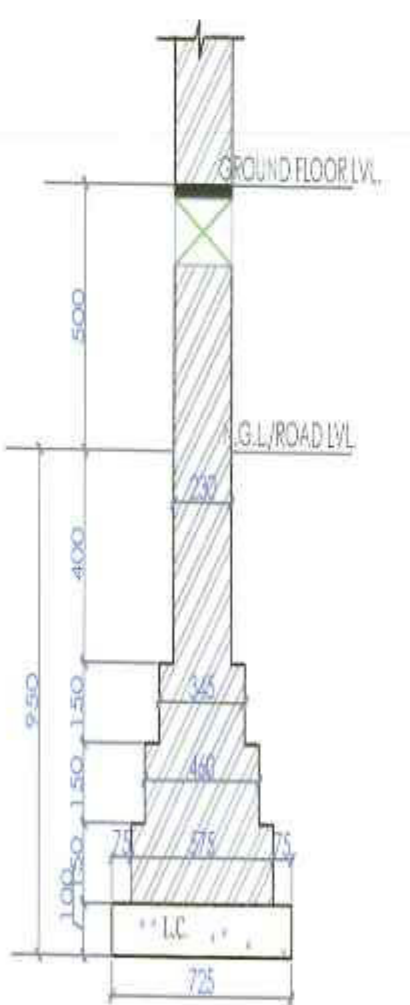
SITE PLAN



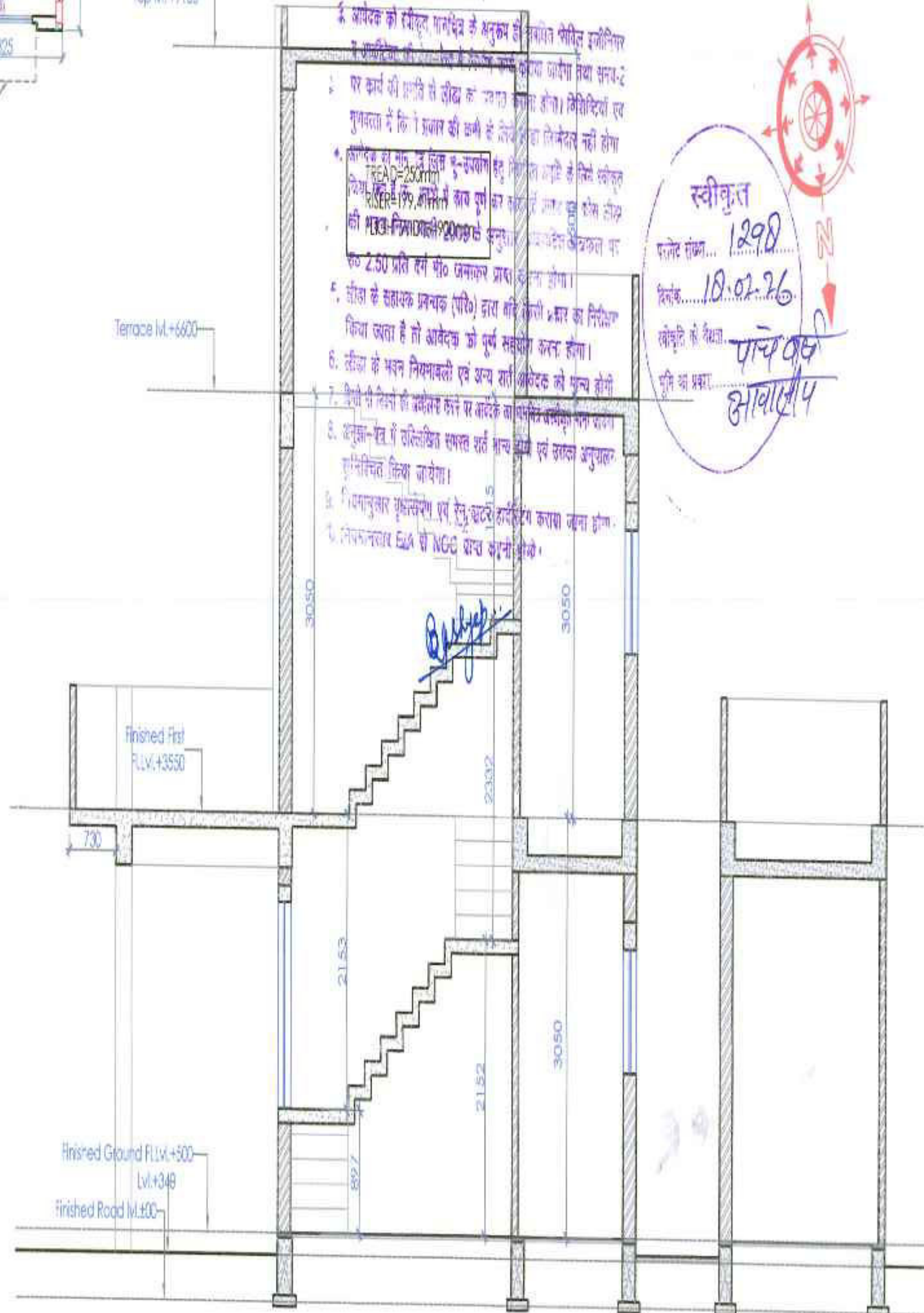
TERRACE PLAN
(SCALE=1:100)



TYP. SECTION OF COLUMN FOOTING
(scale=1:20)



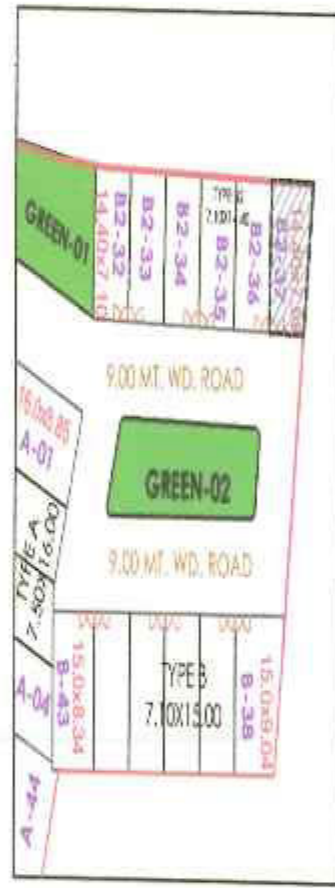
TYP. SECTION FOR 230 THK. BRICK WALL
(scale=1:20)



SECTION X-X
(SCALE=1:50)

1. आवेदक को प्लॉट का मालिक होना चाहिए।
2. आवेदक को प्लॉट का मालिक होना चाहिए।
3. आवेदक को प्लॉट का मालिक होना चाहिए।
4. आवेदक को प्लॉट का मालिक होना चाहिए।
5. आवेदक को प्लॉट का मालिक होना चाहिए।
6. आवेदक को प्लॉट का मालिक होना चाहिए।
7. आवेदक को प्लॉट का मालिक होना चाहिए।
8. आवेदक को प्लॉट का मालिक होना चाहिए।
9. आवेदक को प्लॉट का मालिक होना चाहिए।
10. आवेदक को प्लॉट का मालिक होना चाहिए।

स्वीकृत
1298
18.02.26
पांचवें
भावालय



LOCATION PLAN
(NOT TO SCALE)

MINI TOWNSHIP AT KHASRA NO.1703 & 1700, NATKUR, PARGANA BIJNOUR, LUCKNOW

PLOT NO. B2-37

Developer:

GREEN APPLE INFRA TECH PRIVATE LIMITED

NOTES:

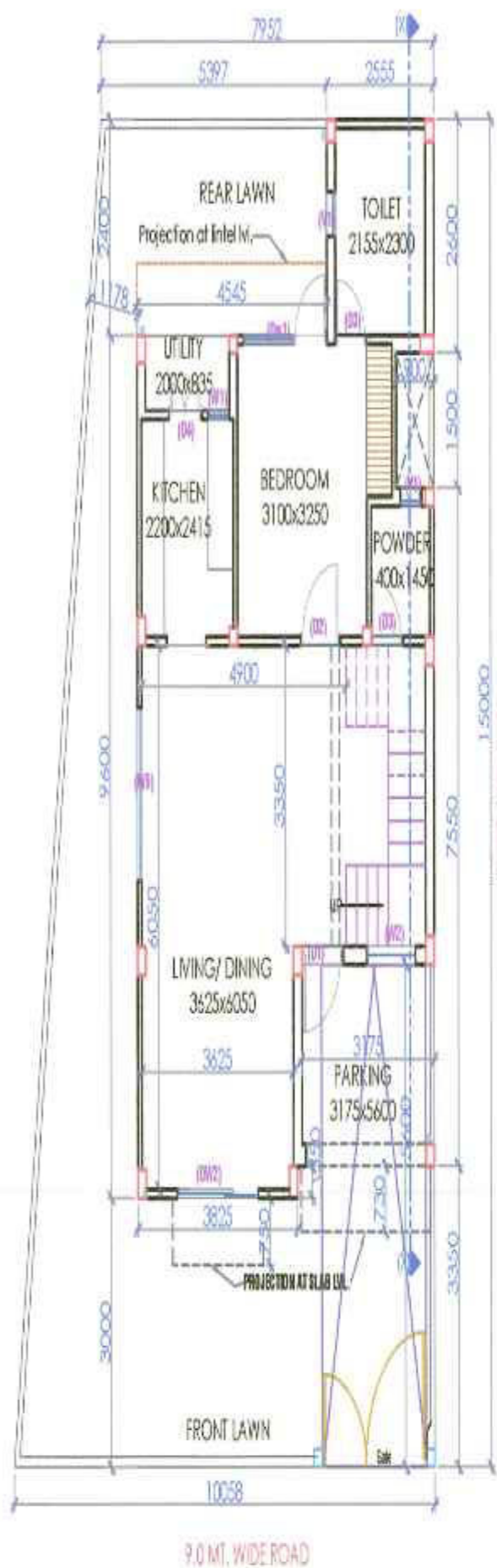
1. Architect shall not be responsible for any deviation at site by the developer.
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE SUBMISSION.
3. Layout approved vide permit no.1014, dated 05.12.2025.

DOOR/WINDOW SCHEDULE :		
S.NO.	TYPE	SIZE
1.	D1	1000x2400
2.	D2	950x2100
3.	D3	755x2100
4.	D4	800x2100
5.	D5	1000x2100
6.	DW1	2000x2100
7.	DW2	1925x2400
8.	W1	500x1050
9.	W2	1155x1500
10.	W3	1045x1200
11.	W4	1195x1200
12.	V1	500x800
13.	WS	1925x1500
14.	D6	900x2100

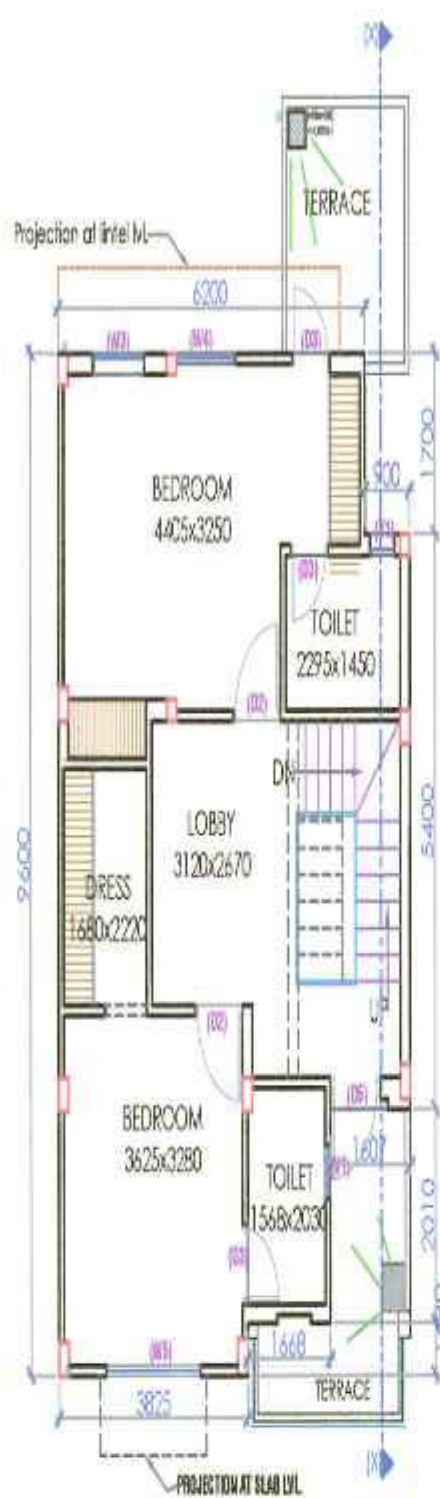
AREA STATEMENT :		SQ. MT.
1.) TOTAL PLOT AREA		110.53sq.mt.
2.) COVERED AREA ON GROUND FLOOR		74.48sq.mt.
3.) COVERED AREA ON FIRST FLOOR		64.00sq.mt.
4.) OPEN AREA		36.05sq.mt.
5.) MUMTY AREA		9.19sq.mt.
6.) PROJECTION AREA (hall area to be included in F.A.R.)		15.19sq.mt.
7.) TOTAL BUILT-UP AREA (2+3+5+6) FOR F.A.R.		155.27sq.mt.
8.) GROUND COVERAGE ACHIEVED (permissible-75%)		67.38%
9.) F.A.R. ACHIEVED (permissible-1.80)		1.405

DEVELOPER	ARCHITECT
Green Apple Infra Tech Pvt. Ltd.	Ar. Sanjay Kumar Gupta 108 F. Floor Composite Chamber-I 108/80 Khana Green Nagar Lucknow-226010 Ph No 4255558, 0119114580 email: spaces.in@gmail.com

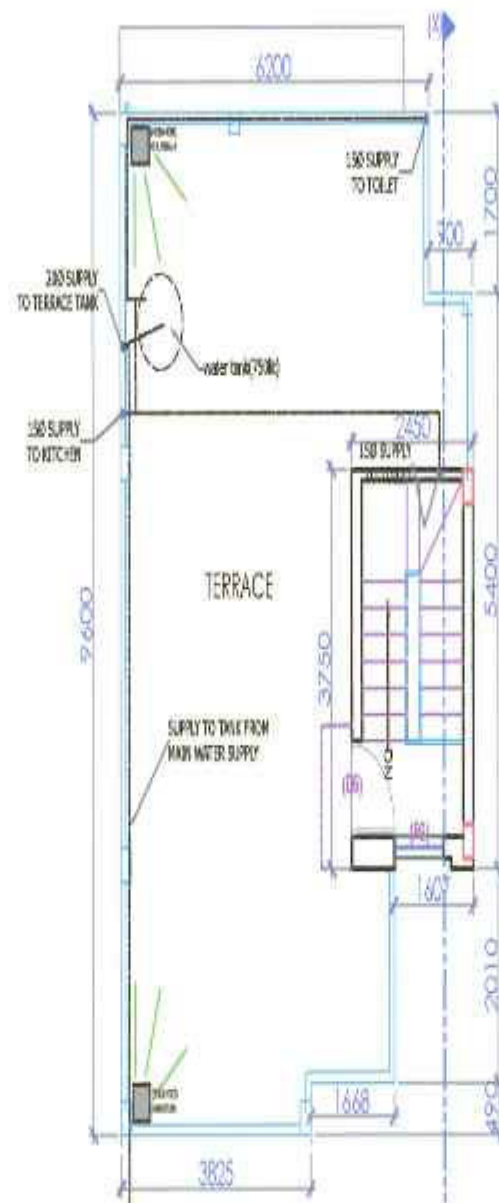
SPECIFICATIONS:	
Foundation	- Stepped brick footing in 1:3 c.m. as per structural design with r.c.c. columns as per design.
Superstructure	- Composite structure with brick work & R.C.C. columns as per structural design, (earthquake resistant)
Slab	- R.C.C. slab as per structural design in M25 grade conc.
Joinery	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
Flooring	- Vitrified tiles/marble/kata/c.c.
Painting	- O.B.D. inside & cement based waterproofing paint outside.
Plaster	- 12mm plaster in 1:3 c.m.
Plumbing & sanitary fitting	- All plumbing work using ISI marked UPVC pipes with standard fittings & fixtures.



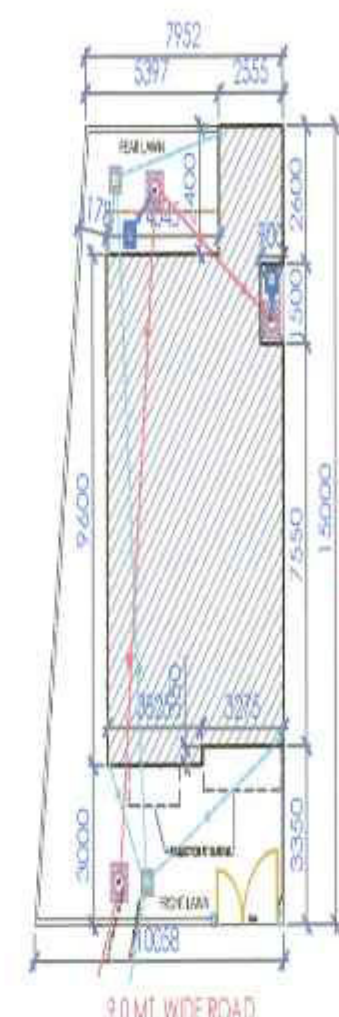
GROUND FLOOR PLAN
(SCALE=1:100)



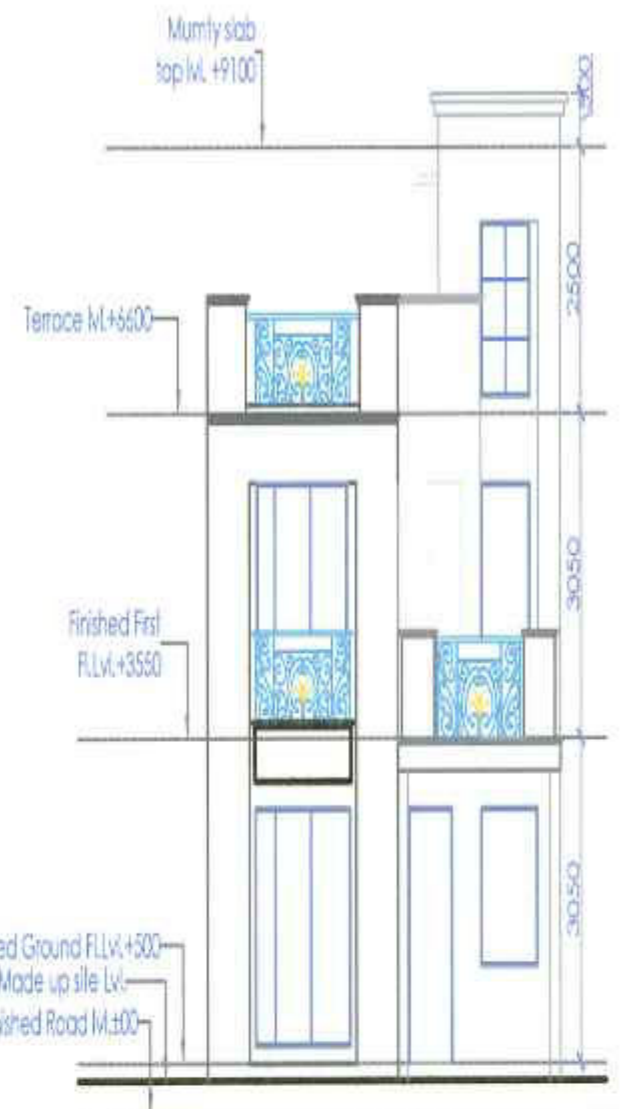
FIRST FLOOR PLAN
(SCALE=1:100)



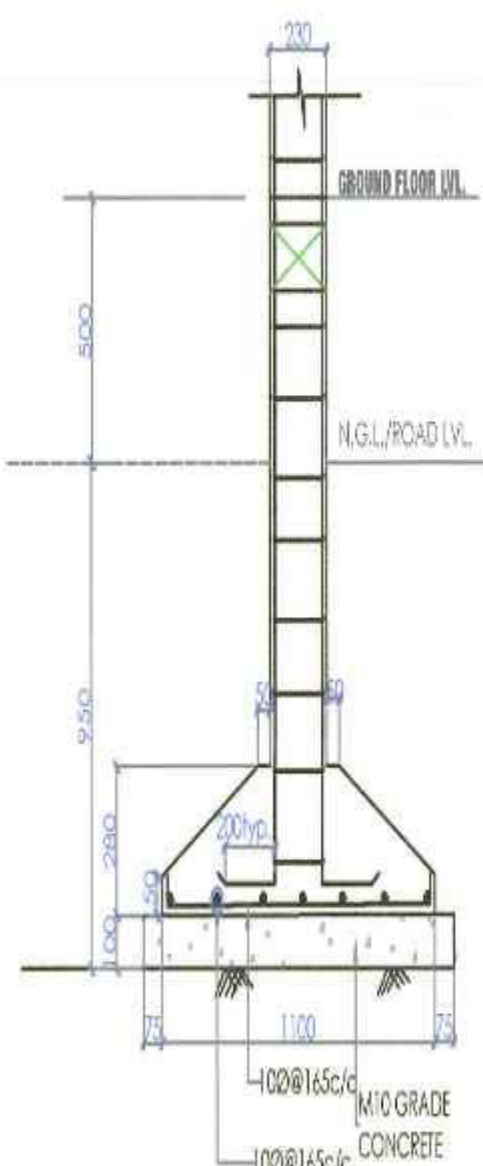
TERRACE PLAN
(SCALE=1:100)



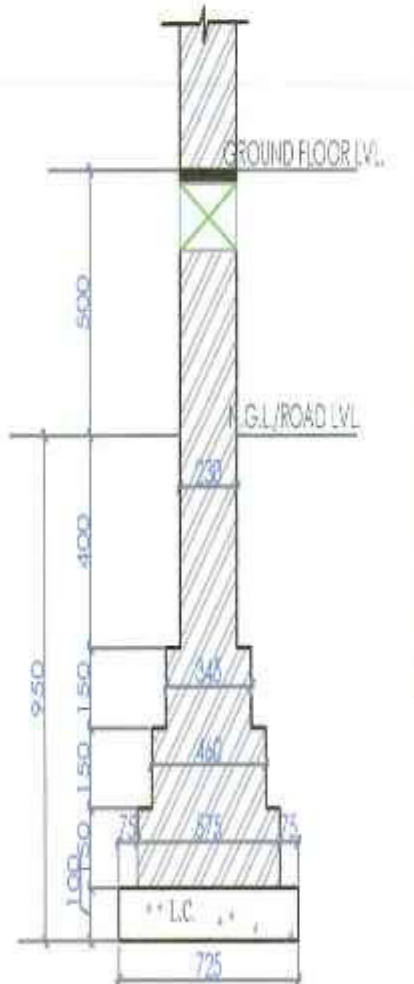
SITE PLAN
(SCALE=1:200)



FRONT ELEVATION
(SCALE=1:100)



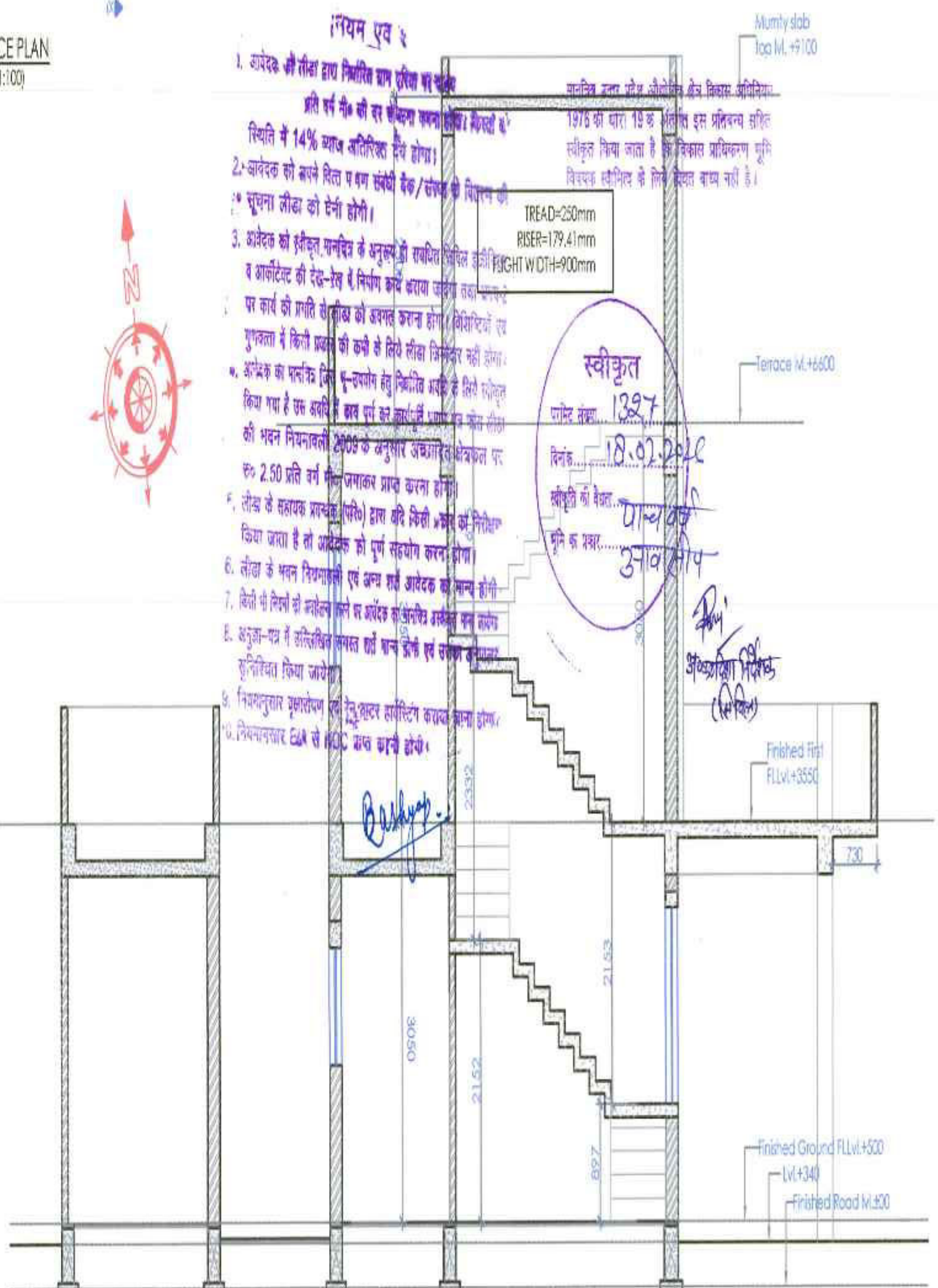
TYP. SECTION OF COLUMN FOOTING
(scale=1:20)



TYP. SECTION FOR 230 THK. BRICK WALL
(scale=1:20)



LOCATION PLAN
(NOT TO SCALE)



SECTION X-X
(SCALE=1:50)

SPECIFICATIONS:

Foundation	Stepped brick footing in 1:3 c.m. as per structural design with r.c.c. columns as per design.
Superstructure	Composite structure with brick work & R.C.C. columns as per structural design (earthquake resistant).
Slab	R.C.C. slab as per structural design in M25 grade conc.
Joinery	Door frames in s.d. wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
Roofing	Vitrified tiles/marble/terrazzo/c.c.
Painting	O.B.D. inside & cement based waterproofing paint outside.
Plaster	12mm plaster in 1:3 c.m.
Plumbing & sanitary fitting	All plumbing work using U.S.I. marked UPVC pipes with standard fittings & fixtures.

MINI TOWNSHIP AT KHASRA NO.1703 &1700,NATKUR, PARGANA BIJNOUR,LUCKNOW

PLOT NO. B-38

Developer:
GREEN APPLE INFRA TECH PRIVATE LIMITED

NOTES:

1. Architect shall not be responsible for any deviation of title by the developer.
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE SUBMISSION.
3. Layout approved vide permit no. 1014, dated 05.12.2025.

DOOR/ WINDOW SCHEDULE:

S.NO.	TYPE	SIZE
1.	D1	1000x2400
2.	D2	950x2100
3.	D3	755x2100
4.	D4	800x2100
5.	D5	1000x2100
6.	DW1	2000x2100
7.	DW2	1925x2400
8.	W1	500x1050
9.	W2	1155x1500
10.	W3	1045x1200
11.	W4	1195x1200
12.	V1	500x600
13.	W5	1925x1500
14.	D6	900x2100

AREA STATEMENT:

S.NO.	TYPE	SIZE
1.	D1	1000x2400
2.	D2	950x2100
3.	D3	755x2100
4.	D4	800x2100
5.	D5	1000x2100
6.	DW1	2000x2100
7.	DW2	1925x2400
8.	W1	500x1050
9.	W2	1155x1500
10.	W3	1045x1200
11.	W4	1195x1200
12.	V1	500x600
13.	W5	1925x1500
14.	D6	900x2100

DEVELOPER

ARCHITECT

espaces
Ar. Sanjay Kumar Gupta
105 F. Floor Corporate Chamber-I,
10th Floor, Green Park, Sector-1,
Lucknow-226017
Ph.No. 4255555 9415114685
email: spaces.arch@gmail.com

Green Apple Infra Tech Pvt. Ltd.

Director



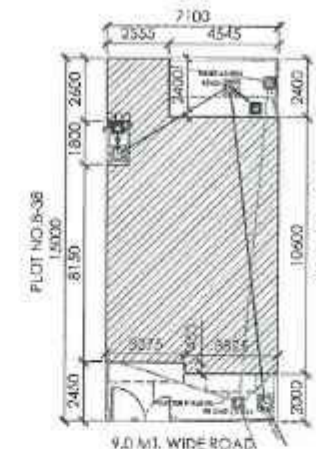
GROUND FLOOR PLAN
(SCALE=1:100)



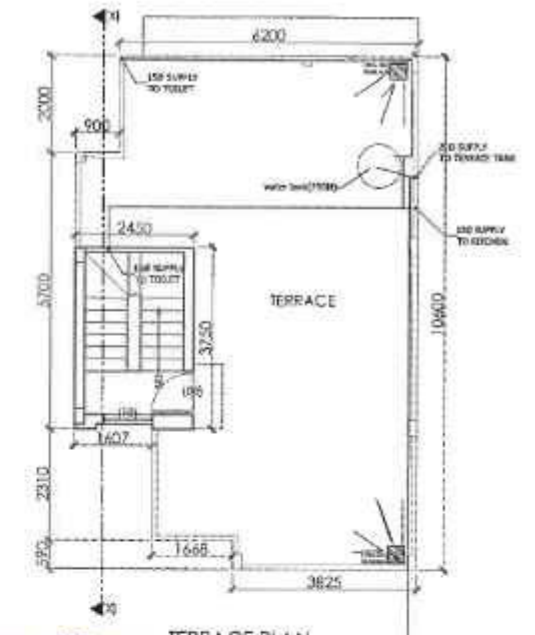
FIRST FLOOR PLAN
(SCALE=1:100)



FRONT ELEVATION
(SCALE=1:100)



SITE PLAN
(SCALE=1:200)



TERRACE PLAN
(SCALE=1:100)

नियम एवं शर्तें

- आवेदक को सीमा द्वारा निर्धारित ग्राम सीमा पर रखकर स्थिति में 14% व्याज अतिरिक्त देना होगा।
- आवेदक को अपने वित्त के अनुसार बैंक/संस्था के वित्त की सूचना लेखा को देनी होगी।
- आवेदक को स्वीकृत मानचित्र के अनुरूप ही सबमिट सेविल इजीनियर व आर्किटेक्ट की देख-रेख में निर्माण कार्य कराया जाएगा तथा समय-2 पर कार्य की प्रगति से लेखा को अवगत कराया होगा। यदि निर्माण कार्य गुणवत्ता में किसी प्रकार की कमी के लिये लेखा जिम्मेदार नहीं होगा।
- आवेदक का प्रासाद जिस भू-उपयोग हेतु निर्धारित अवधि के लिये स्वीकृत किया गया है उस अवधि में कार्य पूर्ण कर कार्यपत्र प्रमाण पत्र फीस लेखा की भवन नियमावली 2009 के अनुसार अध्यावधिक क्षेत्रफल पर रु० 2.50 प्रति वर्ग मी० जमाकर प्राप्त करना होगा।
- लेखा के सहायक प्रबन्धक (परि०) द्वारा यदि किसी प्रकार का निरीक्षण किया जाता है तो आवेदक को पूर्ण सहयोग करना होगा।
- लेखा के भवन नियमावली एवं अन्य शर्तें आवेदक को मान्य होगी।
- किसी भी नियम की उल्लंघना करने पर आवेदक का मानचित्र अस्वीकृत माना जाएगा।
- अनुज्ञा-पत्र में उल्लिखित समस्त शर्तें मान्य होंगी एवं इसका अनुपालन सुनिश्चित किया जाएगा।
- नियमानुसार वसतिगृह एवं रेनु क्वार्टर हार्बस्टिंग कराया जाएगा होगा।
- नियमानुसार EIA से NOC प्राप्त करने होंगे।

मानचित्र उत्तर प्रदेश जैववैज्ञानिक क्षेत्र विकास अधिनियम 1976 की धारा 19 के अंतर्गत इस प्रतिबन्ध सहित स्वीकृत किया जाता है कि विकास प्राधिकरण भूमि विधायक स्वामित्व के लिये विवरण कर देगी है।



LOCATION PLAN
(NOT TO SCALE)

स्वीकृत

परमिट संख्या... 1329
दिनांक... 18.02.2024
स्वीकृति की शर्तें... पांचवर्षीय आवासीय

अध्यक्ष निदेश (सिफिक)

Basheer

SECTION X-X
(SCALE=1:50)

MINI TOWNSHIP AT KHASRA NO.1703 &1700,NATKUR, PARGANA BIJNOUR,LUCKNOW

PLOT NO. B-39

Developer:
GREEN APPLE INFRA TECH PRIVATE LIMITED

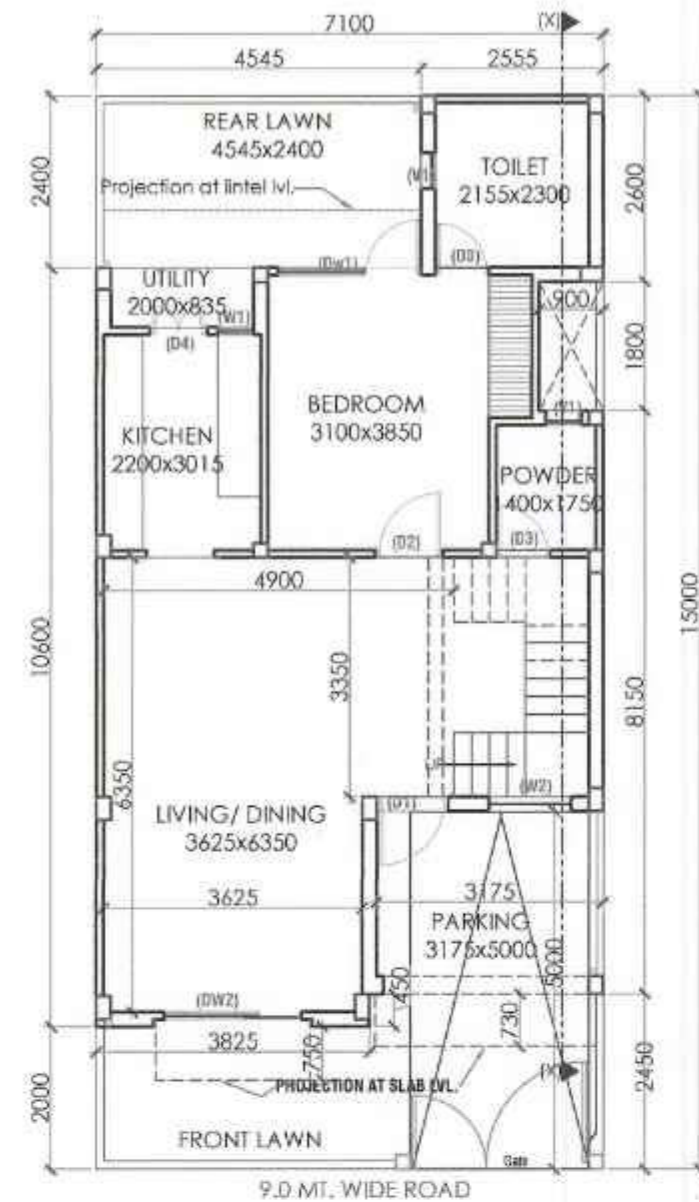
- NOTES:
- Architect shall not be responsible for any deviation at site by the developer.
 - DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE SUBMISSION.
 - Layout approved vide permit no.1014, dated 05.12.2023.

DOOR/ WINDOW SCHEDULE :		
S.NO.	TYPE	SIZE
1.	D1	1000x2400
2.	D2	950x2100
3.	D3	750x2100
4.	D4	800x2100
5.	D5	1000x2100
6.	DW1	2000x2100
7.	DW2	1925x2400
8.	W1	500x1050
9.	W2	1155x1500
10.	W3	1045x1200
11.	W4	1195x1200
12.	V1	500x600
13.	W5	1925x1500
14.	D6	900x2100

AREA STATEMENT :		SQ. MT.
1.) TOTAL PLOT AREA		106.50sq.mt.
2.) COVERED AREA ON GROUND FLOOR		78.30sq.mt.
3.) COVERED AREA ON FIRST FLOOR		67.82sq.mt.
4.) OPEN AREA		28.20sq.mt.
5.) MUMTY AREA		9.19sq.mt.
6.) PROJECTION AREA(half area to be included in F.A.R.)		15.19sq.mt.
7.) TOTAL BUILT-UP AREA(2+3+5+half of 6)-FOR F.A.R.		162.91sq.mt.
8.) GROUND COVERAGE ACHIEVED(permissible-75%)		73.52%
9.) F.A.R. ACHIEVED(permissible-1.80)		1.53

DEVELOPER	ARCHITECT
Green Apple Infotech Pvt. Ltd.	As-Sanjay Kumar Gupta R.O.P. P.O. Corporate Campus-1, Noida (U.P.) Phone: 9958501415/9958501416 Email: aspace.ark@gmail.com

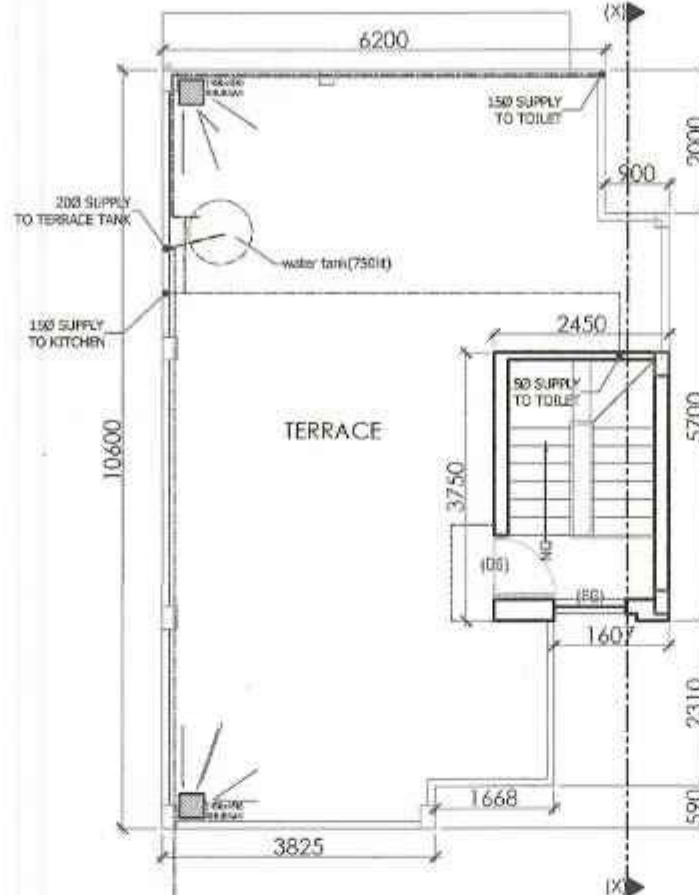
SPECIFICATIONS:	
Foundation	-Stepped brick footing in 1:3 c.m. as per structural design with r.c.c. columns as per design.
Superstructure	-Composite structure with brick work & R.C.C. columns as per structural design (earthquake resistant)
Slab	-R.C.C. slab as per structural design in M-25 grade conc.
Joinery	-Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
Flooring	-Vitrified tiles/marble/kota/c.c.
Painting	-O.B.D. inside & cement based waterproofing paint outside.
Plaster	-12mm plaster in 1:3 c.m.
Plumbing & sanitary fitting	-All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
Electrical work	-Conducting wiring & M.C.B. with I.S.I. marked material.



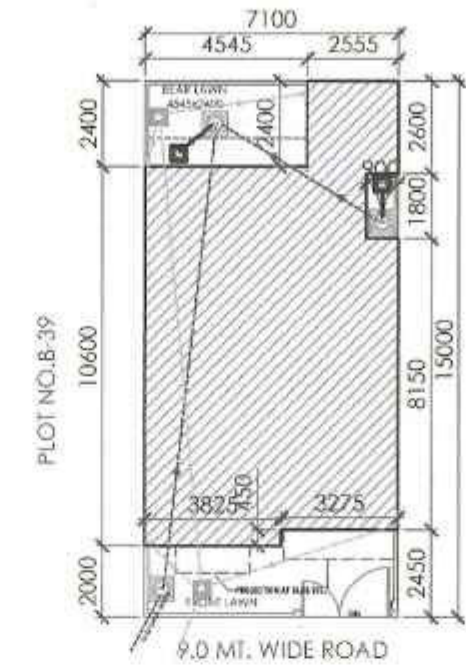
GROUND FLOOR PLAN
(SCALE=1:100)



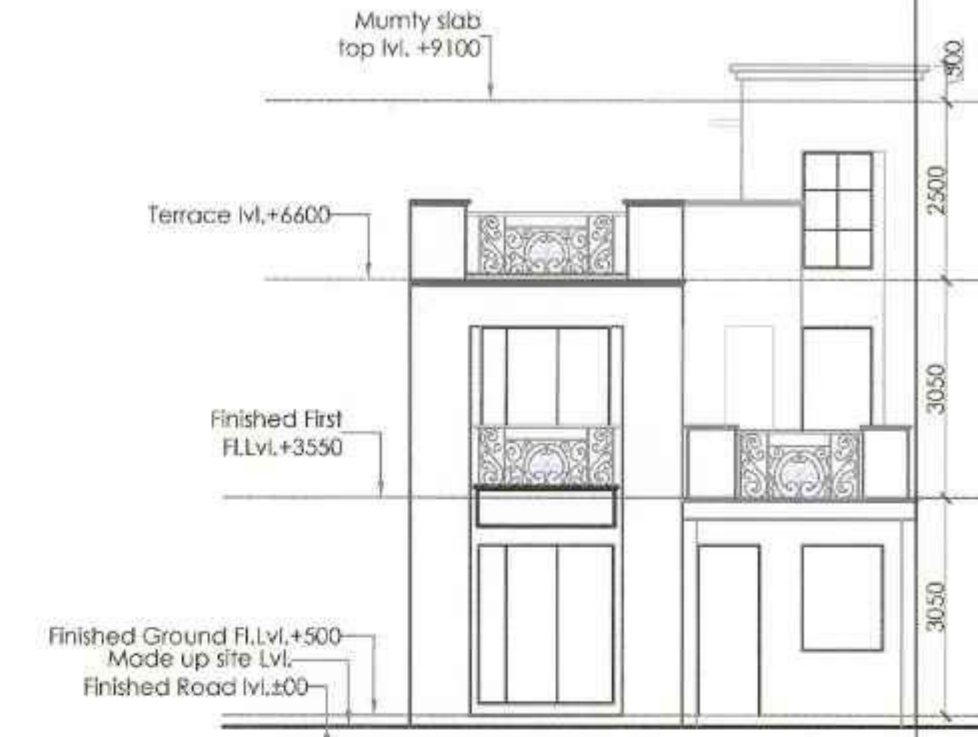
FIRST FLOOR PLAN
(SCALE=1:100)



TERRACE PLAN
(SCALE=1:100)



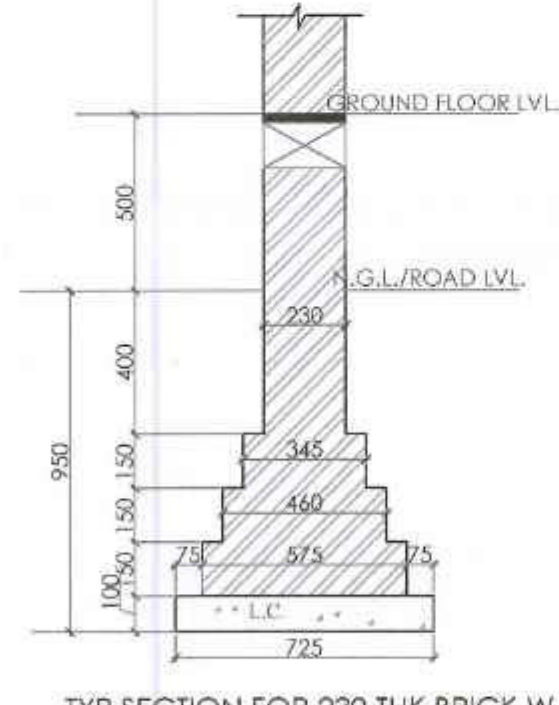
SITE PLAN
(SCALE=1:200)



FRONT ELEVATION
(SCALE=1:100)



TYP. SECTION OF COLUMN FOOTING
(scale=1:20)

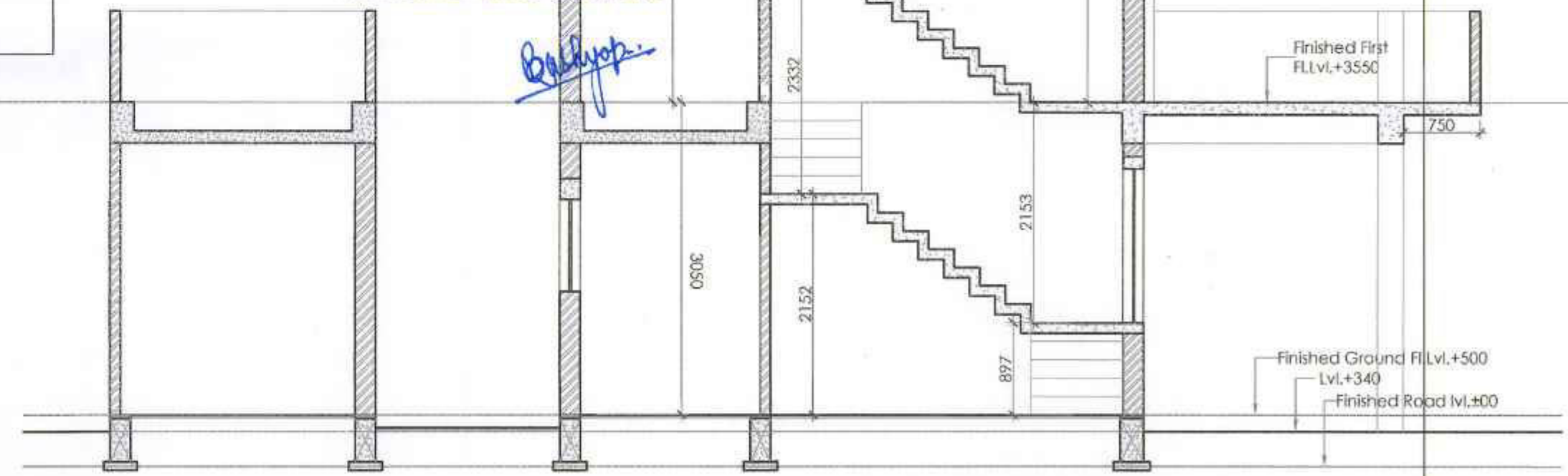


TYP. SECTION FOR 230 THK. BRICK WALL
(scale=1:20)



LOCATION PLAN
(NOT TO SCALE)

1. आवेदक को लोका शासक द्वारा प्राप्त कर का
प्रति कर्न सी. की दर से वसूल करना होगा।
2. आवेदक को अपने प्लॉट पर 14% काज अतिरिक्त देना होगा।
3. आवेदक को अपने प्लॉट पर 14% काज अतिरिक्त देना होगा।
4. आवेदक को अपने प्लॉट पर 14% काज अतिरिक्त देना होगा।
5. आवेदक को अपने प्लॉट पर 14% काज अतिरिक्त देना होगा।
6. आवेदक को अपने प्लॉट पर 14% काज अतिरिक्त देना होगा।
7. आवेदक को अपने प्लॉट पर 14% काज अतिरिक्त देना होगा।
8. आवेदक को अपने प्लॉट पर 14% काज अतिरिक्त देना होगा।
9. आवेदक को अपने प्लॉट पर 14% काज अतिरिक्त देना होगा।
10. आवेदक को अपने प्लॉट पर 14% काज अतिरिक्त देना होगा।



SECTION X-X
(SCALE=1:50)

MINI TOWNSHIP AT KHASRA NO.1703 & 1700, NATKUR, PARGANA BIJNOUR, LUCKNOW

PLOT NO. B-40

Developer:
GREEN APPLE INFRA TECH PRIVATE LIMITED

- NOTES:
1. Architect shall not be responsible for any deviation at site by the developer.
 2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE SUBMISSION.
 3. Layout approved vide permit no.1014, dated 05.12.2025.

DOOR/WINDOW SCHEDULE:

S.NO.	TYPE	SIZE
1.	D1	1000x2400
2.	D2	950x2100
3.	D3	755x2100
4.	D4	800x2100
5.	D5	1000x2100
6.	DW1	2000x2100
7.	DW2	1925x2400
8.	W1	500x1050
9.	W2	1155x1500
10.	W3	1045x1200
11.	W4	1195x1200
12.	V1	500x600
13.	W5	1925x1500
14.	D6	900x2100

AREA STATEMENT:

	SQ. MT.
1.) TOTAL PLOT AREA	106.50sq.mt.
2.) COVERED AREA ON GROUND FLOOR	78.30sq.mt.
3.) COVERED AREA ON FIRST FLOOR	67.82sq.mt.
4.) OPEN AREA	28.20sq.mt.
5.) MUMTY AREA	9.19sq.mt.
6.) PROJECTION AREA(half area to be included in F.A.R.)	15.19sq.mt.
7.) TOTAL BUILT-UP AREA(2+3+5+half of 6)-FOR F.A.R.	162.91sq.mt.
8.) GROUND COVERAGE ACHIEVED(permissible-75%)	73.52%
9.) F.A.R. ACHIEVED(permissible-1.80)	1.53

DEVELOPER

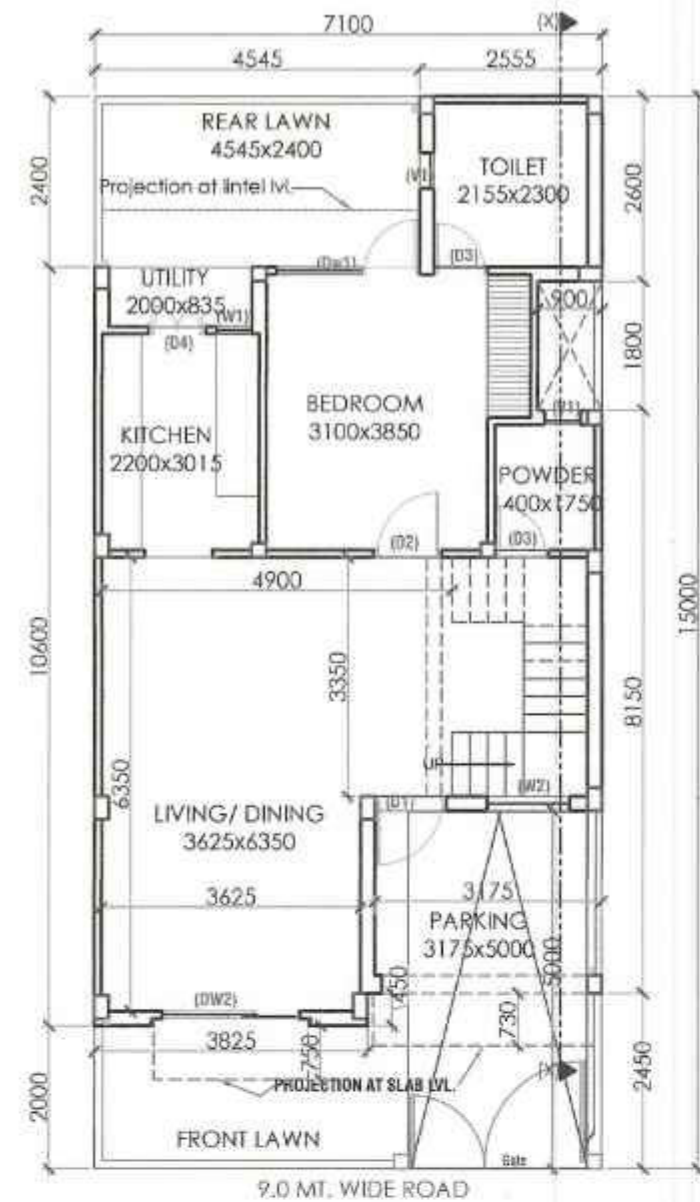
Green Apple Infotech Pvt. Ltd.
Director

ARCHITECT

espaces
Ar. Sanjay Kumar Gupta
106 F. Floor Corporate Chamber-1,
Vishnu Khanda Ganga Nagar,
Lucknow-226010
Ph No. 4068266 9451143880
email-espaces.arch@gmail.com

SPECIFICATIONS:

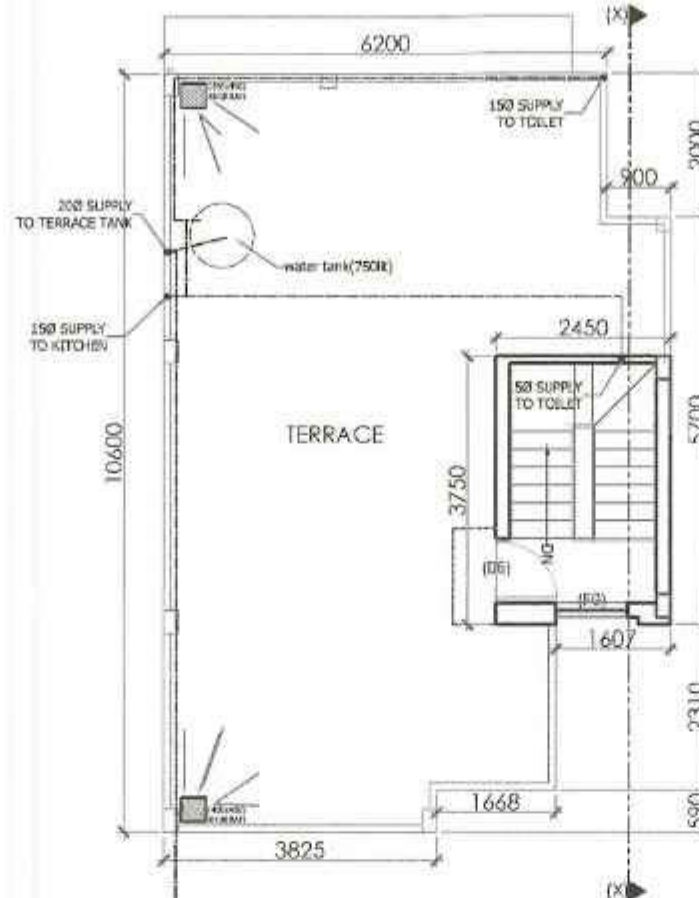
Foundation	- Stepped brick footing in 1:6 c.m., as per structural design with r.c.c. columns as per design.
Superstructure	- Composite structure with brick work & R.C.C. columns as per structural design.(earthquake resistant)
Slab	- R.C.C. slab as per structural design in M:25 grade conc.
Joinery	- Door frames in sal wood with 32mm commercial board shutter, Windows in aluminium /UPVC.
Flooring	- Vitrified tiles/marble/kota/c.c.
Painting	- O.B.D. inside & cement based waterproofing paint outside.
Plaster	- 12mm plaster in 1:6 c.m.
Plumbing & sanitary fitting	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
Electrical work	- Conducting wiring & M.C.B. with I.S.I. marked material.



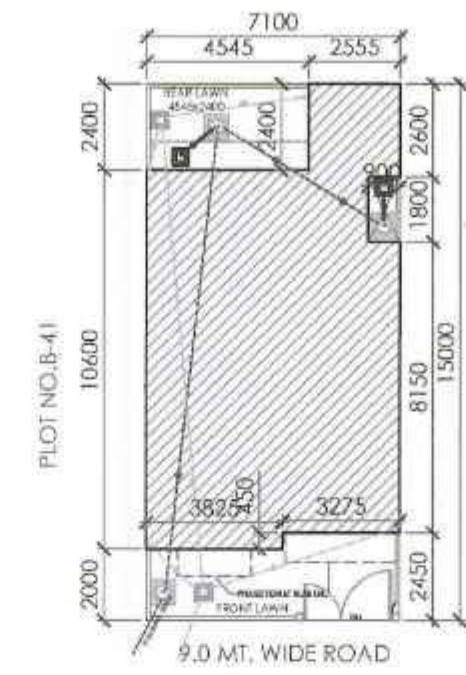
GROUND FLOOR PLAN
(SCALE=1:100)



FIRST FLOOR PLAN
(SCALE=1:100)



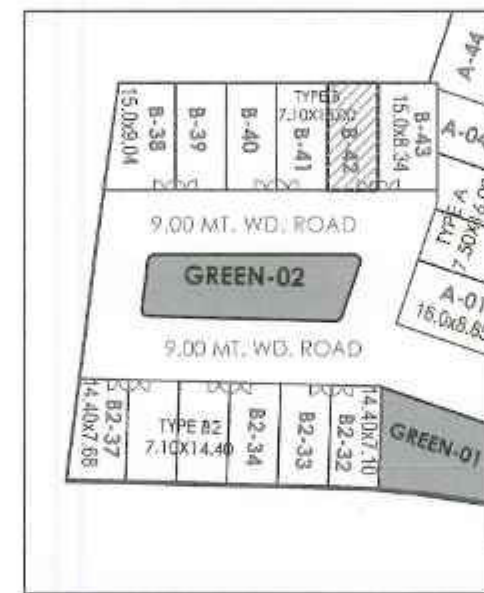
TERRACE PLAN
(SCALE=1:100)



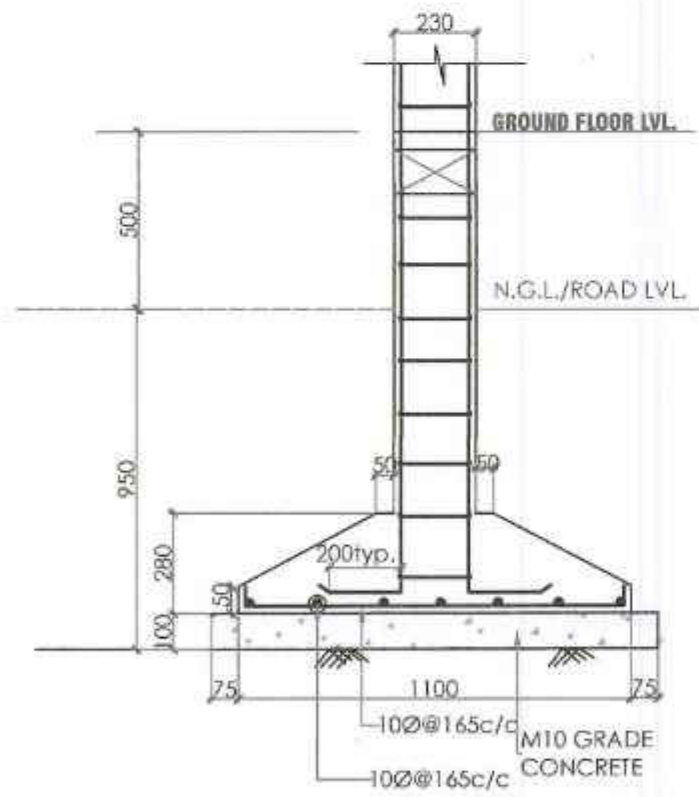
SITE PLAN
(SCALE=1:200)



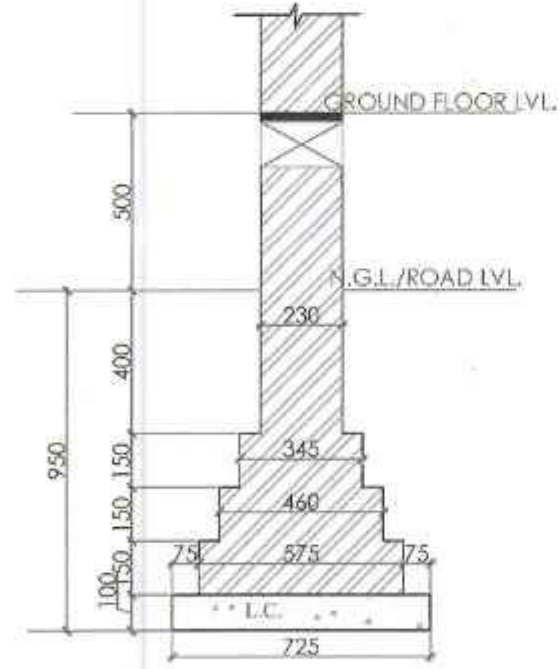
FRONT ELEVATION
(SCALE=1:100)



LOCATION PLAN
(NOT TO SCALE)



TYP. SECTION OF COLUMN FOOTING
(scale=1:20)



TYP. SECTION FOR 230 THK. BRICK WALL
(scale=1:20)



SECTION X-X
(SCALE=1:50)

MINI TOWNSHIP AT KHASRA NO.1703 & 1700, NATKUR, PARGANA BIJNOUR, LUCKNOW

PLOT NO. B-42

Developer:
GREEN APPLE INFRA TECH PRIVATE LIMITED

- NOTES:
1. Architect shall not be responsible for any deviation at site by the developer.
 2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE SUBMISSION.
 3. Layout approved vide permit no.1014, dated 05.12.2025.

DOOR/WINDOW SCHEDULE:

S.NO.	TYPE	SIZE
1.	D1	1000x2400
2.	D2	950x2100
3.	D3	755x2100
4.	D4	800x2100
5.	D5	1000x2100
6.	DW1	2000x2100
7.	DW2	1925x2400
8.	W1	500x1050
9.	W2	1155x1500
10.	W3	1045x1200
11.	W4	1195x1200
12.	V1	500x600
13.	W5	1925x1500
14.	D6	900x2100

AREA STATEMENT:

	SQ. MT.
1.) TOTAL PLOT AREA	106.50sq.mt.
2.) COVERED AREA ON GROUND FLOOR	78.30sq.mt.
3.) COVERED AREA ON FIRST FLOOR	67.82sq.mt.
4.) OPEN AREA	28.20sq.mt.
5.) MUMTY AREA	9.19sq.mt.
6.) PROJECTION AREA (half area to be included in F.A.R.)	15.19sq.mt.
7.) TOTAL BUILT-UP AREA (2+3+5+half of 6) - FOR F.A.R.	162.91sq.mt.
8.) GROUND COVERAGE ACHIEVED (permissible-75%)	73.52%
9.) F.A.R. ACHIEVED (permissible-1.80)	1.53

DEVELOPER

Green Apple Infotech Pvt. Ltd.

Director

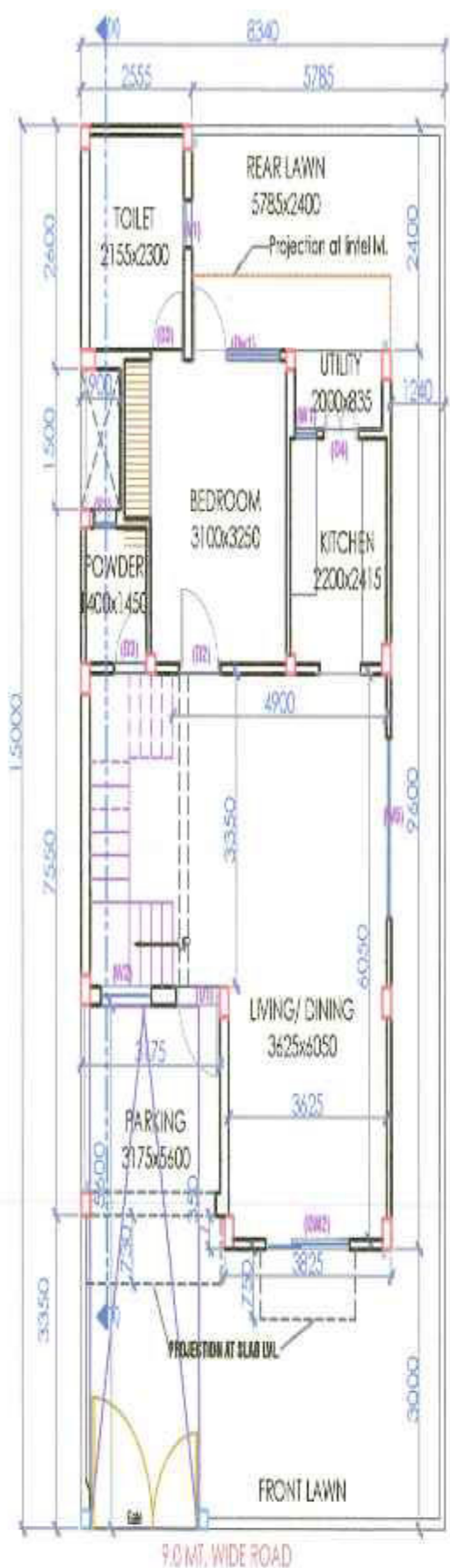
ARCHITECT

Ar. Sanjay Kumar Gupta

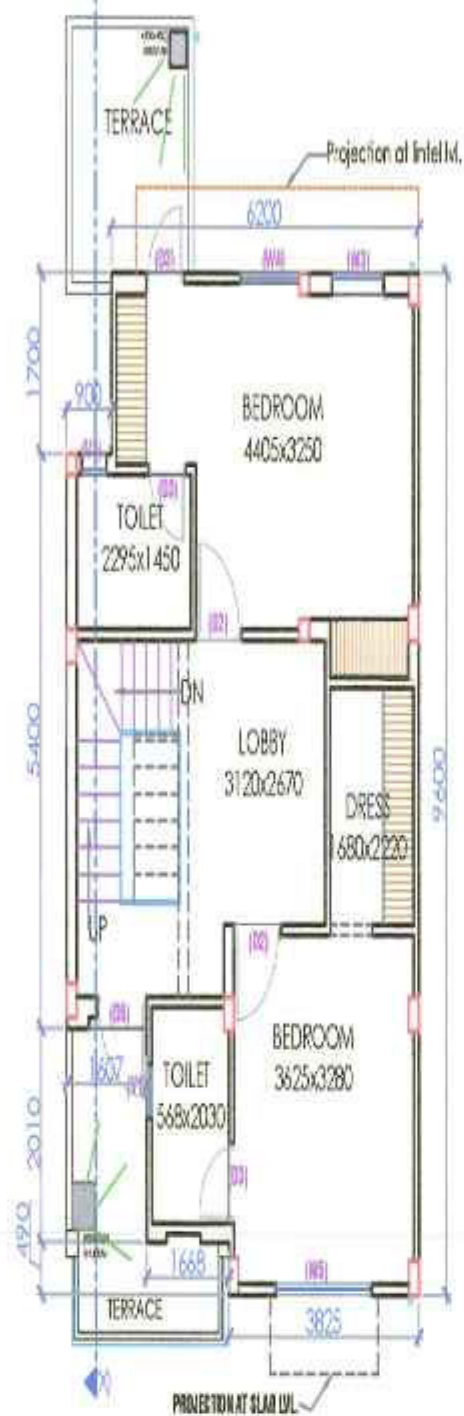
108 F. Floor Corporate Chamber-1,
Vishnu Khanda Ganga Nagar,
Lucknow-226010
Ph. No. 4065058, 9415114580
email: spaces.arch@gmail.com

SPECIFICATIONS:

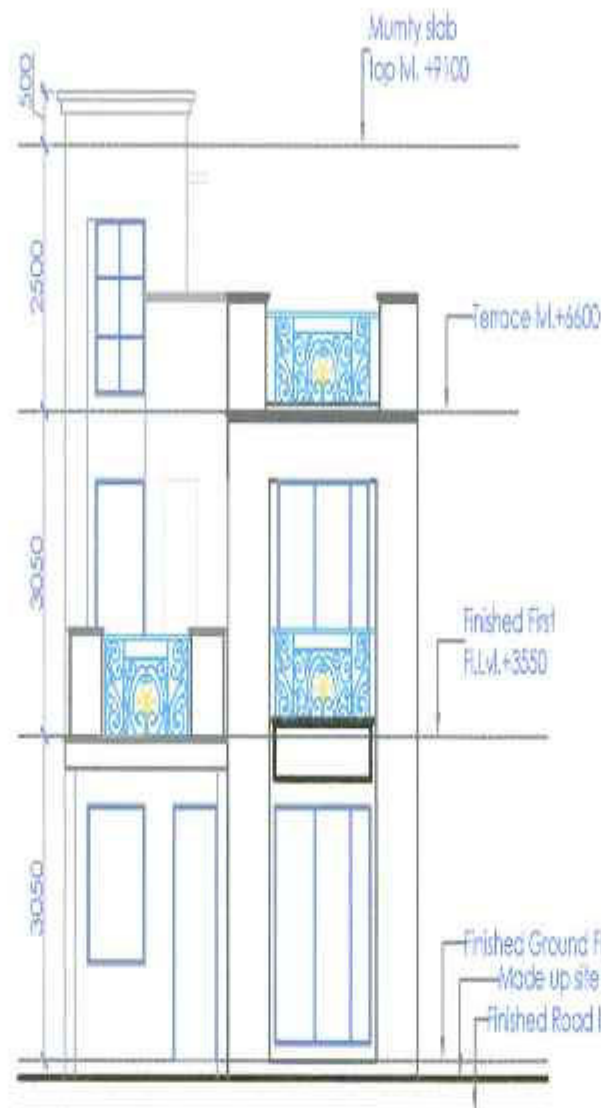
Foundation	- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
Superstructure	- Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
Slab	- R.C.C. slab as per structural design in M.25 grade conc.
Joinery	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
Flooring	- Vitrified tiles/marble/kota/c.c.
Painting	- O.B.D. inside & cement based waterproofing paint outside.
Plaster	- 12mm plaster in 1:6 c.m.
Plumbing & sanitary fitting	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
Electrical work	- Conducting wiring & M.C.B. with I.S.I. marked material.



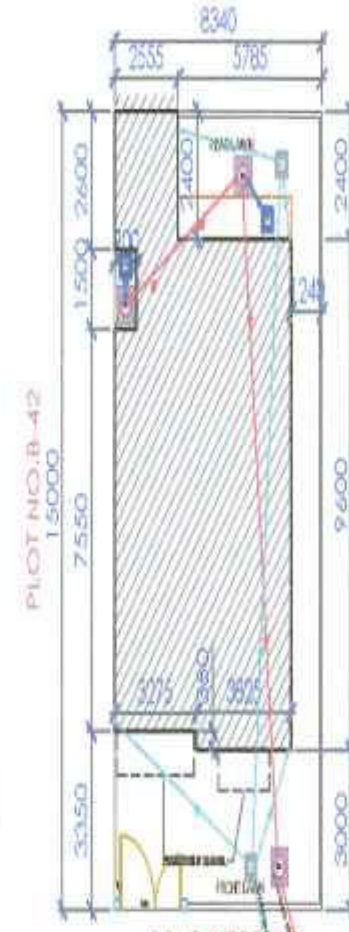
GROUND FLOOR PLAN
(SCALE=1:100)



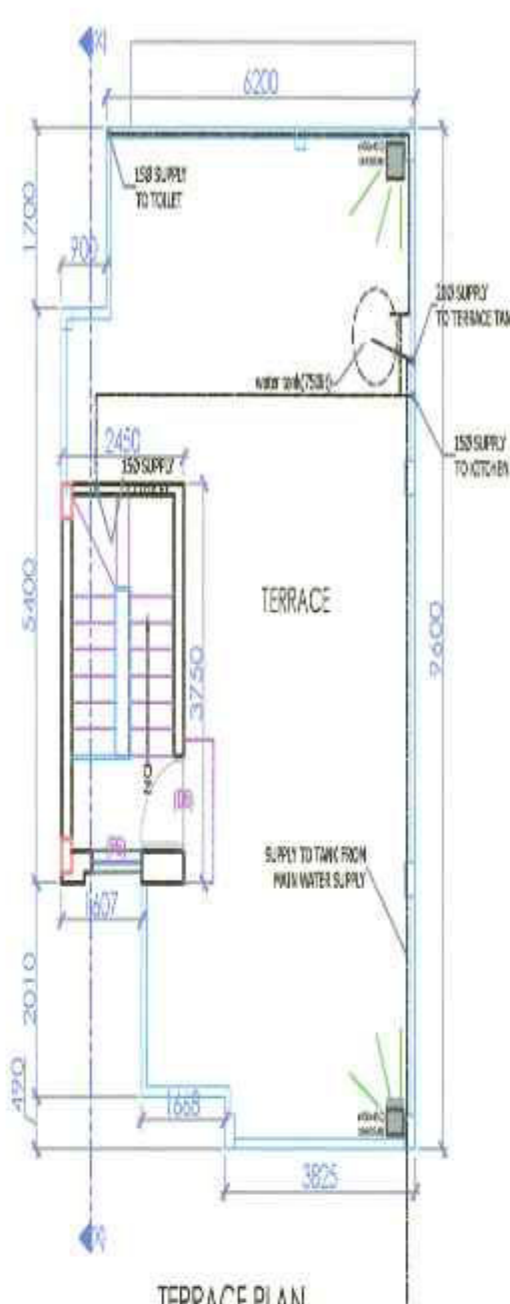
FIRST FLOOR PLAN
(SCALE=1:100)



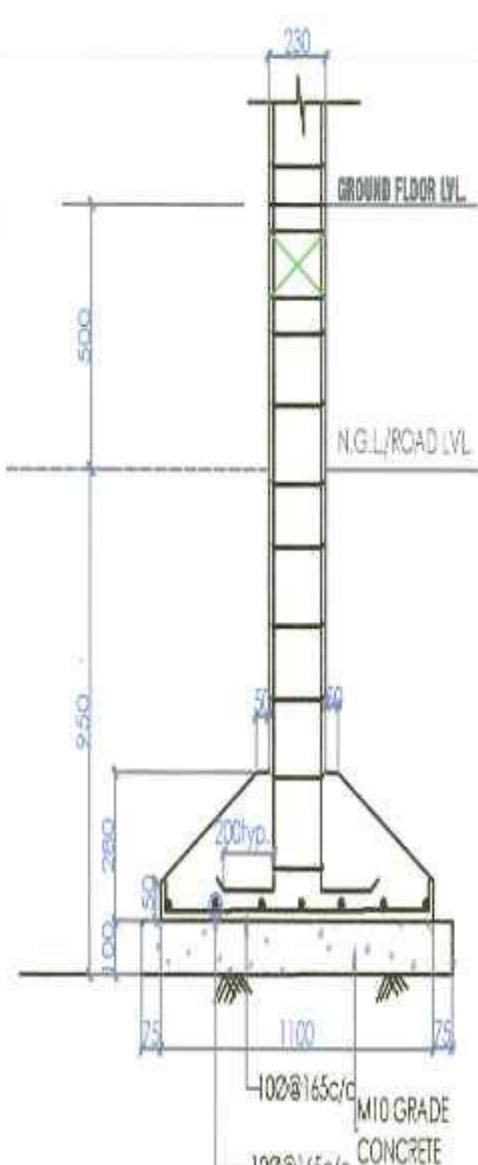
FRONT ELEVATION
(SCALE=1:100)



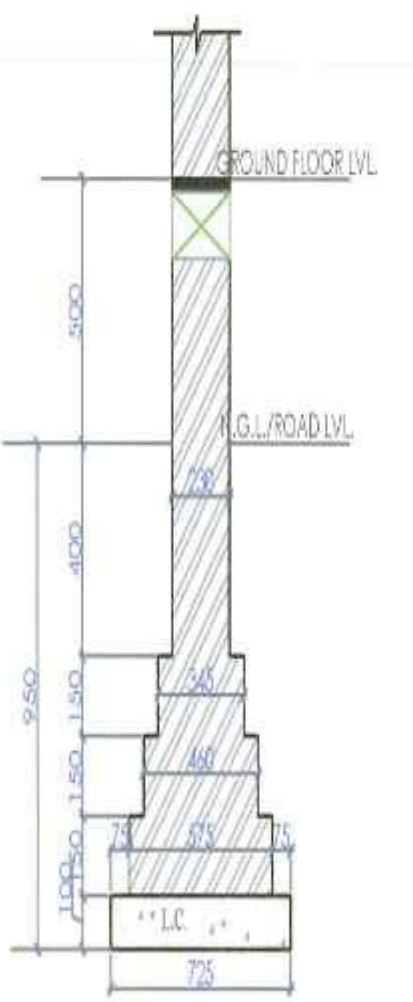
SITE PLAN
(SCALE=1:200)



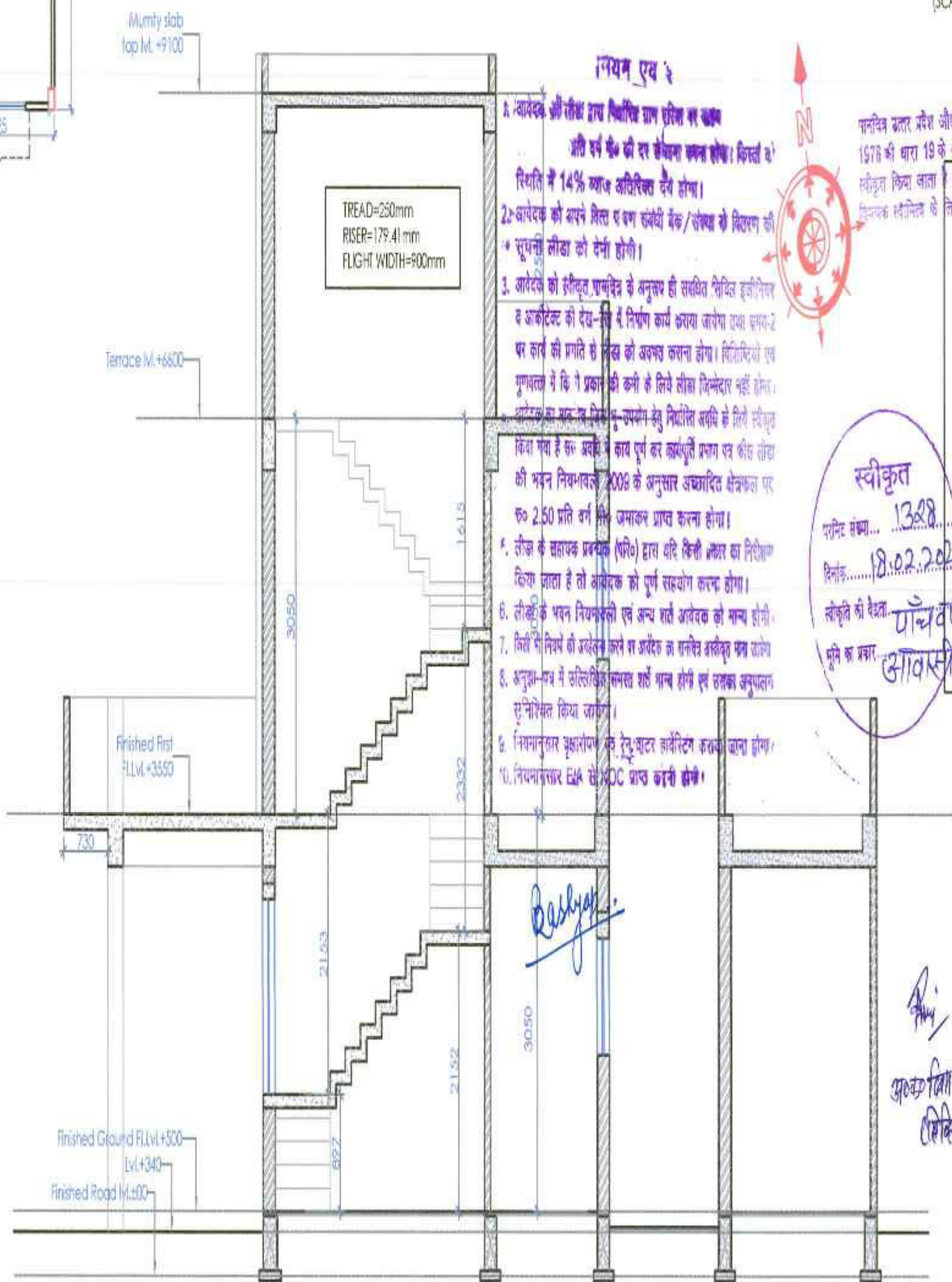
TERRACE PLAN
(SCALE=1:100)



TYP. SECTION OF COLUMN FOOTING
(scale=1:20)



TYP. SECTION FOR 230 THK. BRICK WALL
(scale=1:20)



SECTION X-X
(SCALE=1:50)

- नियम एवं शर्तें**
1. आवेदक को लॉन्ग टर्म में प्लॉट का उपयोग करने का अधिकार होगा।
 2. आवेदक को अपने प्लॉट पर 14% व्याज पर ऋण लेने का अधिकार होगा।
 3. आवेदक को प्लॉट पर निर्माण कार्य कराने का अधिकार होगा।
 4. आवेदक को प्लॉट पर निर्माण कार्य कराने का अधिकार होगा।
 5. आवेदक को प्लॉट पर निर्माण कार्य कराने का अधिकार होगा।
 6. आवेदक को प्लॉट पर निर्माण कार्य कराने का अधिकार होगा।
 7. आवेदक को प्लॉट पर निर्माण कार्य कराने का अधिकार होगा।
 8. आवेदक को प्लॉट पर निर्माण कार्य कराने का अधिकार होगा।
 9. आवेदक को प्लॉट पर निर्माण कार्य कराने का अधिकार होगा।
 10. आवेदक को प्लॉट पर निर्माण कार्य कराने का अधिकार होगा।

स्वीकृत
दिनांक... 13.02.2024
स्थान... 18.02.2024
हस्ताक्षर...
पंचायत...
मुख्य अधिकारी...



LOCATION PLAN
(NOT TO SCALE)

MINI TOWNSHIP AT KHASRA NO.1703 & 1700, NATKUR, PARGANA BIJNOUR, LUCKNOW

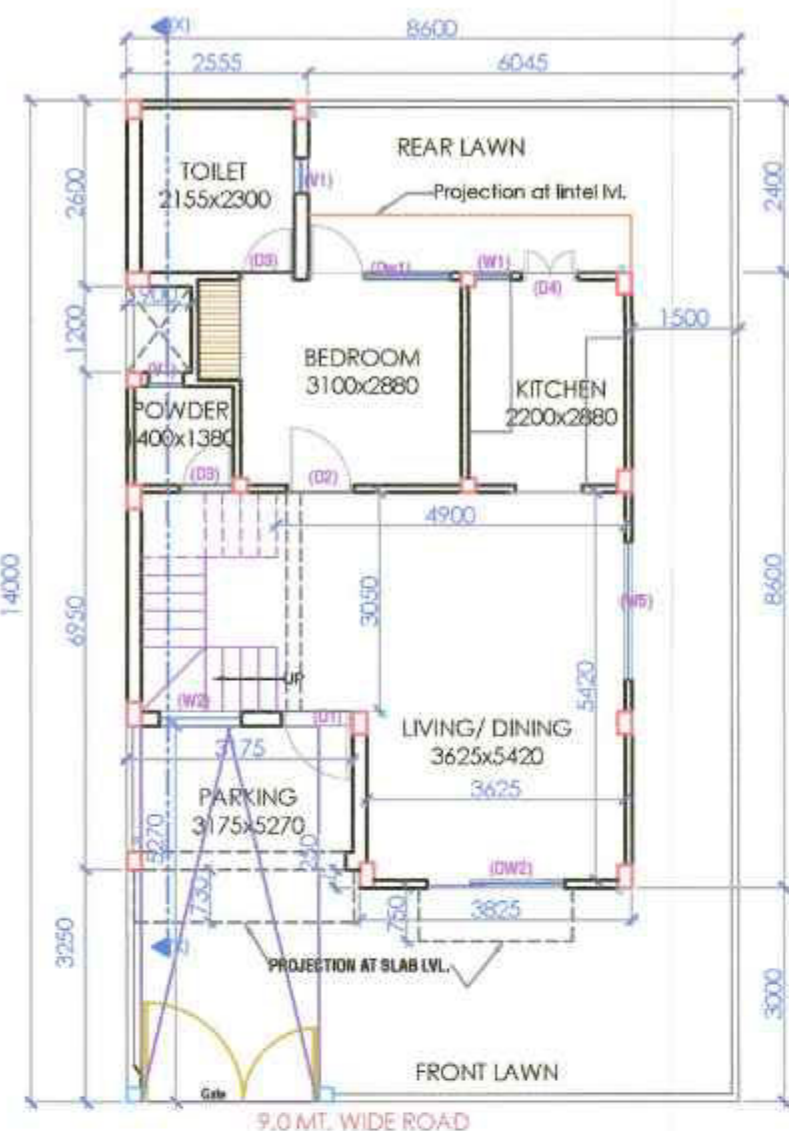
PLOT NO. B-43
Developer:
GREEN APPLE INFRA TECH PRIVATE LIMITED

- NOTES:
1. Architect shall not be responsible for any deviation of site by the developer.
 2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE SUBMISSION.
 3. Layout approved vide permit no. 1014, dated 05.12.2023.

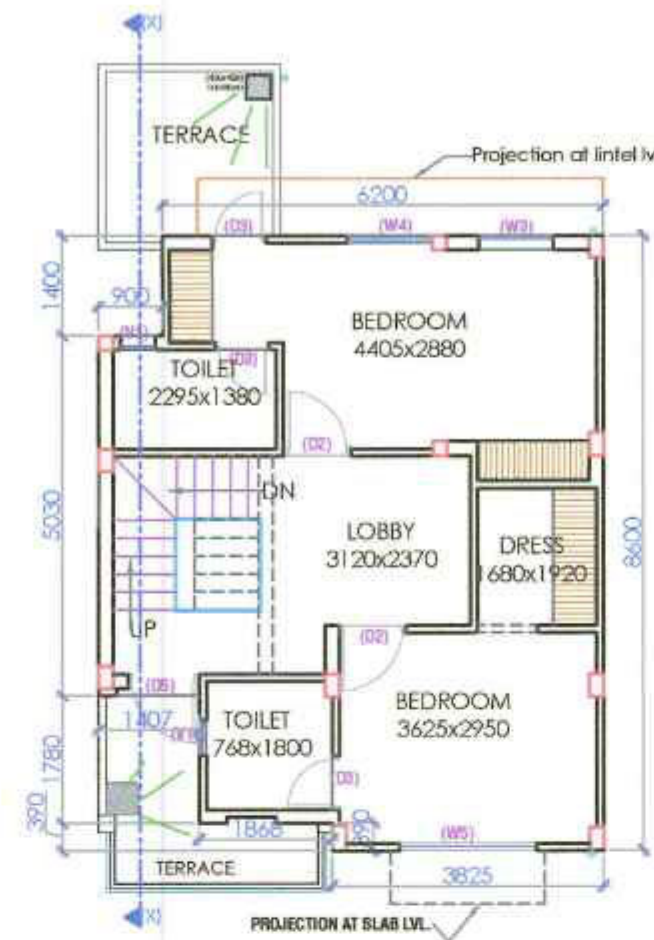
DOOR/WINDOW SCHEDULE :			AREA STATEMENT :	SQ. MT.
S.NO.	TYPE	SIZE		
1.	D1	1000x2400	1.) TOTAL PLOT AREA	125.10sq.mt.
2.	D2	950x2100	2.) COVERED AREA ON GROUND FLOOR	71.80sq.mt.
3.	D3	755x2100	3.) COVERED AREA ON FIRST FLOOR	61.80sq.mt.
4.	D4	800x2100	4.) OPEN AREA	53.30sq.mt.
5.	D5	1000x2100	5.) MUMTY AREA	9.19sq.mt.
6.	DW1	2000x2100	6.) PROJECTION AREA(half area to be included in F.A.R.)	15.19sq.mt.
7.	DW2	1925x2400	7.) TOTAL BUILT-UP AREA(2+3+5+half of 6)-FOR F.A.R.	150.38sq.mt.
8.	W1	800x1050	8.) GROUND COVERAGE ACHIEVED(permissible-75%)	57.39%
9.	W2	1155x1500		
10.	W3	1045x1200		
11.	W4	1195x1200		
12.	V1	500x600		
13.	W5	1925x1500		
14.	D6	900x2100		

DEVELOPER
ARCHITECT
At: Sanjay Kumar Gupta
102, F. Phase Corporate Chandra-1
Khasra (Bijour) District Khasra
Lucknow-220101
Ph No- 9888888888, 9888888888
email- sanjaygupta@greenappleinfotech.com

SPECIFICATIONS:	
Foundation	- Stepped brick footing in 1:3 c.m. as per structural design with r.c.c. columns as per design.
Superstructure	- Composite structure with brick work & R.C.C. columns as per structural design (earthquake resistant)
Slab	- R.C.C. slab as per structural design in M:25 grade conc.
Joinery	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
Flooring	- Vitrified tiles/marble/kota/c.c.
Painting	- O.B.D. inside & cement based waterproofing paint outside.
Plaster	- 12mm plaster in 1:3 c.m.
Plumbing & sanitary fitting	- All plumbing work using ISI marked UPVC pipes with standard fittings & fixtures.



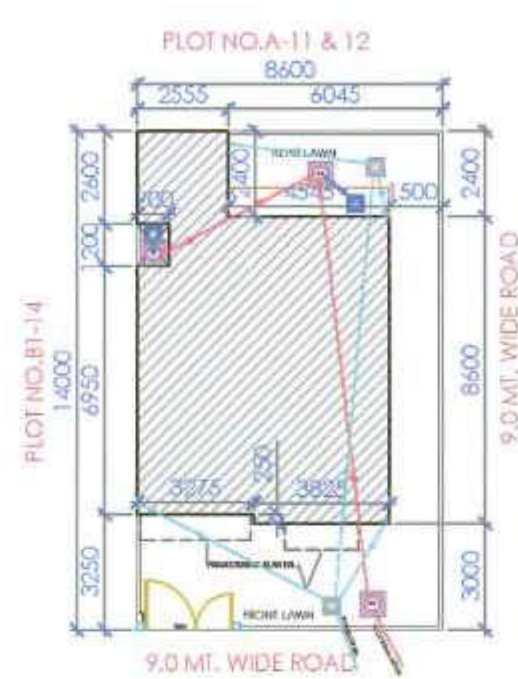
GROUND FLOOR PLAN
(SCALE=1:100)



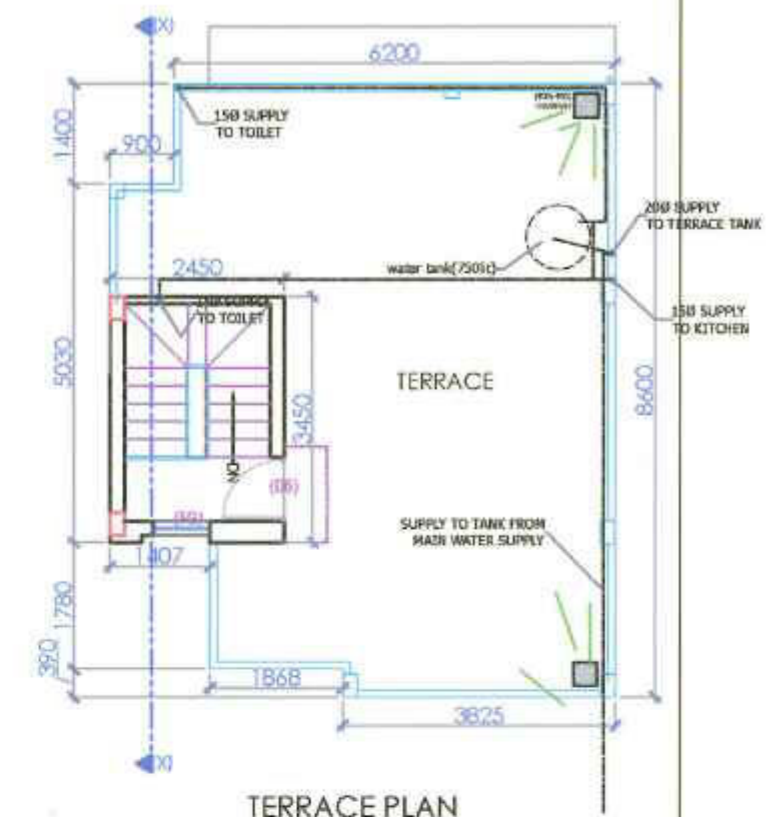
FIRST FLOOR PLAN
(SCALE=1:100)



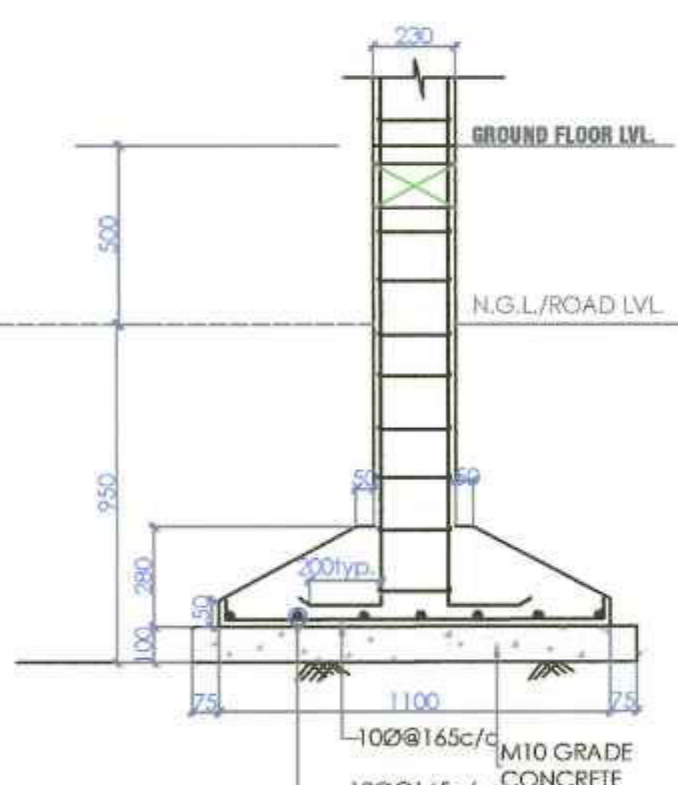
FRONT ELEVATION
(SCALE=1:100)



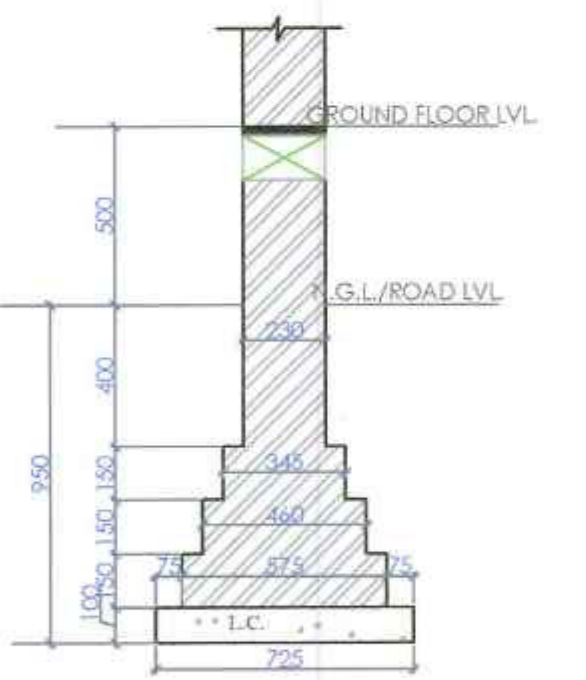
SITE PLAN
(SCALE=1:200)



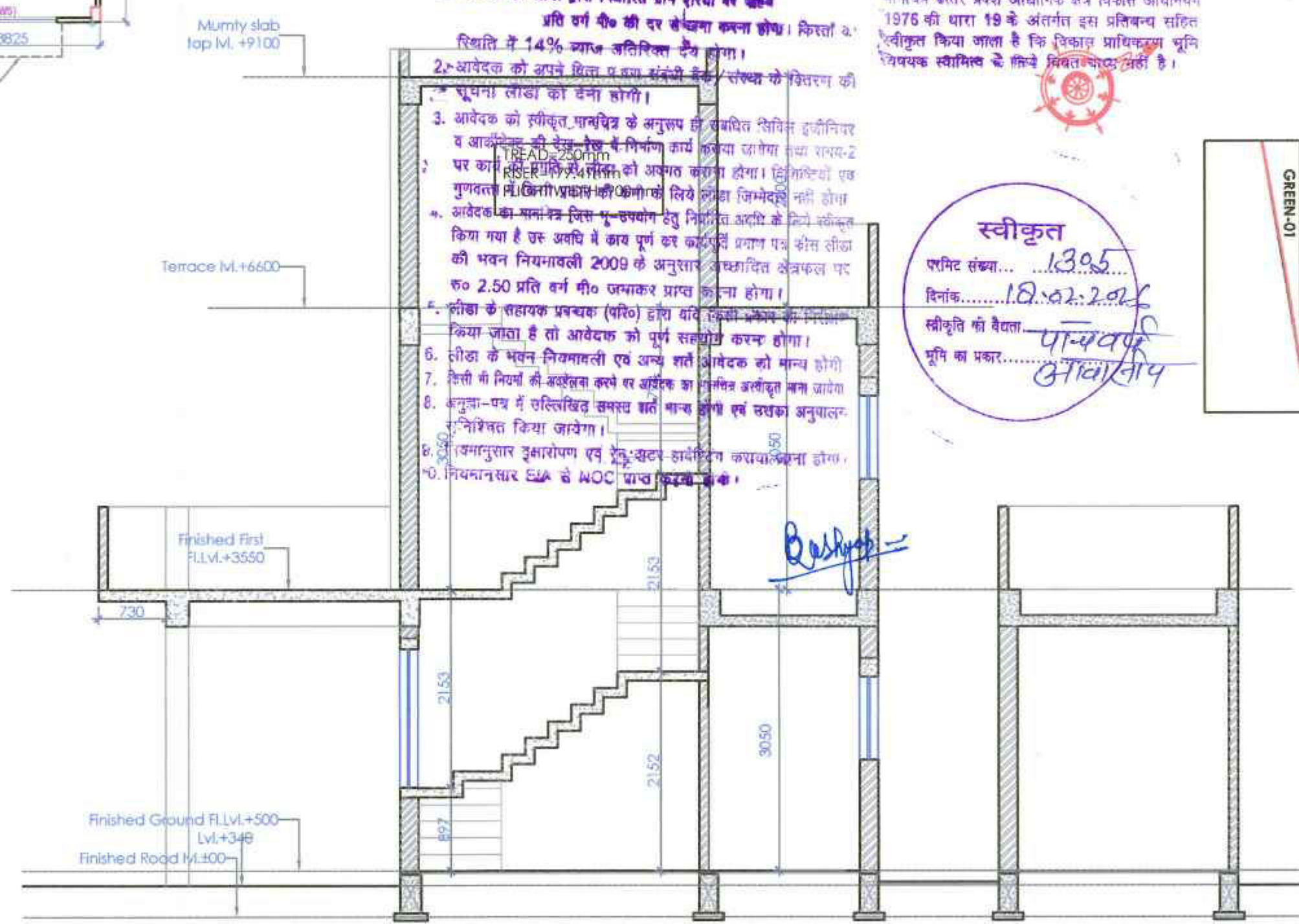
TERRACE PLAN
(SCALE=1:100)



TYP. SECTION OF COLUMN FOOTING
(scale=1:20)



TYP. SECTION FOR 230 THK. BRICK WALL
(scale=1:20)



SECTION X-X
(SCALE=1:50)

- नियम एवं शर्तें
- आवेदक को शीघ्रता से निर्धारित रूप में प्रतिक्रिया देनी होगी।
 - आवेदक को अपने शेष पट्टा संबंधी बैंक/संस्था को सूचना देनी होगी।
 - आवेदक को प्रोपर्टी का सर्वेक्षण करवाकर भू-चित्र तैयार करवाकर भू-चित्र में दर्शाया जाएगा।
 - आवेदक को भू-चित्र में दर्शाया गया क्षेत्र का सर्वेक्षण करवाकर भू-चित्र में दर्शाया जाएगा।
 - आवेदक को भू-चित्र में दर्शाया गया क्षेत्र का सर्वेक्षण करवाकर भू-चित्र में दर्शाया जाएगा।
 - आवेदक को भू-चित्र में दर्शाया गया क्षेत्र का सर्वेक्षण करवाकर भू-चित्र में दर्शाया जाएगा।
 - आवेदक को भू-चित्र में दर्शाया गया क्षेत्र का सर्वेक्षण करवाकर भू-चित्र में दर्शाया जाएगा।
 - आवेदक को भू-चित्र में दर्शाया गया क्षेत्र का सर्वेक्षण करवाकर भू-चित्र में दर्शाया जाएगा।
 - आवेदक को भू-चित्र में दर्शाया गया क्षेत्र का सर्वेक्षण करवाकर भू-चित्र में दर्शाया जाएगा।
 - आवेदक को भू-चित्र में दर्शाया गया क्षेत्र का सर्वेक्षण करवाकर भू-चित्र में दर्शाया जाएगा।

मानचित्र बतलाने पर अधिकार क्षेत्र विकास आयोग 1976 की धारा 19 के अंतर्गत इस प्रतिबन्धन सहित स्वीकृत किया जाता है कि विकास प्राधिकरण भूमि विषयक स्वामित्व के लिये विवेकपूर्ण निर्णय लेगा।

स्वीकृत
परिचय संख्या... 1395
दिनांक... 18.02.2022
स्वीकृति को वैधता प्रदान करने के लिए
भूमि का प्रकार... पार्श्वपट्टा
आवासीय

TYPE A	TYPE B1	TYPE B2
7.50x16.00	7.10x14.00	7.10x14.00
8.1-19	8.1-18	8.1-21
8.1-20	8.1-19	8.1-21
8.1-21	8.1-20	8.1-21
8.1-22	8.1-21	8.1-21
8.1-23	8.1-22	8.1-21
8.1-24	8.1-23	8.1-21
8.1-25	8.1-24	8.1-21
8.1-26	8.1-25	8.1-21
8.1-27	8.1-26	8.1-21
8.1-28	8.1-27	8.1-21
8.1-29	8.1-28	8.1-21
8.1-30	8.1-29	8.1-21
8.1-31	8.1-30	8.1-21
8.1-32	8.1-31	8.1-21
8.1-33	8.1-32	8.1-21
8.1-34	8.1-33	8.1-21
8.1-35	8.1-34	8.1-21
8.1-36	8.1-35	8.1-21
8.1-37	8.1-36	8.1-21
8.1-38	8.1-37	8.1-21
8.1-39	8.1-38	8.1-21
8.1-40	8.1-39	8.1-21
8.1-41	8.1-40	8.1-21
8.1-42	8.1-41	8.1-21
8.1-43	8.1-42	8.1-21
8.1-44	8.1-43	8.1-21
8.1-45	8.1-44	8.1-21
8.1-46	8.1-45	8.1-21
8.1-47	8.1-46	8.1-21
8.1-48	8.1-47	8.1-21
8.1-49	8.1-48	8.1-21
8.1-50	8.1-49	8.1-21

LOCATION PLAN
(NOT TO SCALE)

MINI TOWNSHIP AT KHASRA NO.1703 &1700,NATKUR, PARGANA BIJNOUR,LUCKNOW

PLOT NO. B1-13
Developer:
GREEN APPLE INFRA TECH PRIVATE LIMITED

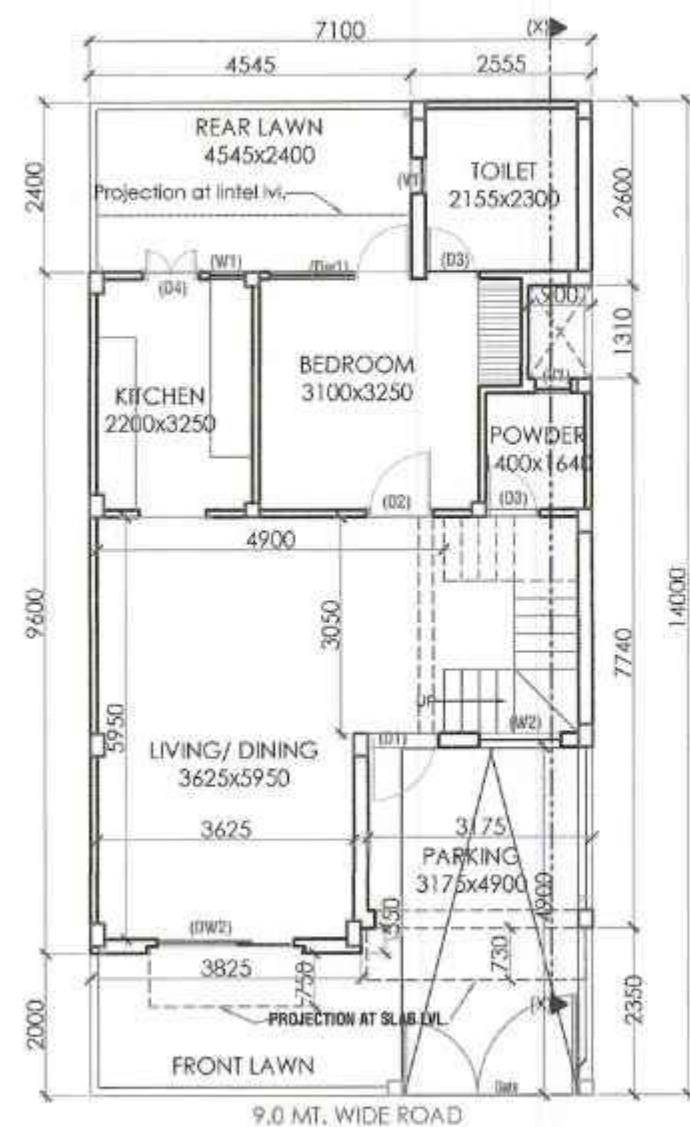
- NOTES:
- Architect shall not be responsible for any deviation of site by the developer.
 - DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE SUBMISSION.
 - Layout approved vide permit no.1014, dated 05.12.2025.

S.NO.	TYPE	SIZE
1.	D1	1000x2400
2.	D2	950x2100
3.	D3	755x2100
4.	D4	800x2100
5.	D5	1000x2100
6.	DW1	2000x2100
7.	DW2	1925x2400
8.	W1	500x1050
9.	W2	1155x1500
10.	W3	1045x1200
11.	W4	1195x1200
12.	V1	500x600
13.	W5	1925x1500
14.	D6	900x2100

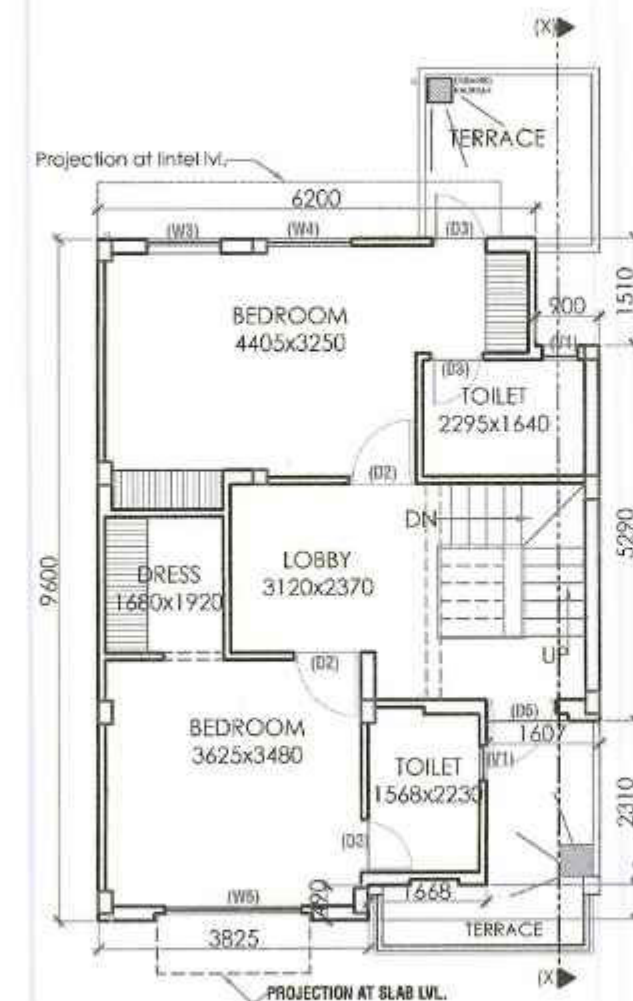
AREA STATEMENT :	SQ. MT.
1.) TOTAL PLOT AREA	120.40sq.mt.
2.) COVERED AREA ON GROUND FLOOR	65.29sq.mt.
3.) COVERED AREA ON FIRST FLOOR	56.02sq.mt.
4.) OPEN AREA	55.11sq.mt.
5.) MUMTY AREA	8.45sq.mt.
6.) PROJECTION AREA(half area to be included in F.A.R.)	15.19sq.mt.
7.) TOTAL BUILT-UP AREA(2+3+5+half of 6)-FOR F.A.R.	137.355sq.mt.
8.) GROUND COVERAGE ACHIEVED(permissible-75%)	54.23%
9.) F.A.R. ACHIEVED(permissible-1.80)	1.141

DEVELOPER	ARCHITECT
Green Apple Infotech Pvt. Ltd.	Ar. Sanjay Kumar Gupta 108, F. Floor, Corporate Chamber-1, Vidhutti Khari, Gomti Nagar, Lucknow-226010 Ptn No. 4065958, 9415114589 email-espaces.arch@gmail.com
Director	

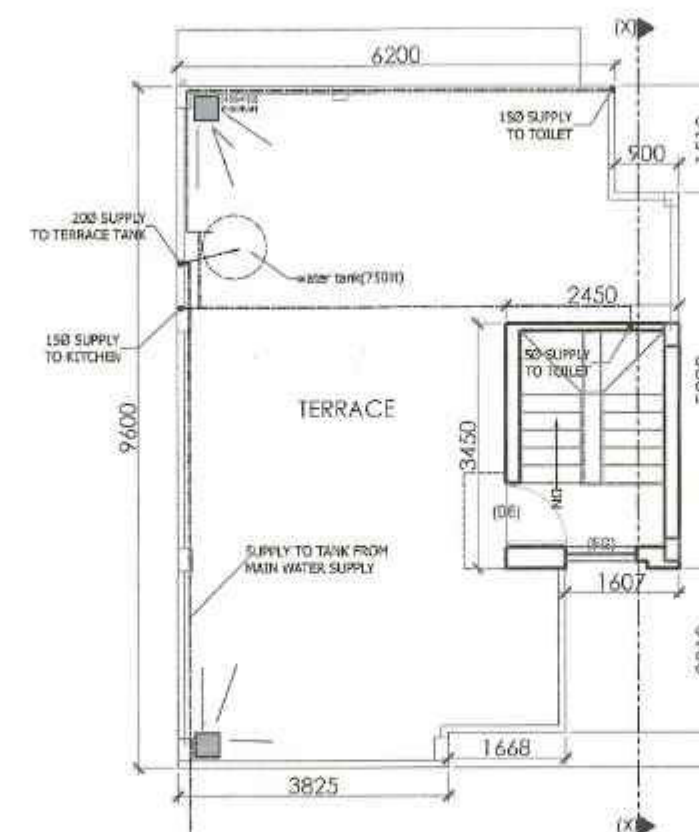
SPECIFICATIONS:	
Foundation	- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
Superstructure	- Composite structure with brick work & R.C.C. columns as per structural design.(earthquake resistant)
Slab	- R.C.C. slab as per structural design in M:25 grade conc.
Joinery	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
Flooring	- Vitrified tiles/marble/kota/c.c.
Painting	- O.B.D. inside & cement based waterproofing paint outside.
Plaster	- 12mm plaster in 1:6 c.m.
Plumbing & sanitary fitting	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
Electrical work	- Cabling,wiring & M.C.B. with I.S.I. marked material.



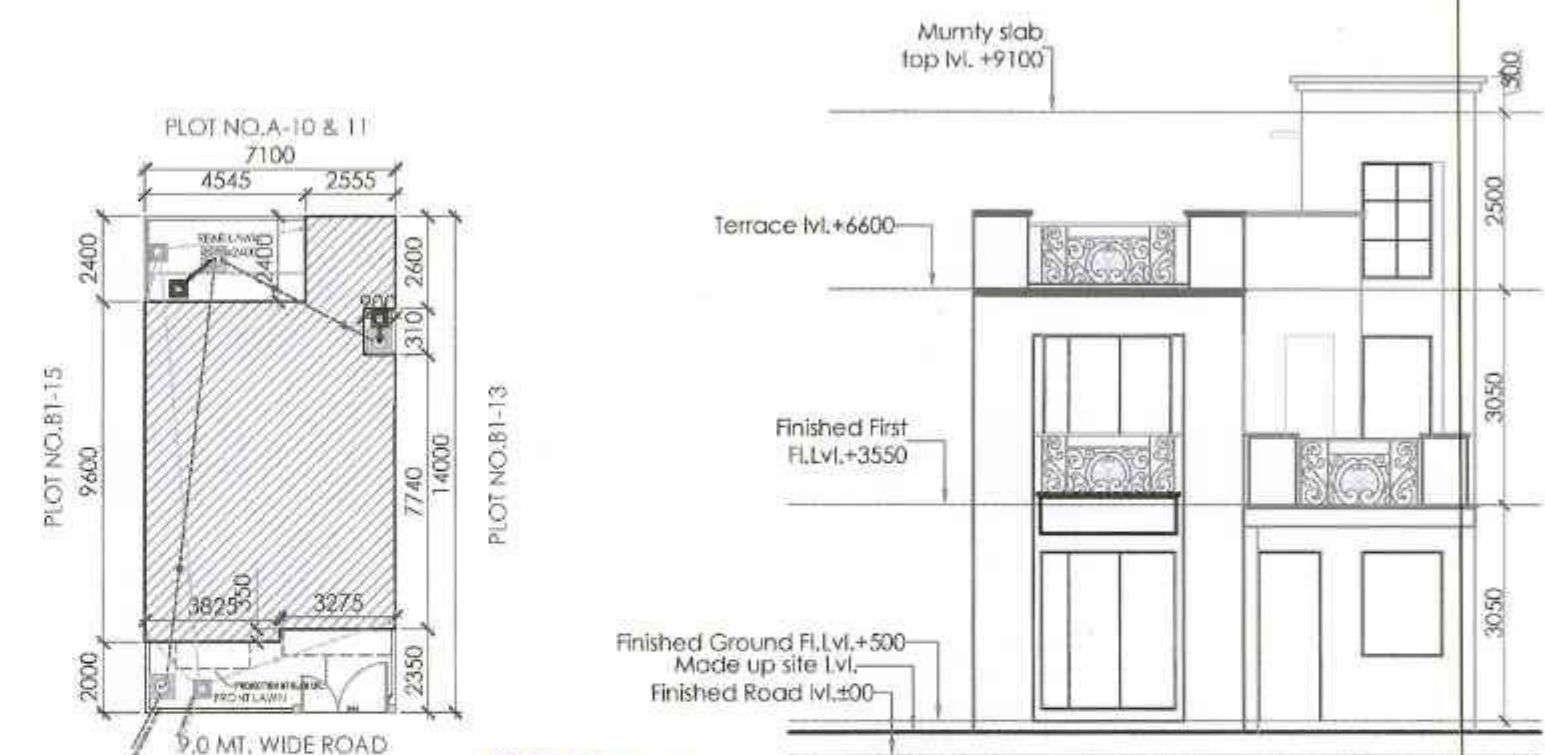
GROUND FLOOR PLAN
(SCALE=1:100)



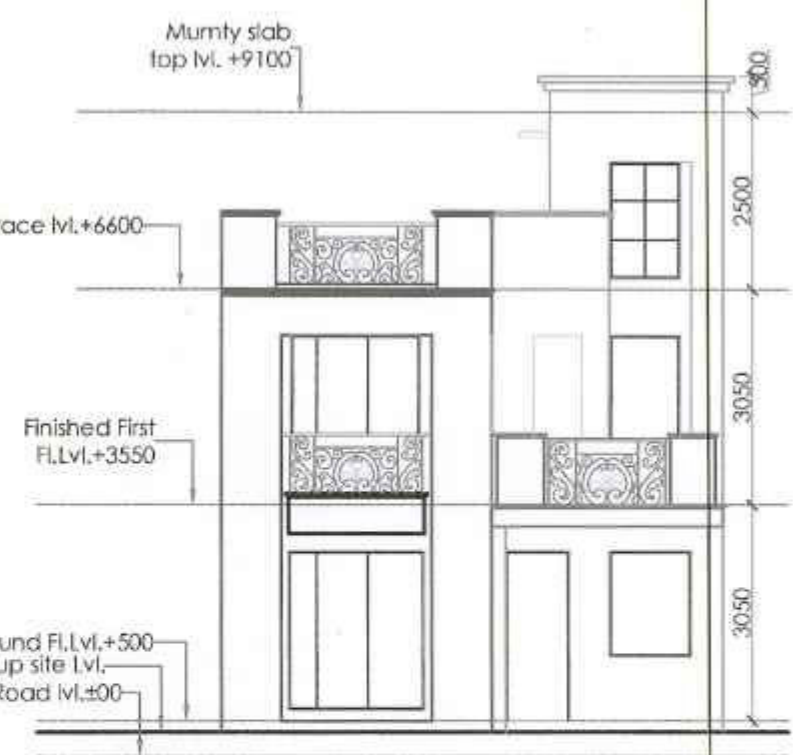
FIRST FLOOR PLAN
(SCALE=1:100)



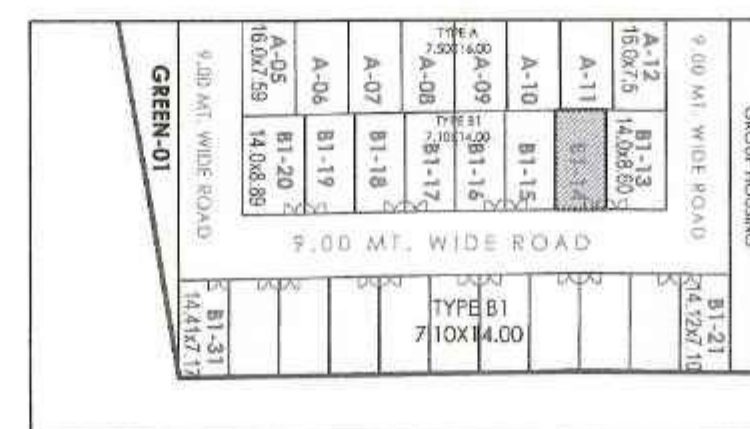
TERRACE PLAN
(SCALE=1:100)



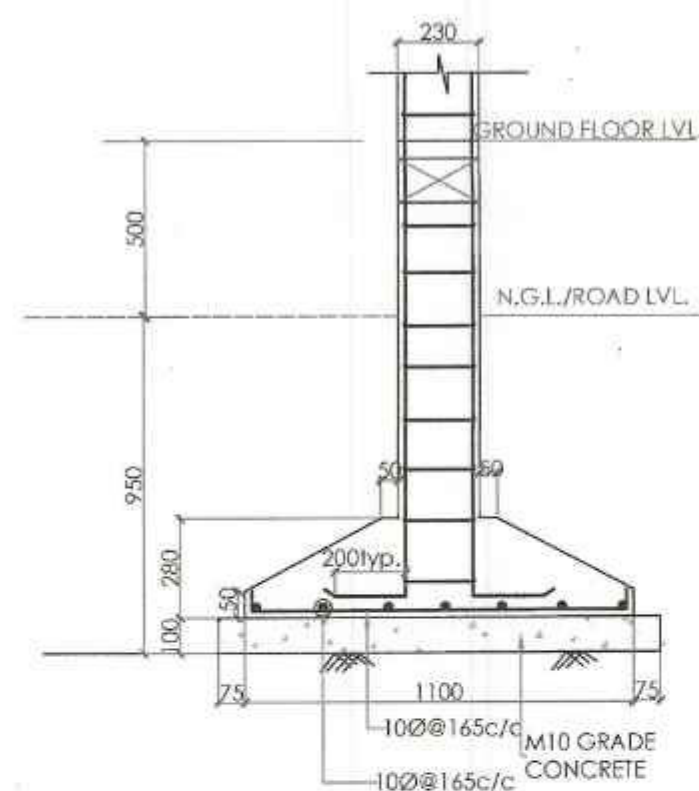
SITE PLAN
(SCALE=1:200)



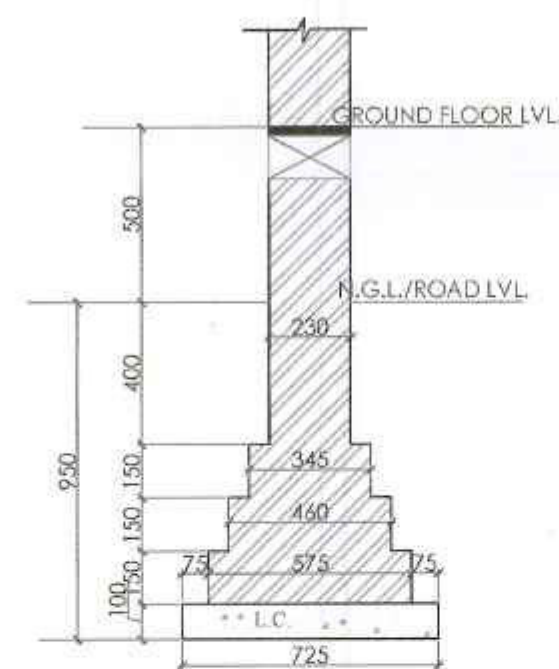
FRONT ELEVATION



LOCATION PLAN
(NOT TO SCALE)



TYP. SECTION OF COLUMN FOOTING
(scale-1:20)



TYP. SECTION FOR 230 THK. BRICK WALL
(scale-1:20)



SECTION X-X
(SCALE=1:50)

SPECIFICATIONS:

Foundation	- Stepped brick footing in 1:6 c.m., as per structural design with R.C.C. columns as per design.
Superstructure	- Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
Slab	- R.C.C. slab as per structural design in M:25 grade conc.
Joinery	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
Flooring	- Vitrified tiles/marble/kota/c.c.
Painting	- O.B.D. inside & cement based waterproofing paint outside.
Plaster	- 12mm plaster in 1:6 c.m.
Plumbing & sanitary fitting	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
Electrical work	- Conduiting, wiring & M.C.B. with I.S.I marked material.

MINI TOWNSHIP AT KHASRA NO.1703 & 1700, NATKUR,
PARGANA BIJNOUR, LUCKNOW

PLOT NO. B1-14

Developer:
GREEN APPLE INFRATECH PRIVATE LIMITED

NOTES:

- NOTES:
1. Architect shall not be responsible for any deviation at site by the developer.
 2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE SUBMISSION.
 3. Layout approved vide permit no.1014, dated 05.12.2025.

DOOR/ WINDOW SCHEDULE :		
S.NO.	TYPE	SIZE
1.	D1	1000x2400
2.	D2	950x2100
3.	D3	755x2100
4.	D4	800x2100
5.	D5	1000x2100
6.	DW1	2000x2100
7.	DW2	1925x2400
8.	W1	500x1050
9.	W2	1155x1050
10.	W3	1045x1200
11.	W4	1195x1200
12.	V1	500x600
13.	W5	1925x1500
14.	D6	900x2100

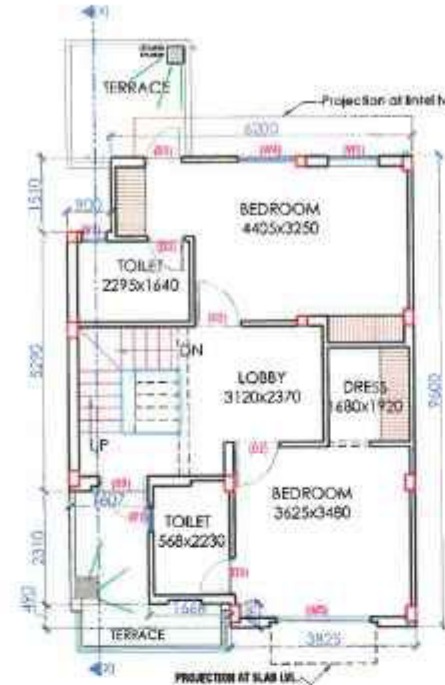
AREA STATEMENT :	SQ. MT.
1.] TOTAL PLOT AREA	99.40sq.mt.
2.] COVERED AREA ON GROUND FLOOR	71.97sq.mt.
3.] COVERED AREA ON FIRST FLOOR	61.48sq.mt.
4.] OPEN AREA	27.43sq.mt.
5.] MUMTY AREA	8.45sq.mt.
6.] PROJECTION AREA[half area to be included in F.A.R.]	15.19sq.mt.
7.] TOTAL BUILT-UP AREA[2+3+5+half of 6]-FOR F.A.R.	149.50sq.mt.
8.] GROUND COVERAGE ACHIEVED(permissible-75%)	72.40%
9.] F.A.R. ACHIEVED(permissible-1.80)	1.504

DEVELOPER	ARCHITECT
Green Apple Infotech Pvt. Ltd.  Director	 espaces Ar.Sanjay Kumar Gupta 100 F. Floor, Corporate Chamber, Vardaan Khana, Convent Nagar, Lucknow-226010 PH.No. 4066095, 9419114089 email-espaces.arch@gmail.com 

SPECIFICATIONS:	
Foundation	- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
Superstructure	- Composite structure with brick work & R.C.C. columns as per structural design.(earthquake resistant)
Slab	- R.C.C. slab as per structural design in M:25 grade conc.
Joinery	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
Flooring	- Vitrified tiles/marble/kota/c.c.
Painting	-O.B.D. inside & cement based waterproofing paint outside.
Plaster	-12mm plaster in 1:6 c.m.
Plumbing & sanitary fitting	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
Electrical work	- Conduiting,wiring & M.C.B. with I.S.I marked material.



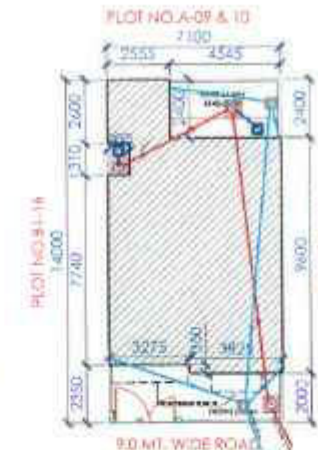
GROUND FLOOR PLAN
(SCALE=1:100)



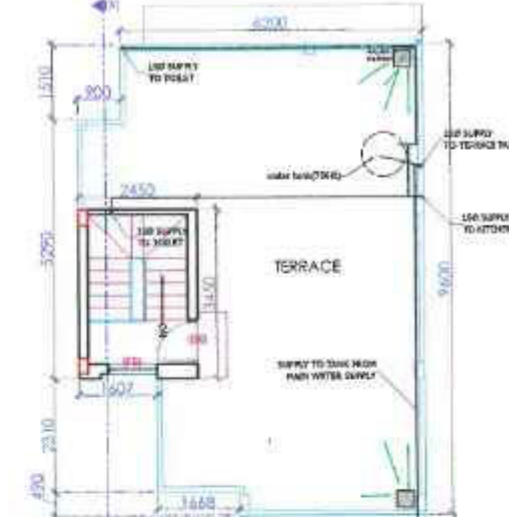
FIRST FLOOR PLAN
(SCALE=1:100)



FRONT ELEVATION
(SCALE=1:100)



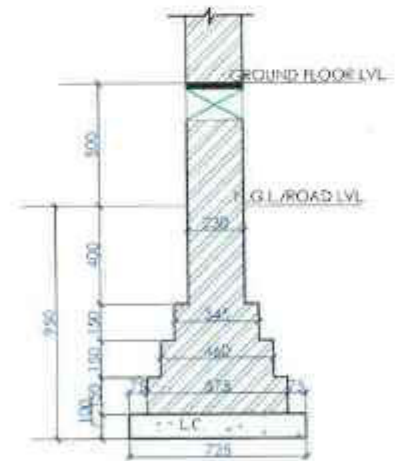
SITE PLAN
(SCALE=1:500)



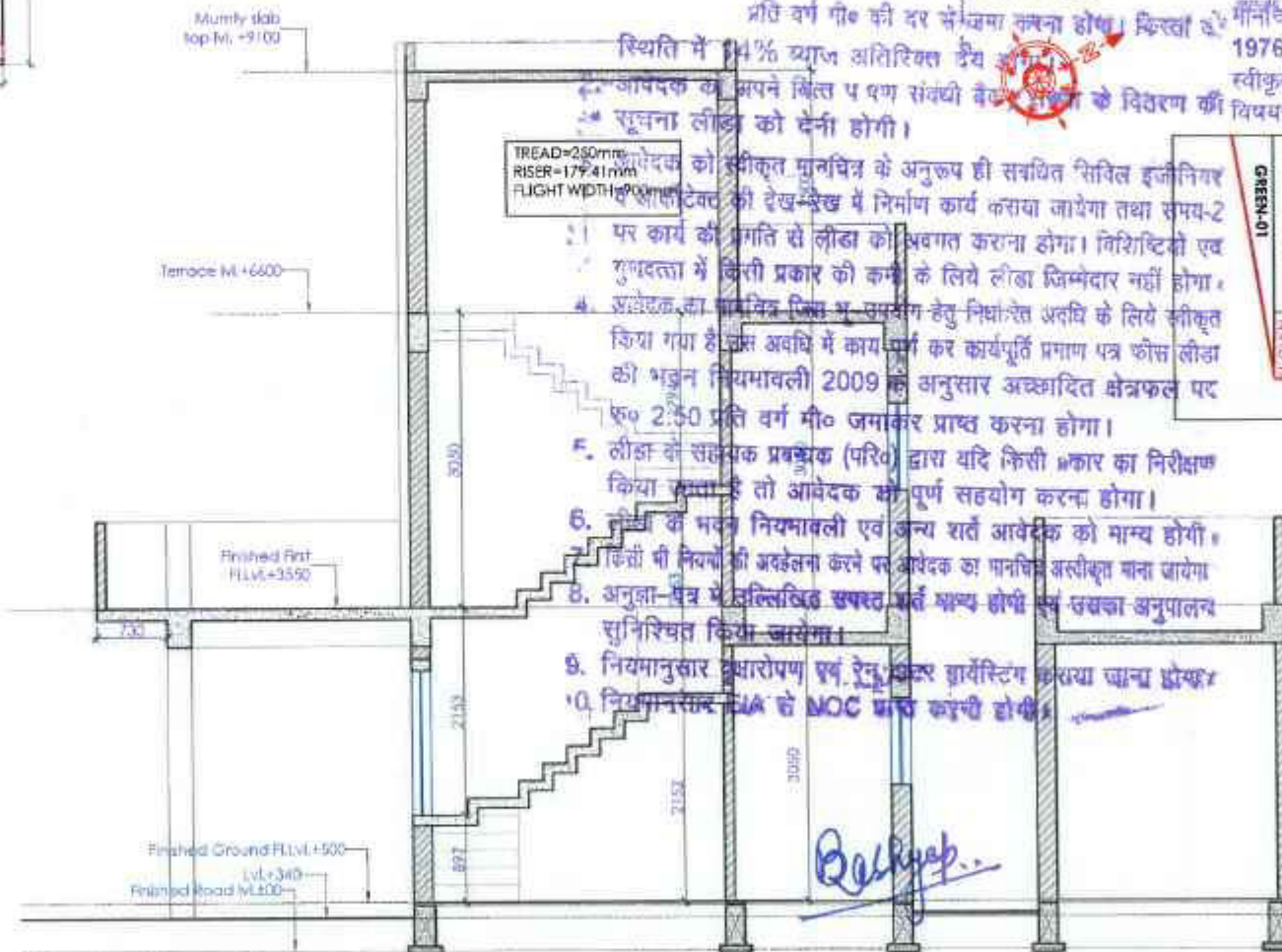
TERRACE PLAN
(SCALE=1:100)



TYP. SECTION OF COLUMN FOOTING
(scale=1:20)



TYP. SECTION FOR 230 THK. BRICK WALL
(scale=1:20)



SECTION X-X
(SCALE=1:50)

आवेदक को लीड द्वारा निर्धारित ग्राम परिया पर बाध्य

प्रति वर्ग मी० की दर से जमा करना होगा।

स्थिति में 14% ग्राह्य अतिरिक्त देय होगा।

आवेदक को अपने बिल्ट प वग संबंधी वेस्टिंग के विवरण की सूचना लीड को देनी होगी।

आवेदक को इमीकृत मानचित्र के अनुरूप ही संचालित सिविल इंजीनियर

द्वारा कोर्ट की देखरेख में निर्माण कार्य कराया जायेगा तथा समय-2

पर कार्य की प्रगति से लीड को अवगत कराना होगा।

विशेषित एव गुणवत्ता में किसी प्रकार की कमी के लिये लीड जिम्मेदार नहीं होगा।

आवेदक को मानचित्र प्लान में संचालित हेतु निर्धारित अद्वि के लिये लीड

किया गया है जिस अवधि में कार्य पूर्ण कर कार्यपूति प्रमाण पत्र को लीड

की भुज नयमावली 2009 के अनुसार अस्वादि क्षेत्रफल पर

एव 2:50 प्रति वर्ग मी० जमाकर प्राप्त करना होगा।

लीड के सहायक प्रबन्धक (परि०) द्वारा यदि किसी प्रकार का निरीक्षण

किया जाता है तो आवेदक को पूर्ण सहयोग करना होगा।

लीड के भवन नियमावली एवं अन्य शर्त आवेदक को मान्य होगी।

किसी भी नियमों की अवहेलना करने पर आवेदक का मानचित्र अस्वीकृत बना जायेगा

अनुज्ञा पत्र में उल्लिखित स्वरूप में मान्य होगी एवं उसका अनुपालन

सुनिश्चित किया जायेगा।

नियमानुसार वृक्षारोपण एवं रेनुवैटर हावैस्टिंग कराया जाना होगा।

निर्माणकार्ड जमा से MOC प्राप्त करनी होगी।

मौलिक उत्तर प्रदेश अधिनियम 1976 की धारा 13 के अन्तर्गत इस प्रतिबन्ध सहित

स्वीकृत किया जाता है कि विकास प्राधिकरण भूमि

विषयक स्वामित्व के लिये विद्यत बाध्य नहीं है।

Plot No.	Area (sq. m.)	Area (sq. ft.)	Area (sq. yd.)
A-01	1000	10764	2445
A-02	1000	10764	2445
A-03	1000	10764	2445
A-04	1000	10764	2445
A-05	1000	10764	2445
A-06	1000	10764	2445
A-07	1000	10764	2445
A-08	1000	10764	2445
A-09	1000	10764	2445
A-10	1000	10764	2445
A-11	1000	10764	2445
A-12	1000	10764	2445
A-13	1000	10764	2445
A-14	1000	10764	2445
A-15	1000	10764	2445
A-16	1000	10764	2445
A-17	1000	10764	2445
A-18	1000	10764	2445
A-19	1000	10764	2445
A-20	1000	10764	2445

LOCATION PLAN
(NOT TO SCALE)

स्वीकृत

परमिट संख्या... 1312...
दिनांक... 10.02.26...
स्वीकृति की वैधता... पांचवर्षी
भूमि का प्रकार... आवासीय

13/02/26

आवेदक द्वारा निर्देश
(हस्ताक्षर)

MINI TOWNSHIP AT KHASRA NO.1703 & 1700, NATKUR, PARGANA BIJNOUR, LUCKNOW

PLOT NO. B1-15

Developer:
GREEN APPLE INFRA TECH PRIVATE LIMITED

- NOTES:
1. Architect shall not be responsible for any deviation at site by the developer.
 2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE SUBMISSION.
 3. Layout approved vide permit no.1014, dated 05.12.2025.

S.NO.	TYPE	SIZE
1.	D1	1000x2400
2.	D2	950x2100
3.	D3	750x2100
4.	D4	800x2100
5.	D5	1000x2100
6.	DW1	2000x2100
7.	DW2	1925x2400
8.	W1	500x1050
9.	W2	1155x1500
10.	W3	1045x1300
11.	W4	1195x1200
12.	V1	900x600
13.	W5	1975x1500
14.	D6	900x2100

DOOR/ WINDOW SCHEDULE:

AREA STATEMENT :	SQ. MT.
1.) TOTAL PLOT AREA	99.40sq.mt.
2.) COVERED AREA ON GROUND FLOOR	71.97sq.mt.
3.) COVERED AREA ON FIRST FLOOR	61.48sq.mt.
4.) OPEN AREA	27.43sq.mt.
5.) MUMTY AREA	8.45sq.mt.
6.) PROJECTION AREA(half area to be included in F.A.R.)	15.19sq.mt.
7.) TOTAL BUILT-UP AREA(2+3+5+half of 6)-FOR F.A.R.	149.50sq.mt.
8.) GROUND COVERAGE ACHIEVED(permissible-75%)	72.40%
9.) F.A.R. ACHIEVED(permissible-1.80)	1.504

DEVELOPER

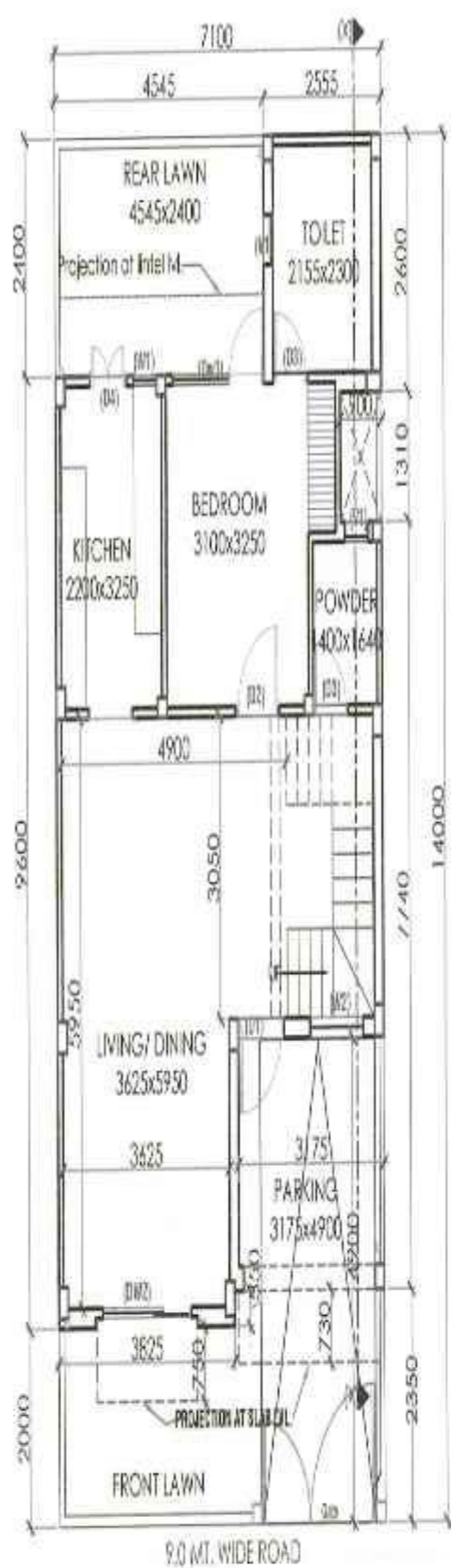
Green Apple Infra Tech Pvt. Ltd.
Director

ARCHITECT

As. Sanjay Kumar Gupta
102/A, Plot Calculator Chamber-1,
Wharf Road, South Bihar,
Lucknow-200002
Ph.No.-922555, 941711 4822
email-asp@apitpvt.com

SPECIFICATIONS:

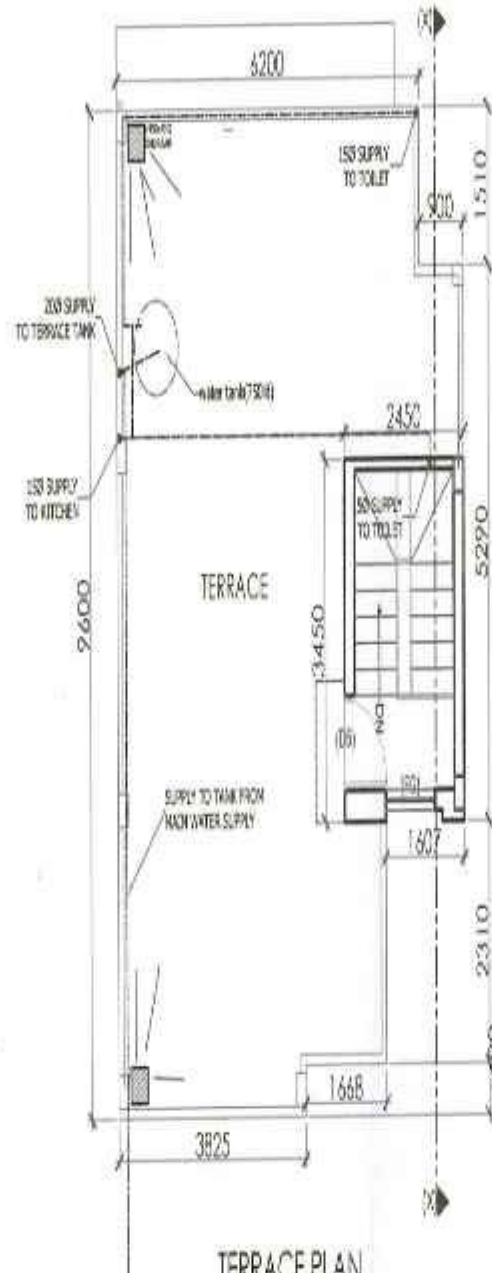
Foundation	- Stepped brick footing in 1:4 c.m. as per structural design with r.c.c. columns as per design.
Superstructure	- Composite structure with brick work & R.C.C. columns as per structural design (earthquake resistant)
Slab	- R.C.C. slab as per structural design in M-25 grade conc.
Joinery	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium UPVC.
Flooring	- Vitrified tiles/marble/stone/c.c.
Painting	- O.S.D. inside & cement based waterproofing paint outside.
Plaster	- 12mm plaster in 1:4 c.m.
Plumbing & sanitary filling	- All plumbing work using ISI marked UPVC pipes with standard fittings & fixtures.
Electrical work	- Conducting wiring & M.C.B. with ISI marked material.



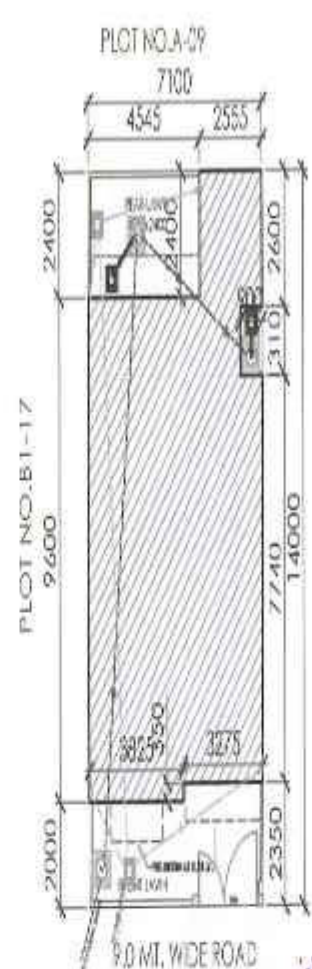
GROUND FLOOR PLAN
(SCALE=1:100)



FIRST FLOOR PLAN
(SCALE=1:100)



TERRACE PLAN
(SCALE=1:100)



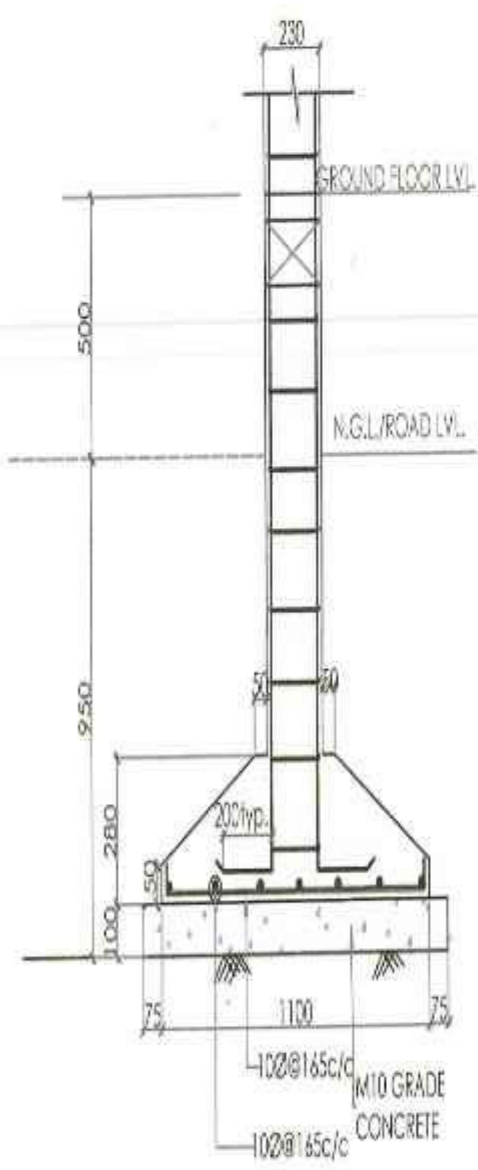
SITE PLAN
(SCALE=1:200)



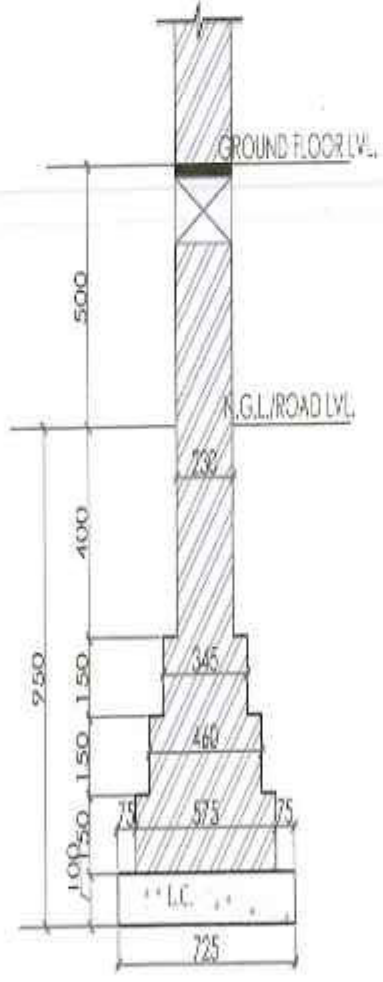
FRONT ELEVATION
(SCALE=1:100)

NO.	AREA	TYPE	AREA	TYPE	AREA
1	10.12	10.12	10.12	10.12	10.12
2	10.12	10.12	10.12	10.12	10.12
3	10.12	10.12	10.12	10.12	10.12
4	10.12	10.12	10.12	10.12	10.12
5	10.12	10.12	10.12	10.12	10.12
6	10.12	10.12	10.12	10.12	10.12
7	10.12	10.12	10.12	10.12	10.12
8	10.12	10.12	10.12	10.12	10.12
9	10.12	10.12	10.12	10.12	10.12
10	10.12	10.12	10.12	10.12	10.12
11	10.12	10.12	10.12	10.12	10.12
12	10.12	10.12	10.12	10.12	10.12
13	10.12	10.12	10.12	10.12	10.12
14	10.12	10.12	10.12	10.12	10.12
15	10.12	10.12	10.12	10.12	10.12
16	10.12	10.12	10.12	10.12	10.12
17	10.12	10.12	10.12	10.12	10.12
18	10.12	10.12	10.12	10.12	10.12
19	10.12	10.12	10.12	10.12	10.12
20	10.12	10.12	10.12	10.12	10.12

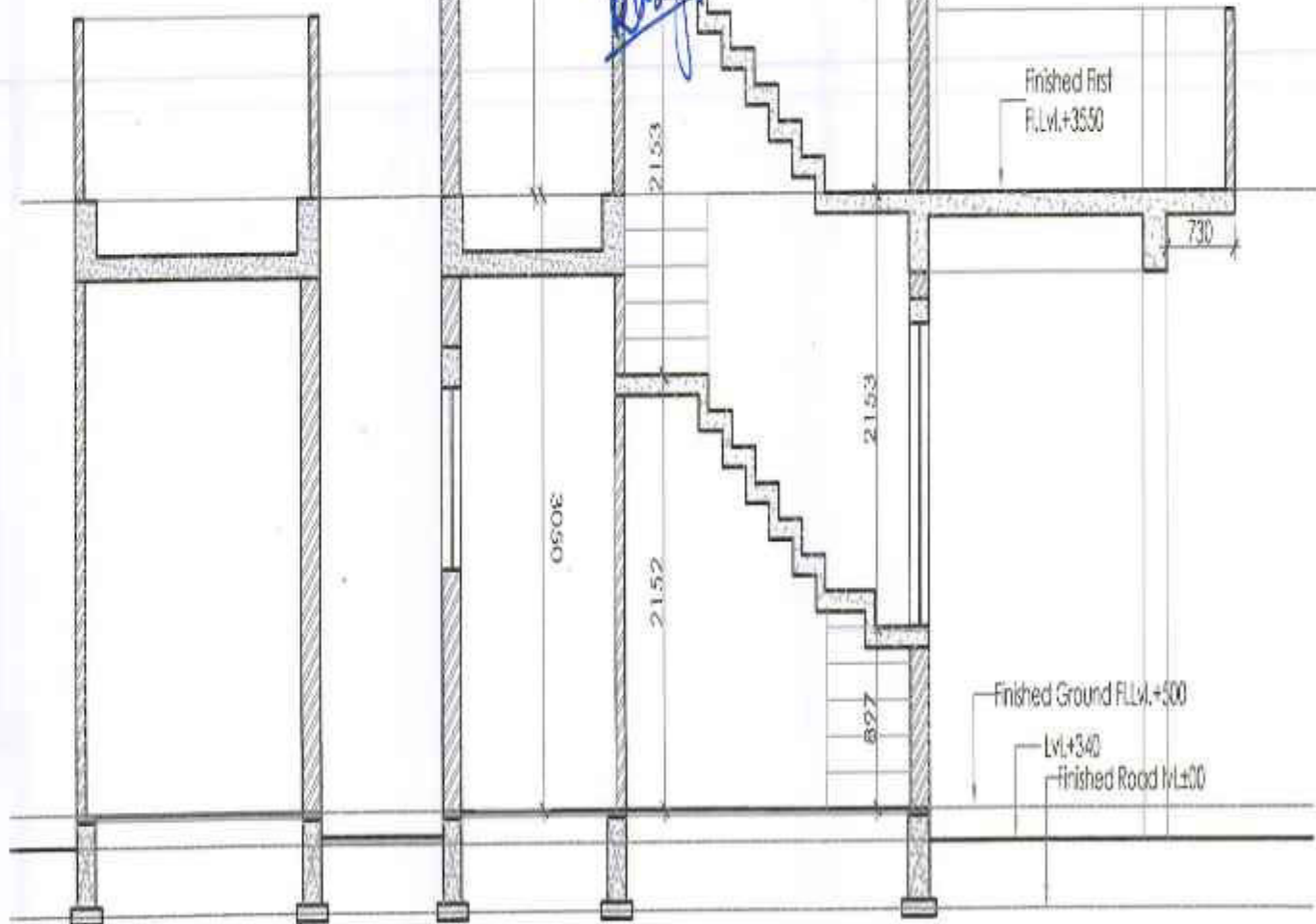
LOCATION PLAN
(NOT TO SCALE)



TYP. SECTION OF COLUMN FOOTING
(scale=1:20)



TYP. SECTION FOR 230 THK. BRICK WALL
(scale=1:20)



SECTION X-X
(SCALE=1:50)

SPECIFICATIONS:

Foundation	- Stepped brick footing in 1:3 c.m. as per structural design with r.c.c. columns as per design.
Superstructure	- Composite structure with brick work & R.C.C. columns as per structural design (earthquake resistant).
Slab	- R.C.C. slab as per structural design in M25 grade conc.
Joinery	- Door frames in sal wood with 22mm commercial board shutter. Windows in aluminium / UPVC.
Flooring	- Vitrified tiles/marble/ Kota/c.c.
Painting	- O.S.D. inside & cement based waterproofing paint outside.
Plaster	- 12mm plaster in 1:3 c.m.
Plumbing & sanitary fitting	- All plumbing work using (S.I. marked) UPVC pipes with standard fittings & fixtures.
Electrical work	- Conduiting wiring & M.C.B. with (S.I. marked) material.

MINI TOWNSHIP AT KHASRA NO.1703 & 1700, NATKUR, PARGANA BIJNOUR, LUCKNOW

PLOT NO. B1-16

Developer:
GREEN APPLE INFRA TECH PRIVATE LIMITED

- NOTES:
1. Architect shall not be responsible for any deviation at site by the developer.
 2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE SUBMISSION.
 3. Layout approved vide permit no.10/14, dated 05.12.2025.

DOOR/WINDOW SCHEDULE:

S.NO.	TYPE	SIZE
1.	D1	1000x2400
2.	D2	950x2100
3.	D3	755x2100
4.	D4	800x2100
5.	D5	1000x2100
6.	DW1	2000x2100
7.	DW2	1925x2420
8.	W1	500x1050
9.	W2	1155x1500
10.	W3	1045x1200
11.	W4	1195x1200
12.	W5	500x600
13.	W6	1925x1500
14.	D6	900x2100

AREA STATEMENT:

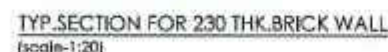
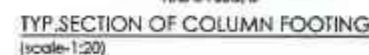
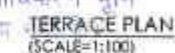
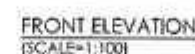
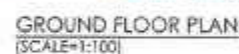
S.NO.	DESCRIPTION	AREA (SQ. MT.)
1.	TOTAL PLOT AREA	99.40sq.mt.
2.	COVERED AREA ON GROUND FLOOR	71.97sq.mt.
3.	COVERED AREA ON FIRST FLOOR	61.48sq.mt.
4.	OPEN AREA	27.43sq.mt.
5.	MUMTY AREA	8.45sq.mt.
6.	PROJECTION AREA (half area to be included in F.A.R.)	15.19sq.mt.
7.	TOTAL BUILT-UP AREA (2+3+5+half of 6)-FOR F.A.R.	149.50sq.mt.
8.	GROUND COVERAGE ACHIEVED (permissible-75%)	72.40%
9.	F.A.R. ACHIEVED (permissible-1.80)	1.504

DEVELOPER

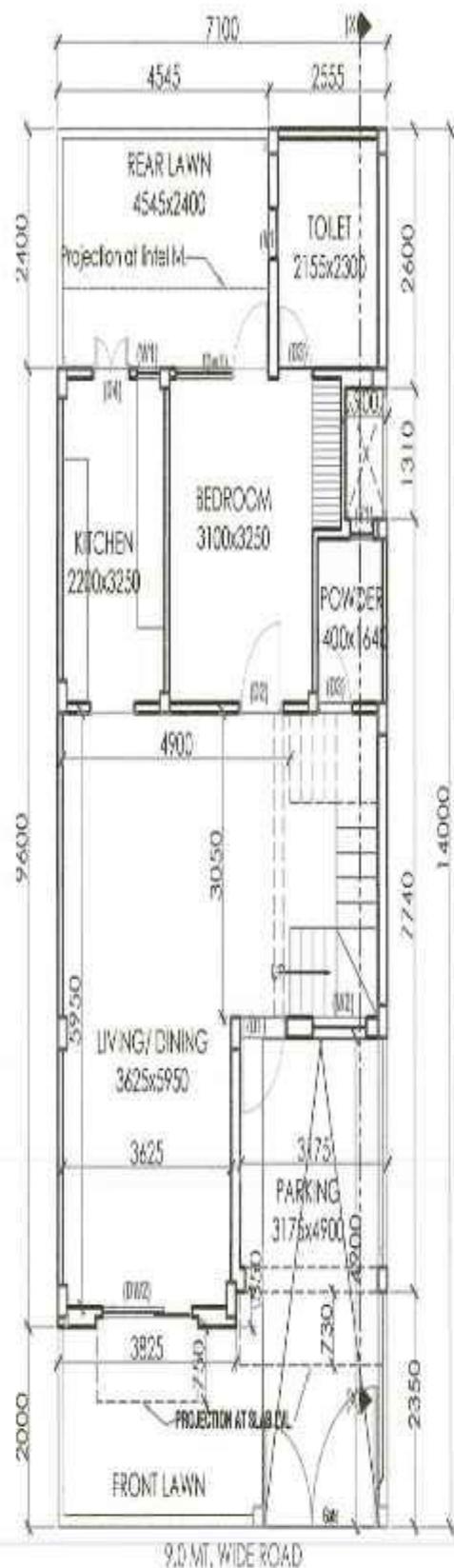
Green Apple Infra Tech Pvt. Ltd.
Director

ARCHITECT

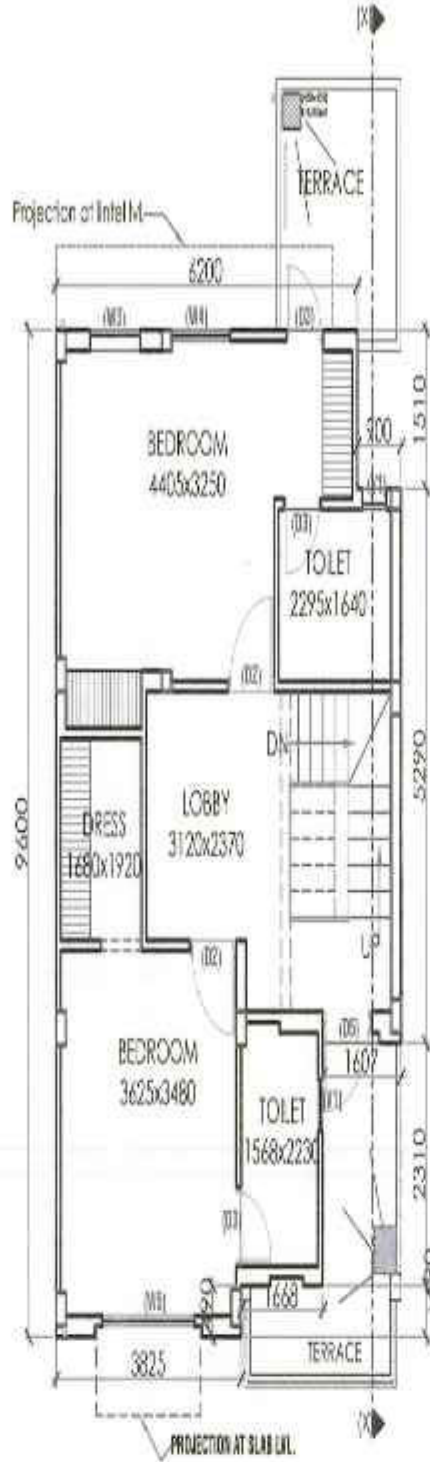
Ar. Sanjay Kumar Gupta
158 F. Road Corporate Chatterjee-1
Varanasi, Uttar Pradesh
Lucknow-226010
Ph: 9225330, 9415114889
email: asanjay@archguy.com



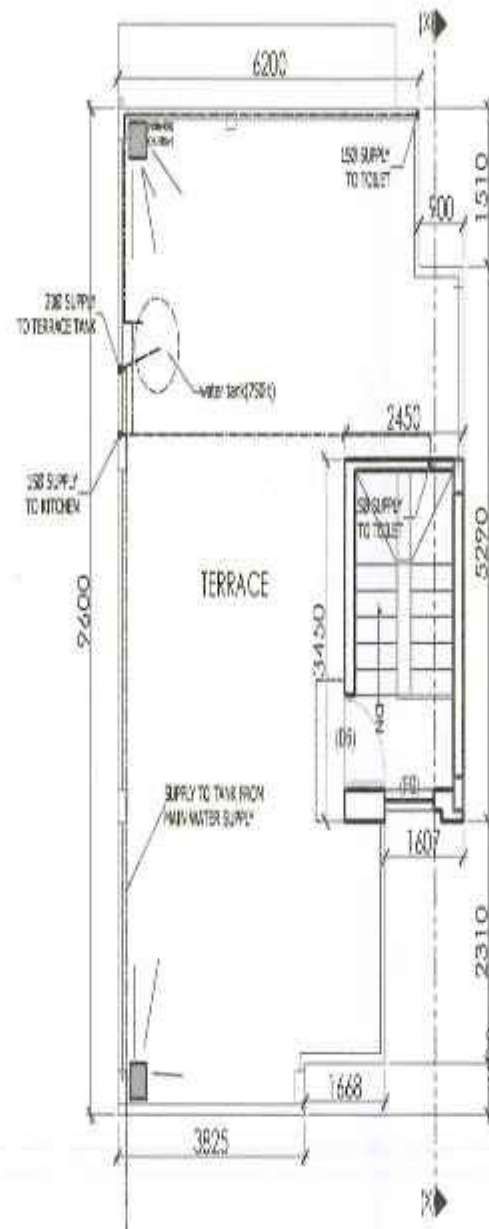
<u>SPECIFICATIONS:</u>	
Foundation	-Stepped brick footing in 1:4 c.m. as per structural design with r.c.c. columns as per design.
Superstructure	- Composite structure with brick work & R.C.C. columns as per structural design.(earthquake resistant)
Slab	- R.C.C. slab as per structural design in M25 grade conc.
Joinery	- Door frames in sq.wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
Flooring	- Vitified tiles/marble/kota/c.c.
Painting	- Q.8.D. Inside & cement based waterproofing paint outside.
Plaster	- 12mm plaster in 1:4 c.m.
Plumbing & sanitary fitting	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures
Electrical work	- Conducting wiring & M.C.B. with I.S.I. marked material.



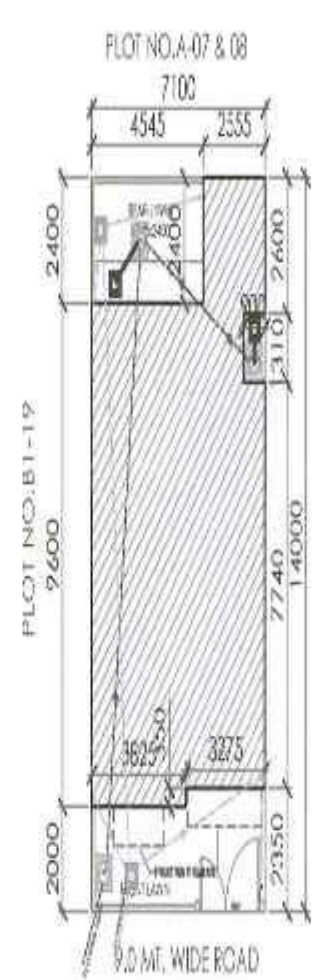
GROUND FLOOR PLAN
(SCALE=1:100)



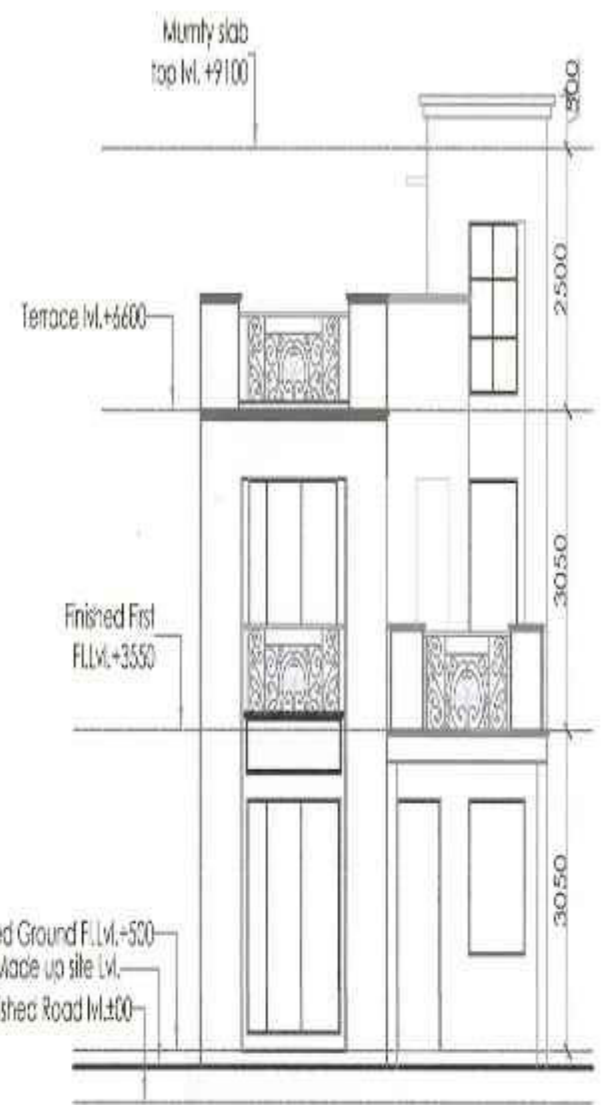
FIRST FLOOR PLAN
(SCALE=1:100)



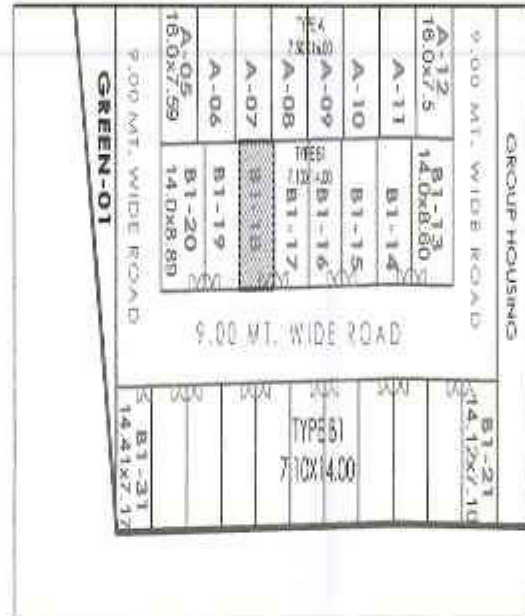
TERRACE PLAN
(SCALE=1:100)



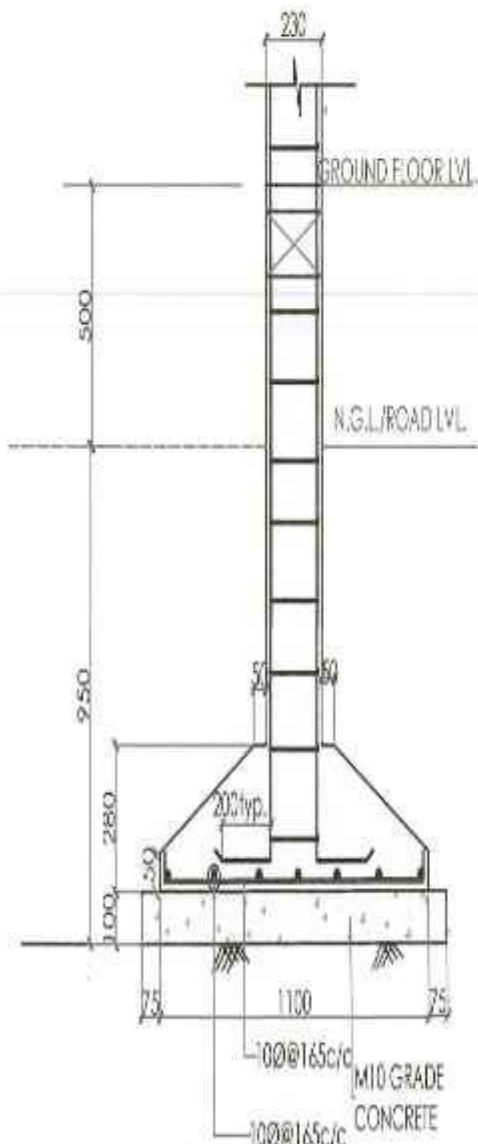
SITE PLAN
(SCALE=1:200)



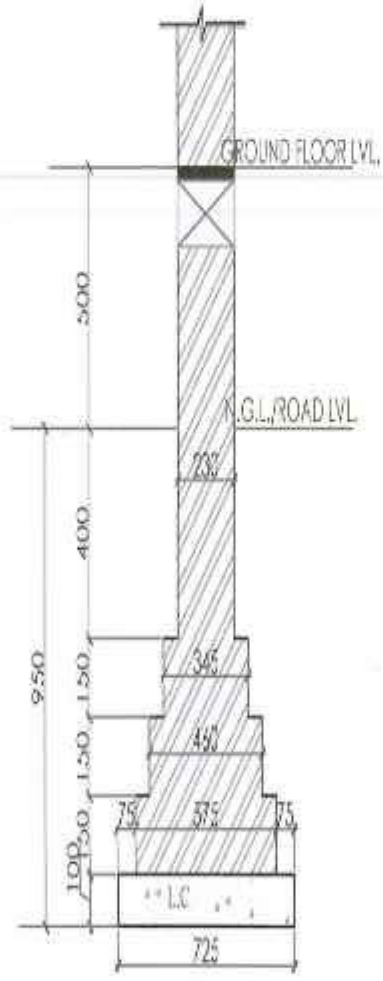
FRONT ELEVATION
(SCALE=1:100)



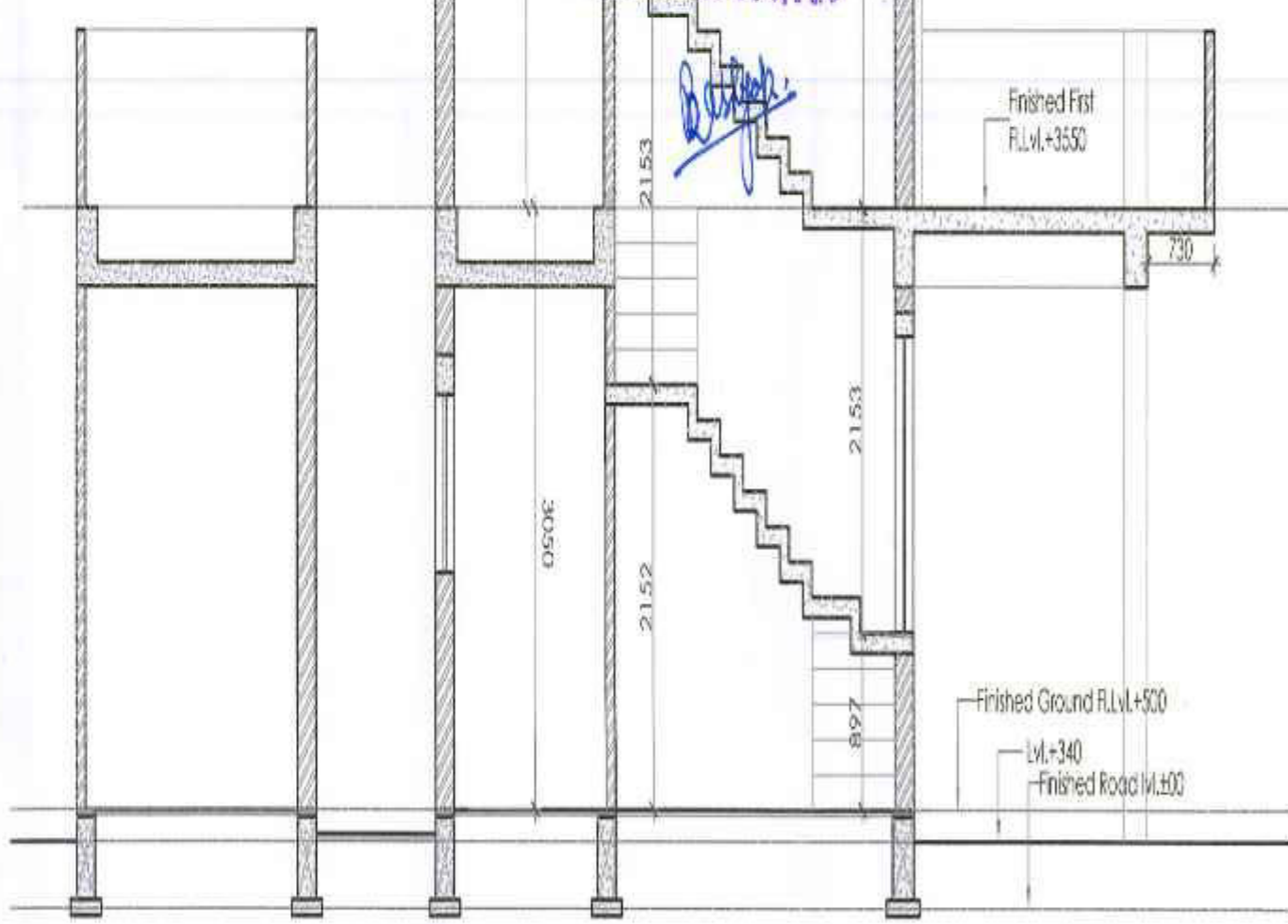
LOCATION PLAN
(SCALE=1:200)



TYP. SECTION OF COLUMN FOOTING
(SCALE=1:20)



TYP. SECTION FOR 230 THK. BRICK WALL
(SCALE=1:20)



SECTION X-X
(SCALE=1:50)

MINI TOWNSHIP AT KHASRA NO.1703 & 1700, NATKUR, PARGANA BIJNOUR, LUCKNOW

PLOT NO. BI-18

Developer:
GREEN APPLE INFRA TECH PRIVATE LIMITED

- NOTES:
1. Architect shall not be responsible for any deviation at site by the developer.
 2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE SUBMISSION.
 3. Layout approved vide permit no.1014, dated 05.12.2025.

DOOR/WINDOW SCHEDULE :

S.NO.	TYPE	SIZE
1.	D1	1000x2400
2.	D2	950x2100
3.	D3	755x2100
4.	D4	800x2100
5.	D5	1000x2100
6.	DW1	2000x2100
7.	DW2	1925x2400
8.	W1	900x1050
9.	W2	1155x1500
10.	W3	1045x1200
11.	W4	1195x1200
12.	V1	520x600
13.	W5	1925x1500
14.	D6	900x2100

AREA STATEMENT :

S.NO.	TYPE	SIZE
1.	D1	1000x2400
2.	D2	950x2100
3.	D3	755x2100
4.	D4	800x2100
5.	D5	1000x2100
6.	DW1	2000x2100
7.	DW2	1925x2400
8.	W1	900x1050
9.	W2	1155x1500
10.	W3	1045x1200
11.	W4	1195x1200
12.	V1	520x600
13.	W5	1925x1500
14.	D6	900x2100

SQ. MT.

S.NO.	TYPE	SIZE
1.	D1	1000x2400
2.	D2	950x2100
3.	D3	755x2100
4.	D4	800x2100
5.	D5	1000x2100
6.	DW1	2000x2100
7.	DW2	1925x2400
8.	W1	900x1050
9.	W2	1155x1500
10.	W3	1045x1200
11.	W4	1195x1200
12.	V1	520x600
13.	W5	1925x1500
14.	D6	900x2100

DEVELOPER

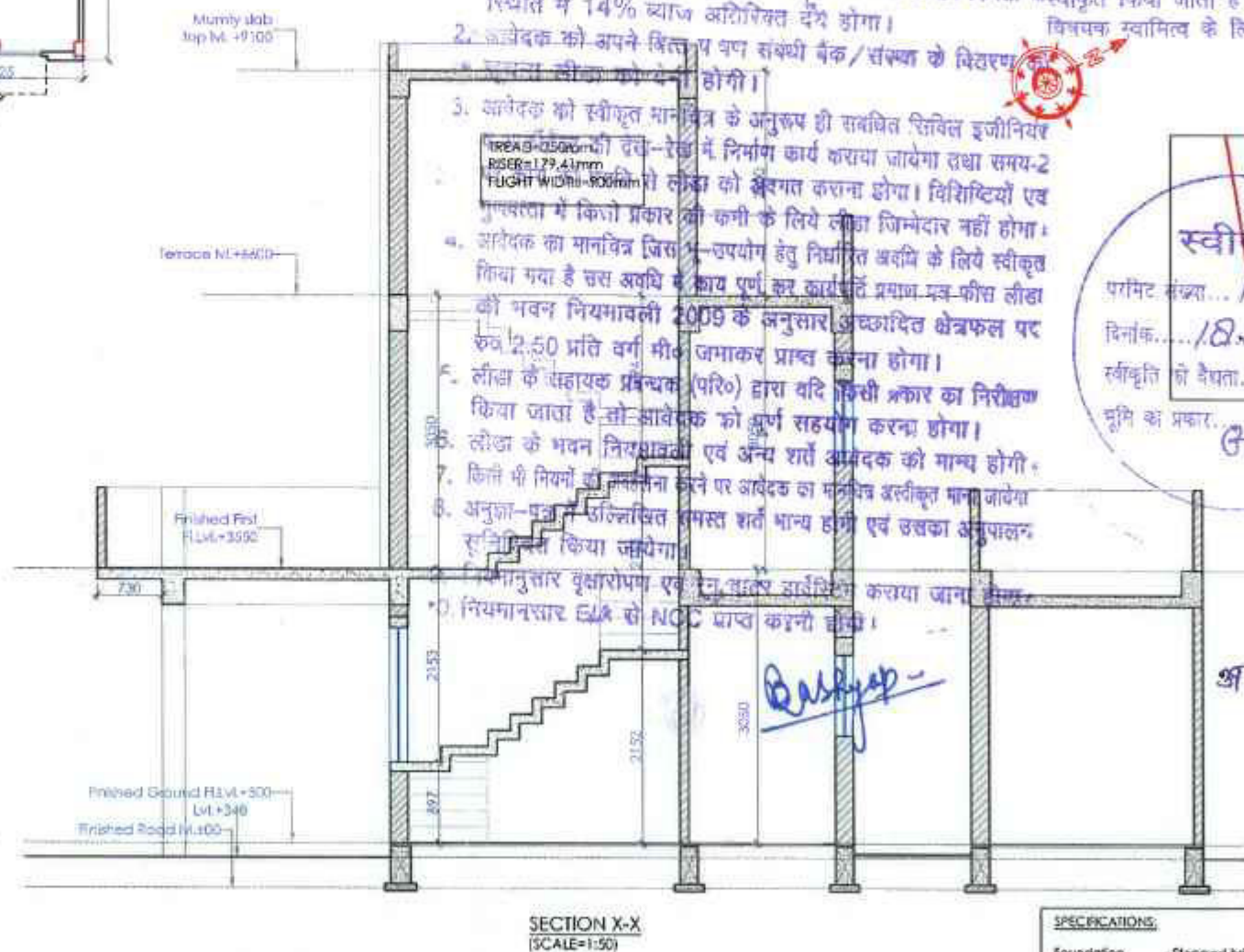
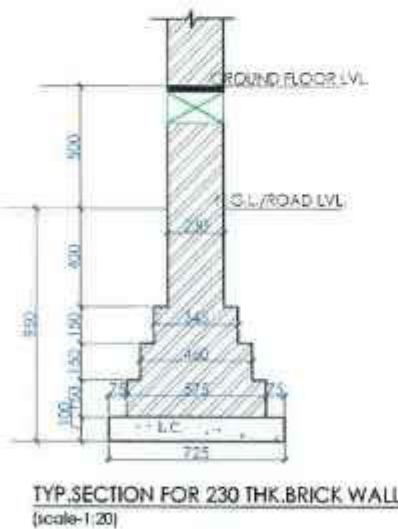
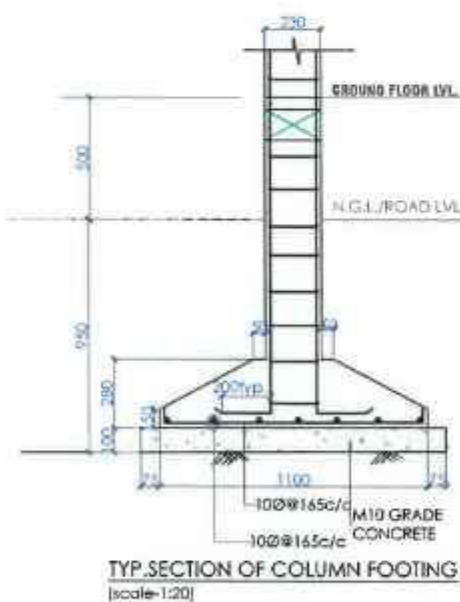
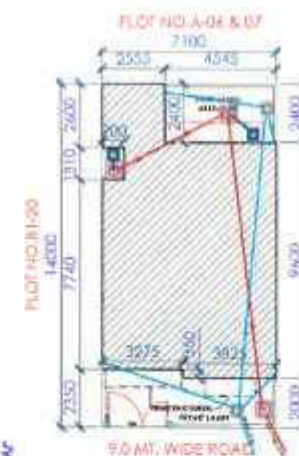
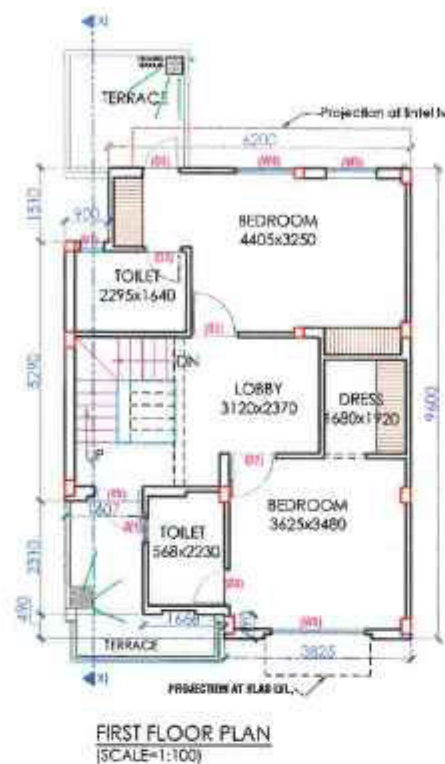
Green Apple Infra Tech Pvt. Ltd.

ARCHITECT

Ar. Sanjay Kumar Gupta
158-F, Faza Corporate Chambers-I
Vishnu Khari, Gomti Nagar
Lucknow-226010
Ph No. 4255588, 4411145889
email: spaces.arch@gmail.com

SPECIFICATIONS:

Foundation	-Stepped brick footing in 1:3 c.m. as per structural design with R.C.C. columns as per design.
Superstructure	-Composite structure with brick work & R.C.C. columns as per structural design (earthquake resistant)
Slab	-R.C.C. slab as per structural design in M25 grade conc.
Joinery	-Door frames in solid wood with 32mm commercial boards shutter. Windows in aluminium UPVC.
Flooring	-Vitrified tiles/marble/kala/c.c.
Painting	-O.B.D. prime & cement based waterproofing paint outside.
Plaster	-12mm plaster in 1:3 c.m.
Pumbing & sanitary fitting	-All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
Electrical work	-Conduiting wiring & M.C.B. with I.S.I. marked material.



MINI TOWNSHIP AT KHASRA NO.1703 & 1700,NATKUR,
PARGANA BIJNOUR,LUCKNOW

PLOT NO. 81-19

Developer:
GREEN APPLE INFRATECH PRIVATE LIMITED

NOTES:

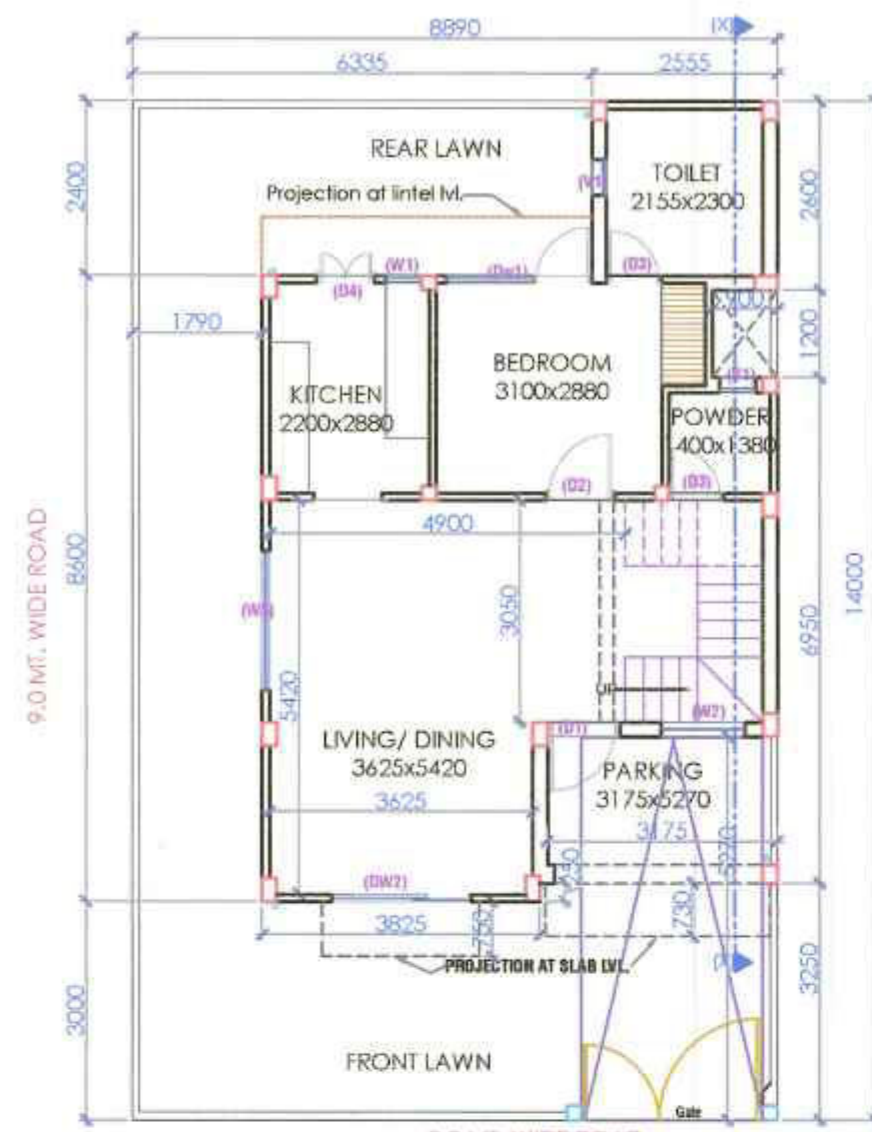
1. Architect shall not be responsible for any deviation at site by the developer.
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE SUBMISSION.
3. Layout approved vide permit no.1014, dated 05.12.2025.

DOOR/ WINDOW SCHEDULE :		
S.NO.	TYPE	SIZE
1.	D1	1000x2400
2.	D2	950x2100
3.	D3	755x2100
4.	D4	800x2100
5.	D5	1000x2100
6.	DW1	2000x2100
7.	DW2	1925x2400
8.	W1	500x1050
9.	W2	1155x1500
10.	W3	1045x1200
11.	W4	1195x1200
12.	V1	500x600
13.	W5	1925x1500
14.	D6	900x2100

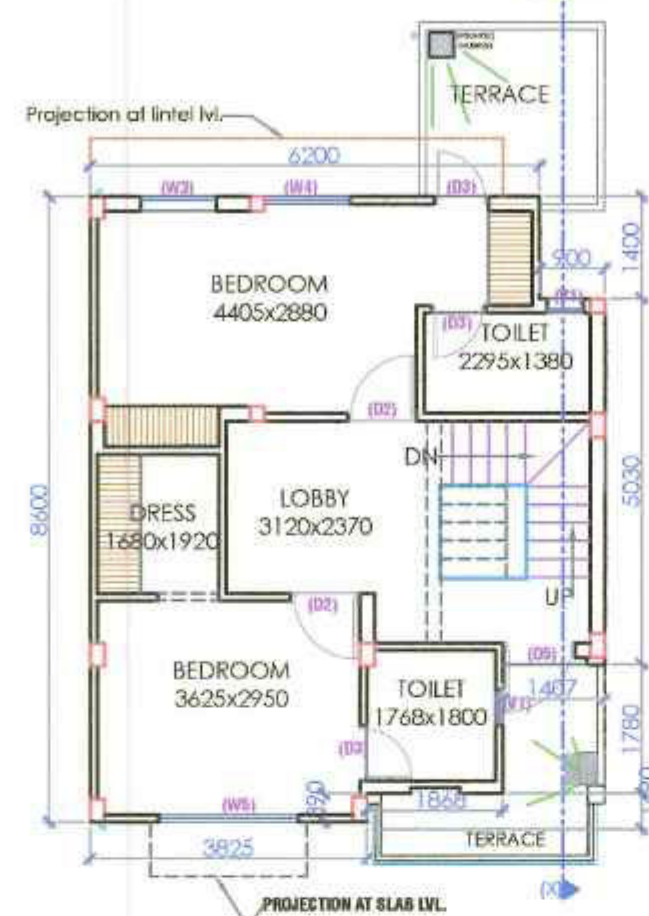
AREA STATEMENT :	SQ. MT.
1.) TOTAL PLOT AREA	99.40sq.mt
2.) COVERED AREA ON GROUND FLOOR	71.97sq.mt.
3.) COVERED AREA ON FIRST FLOOR	61.48sq.mt.
4.) OPEN AREA	27.43sq.mt.
5.) MUMTY AREA	8.45sq.mt.
6.) PROJECTION AREA(half area to be included in F.A.R.)	15.19sq.mt.
7.) TOTAL BUILT-UP AREA(2+3+5+half of 6)-FOR F.A.R.	149.50sq.mt.
8.) GROUND COVERAGE ACHIEVED(permissible-75%)	72.40%
9.) F.A.R. ACHIEVED(permissible-1.80)	1.504

DEVELOPER	ARCHITECT
Green Apple InfraTech Pvt. Ltd.  Director	 espaces Ar. Sanjeev Kumar Gupta 105, P. Plot, Chhapra Chamber 10th Floor, Abad, Civil Nigat, Lucknow-226010 Ph.No. 4085385, 9473114529 sanjeev@espaces.com sanjeev@sanjeevgupta.com 

<u>SPECIFICATIONS:</u>	
Foundation	- Stopped brick footing in 1:2 c.m. as per structural design with r.c.c. columns as per design.
Superstructure	- Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
Slab	- R.C.C. slab as per structural design in M25 grade conc.
Joinery	- Door frames in solid wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
Flooring	- Vitrified tiles/marble/kota/c.c.
Painting	- O.S.D. inside & cement based waterproofing paint outside.
Plaster	- 12mm plaster in 1:4 c.m.
Plumbing & sanitary fitting	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
Electrical work	- Conducting, wiring & M.C.B. with I.S.I. marked material.



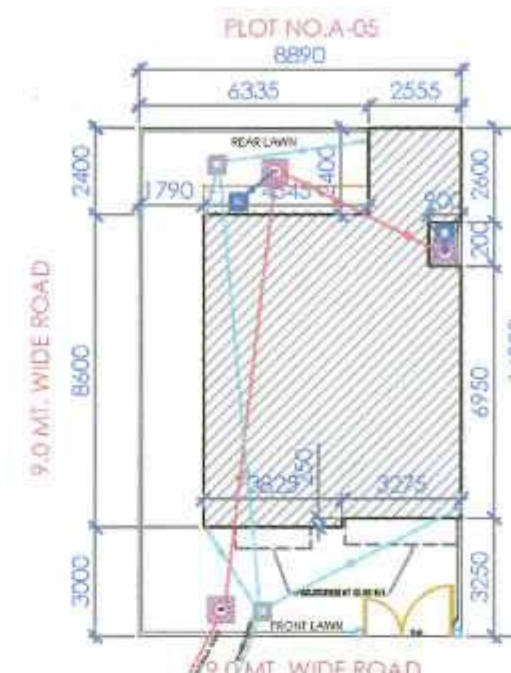
GROUND FLOOR PLAN
(SCALE=1:100)



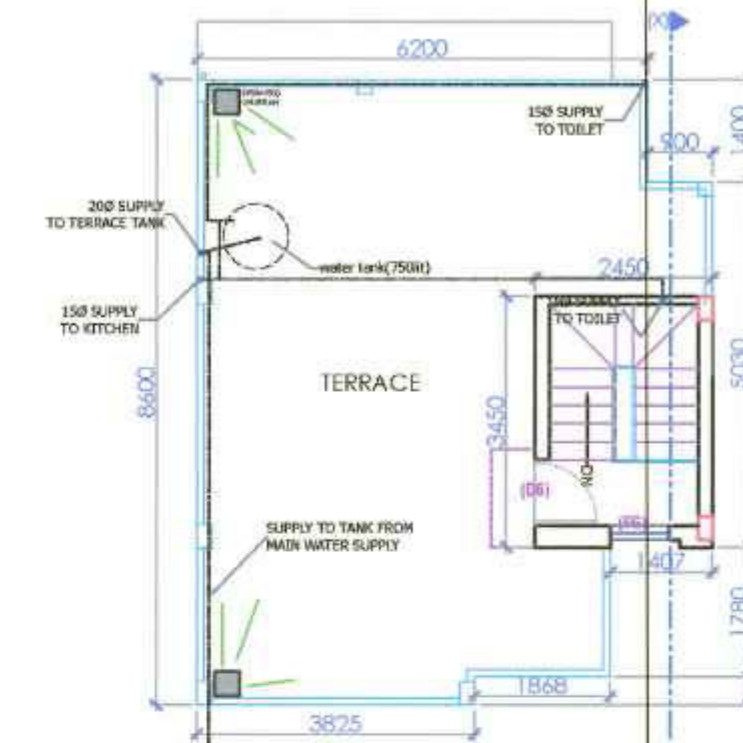
FIRST FLOOR PLAN
(SCALE=1:100)



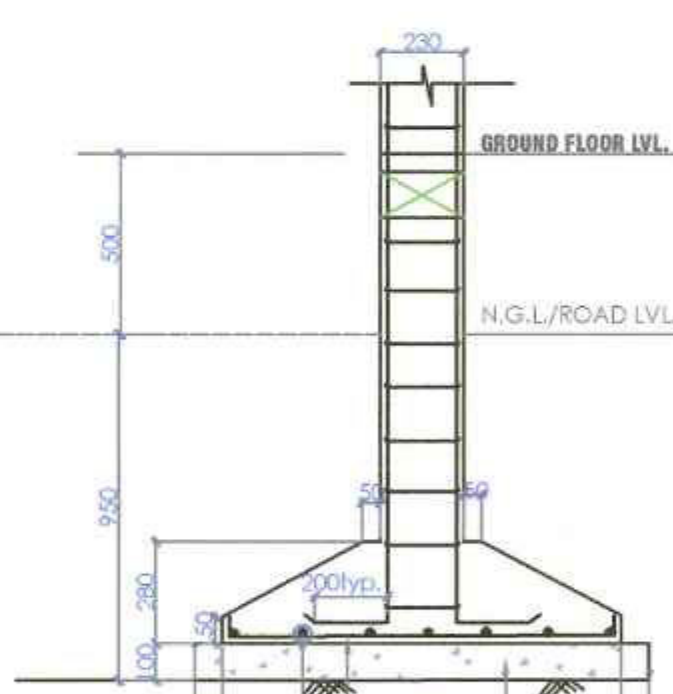
FRONT ELEVATION
(SCALE=1:100)



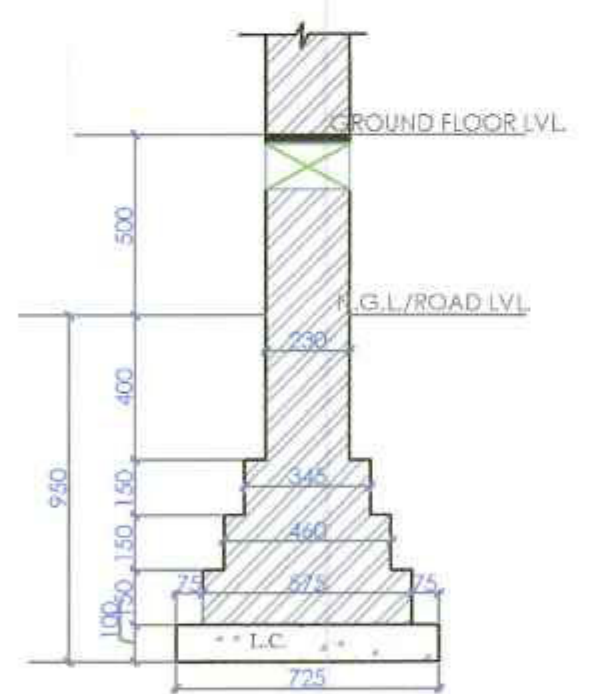
SITE PLAN
(SCALE=1:200)



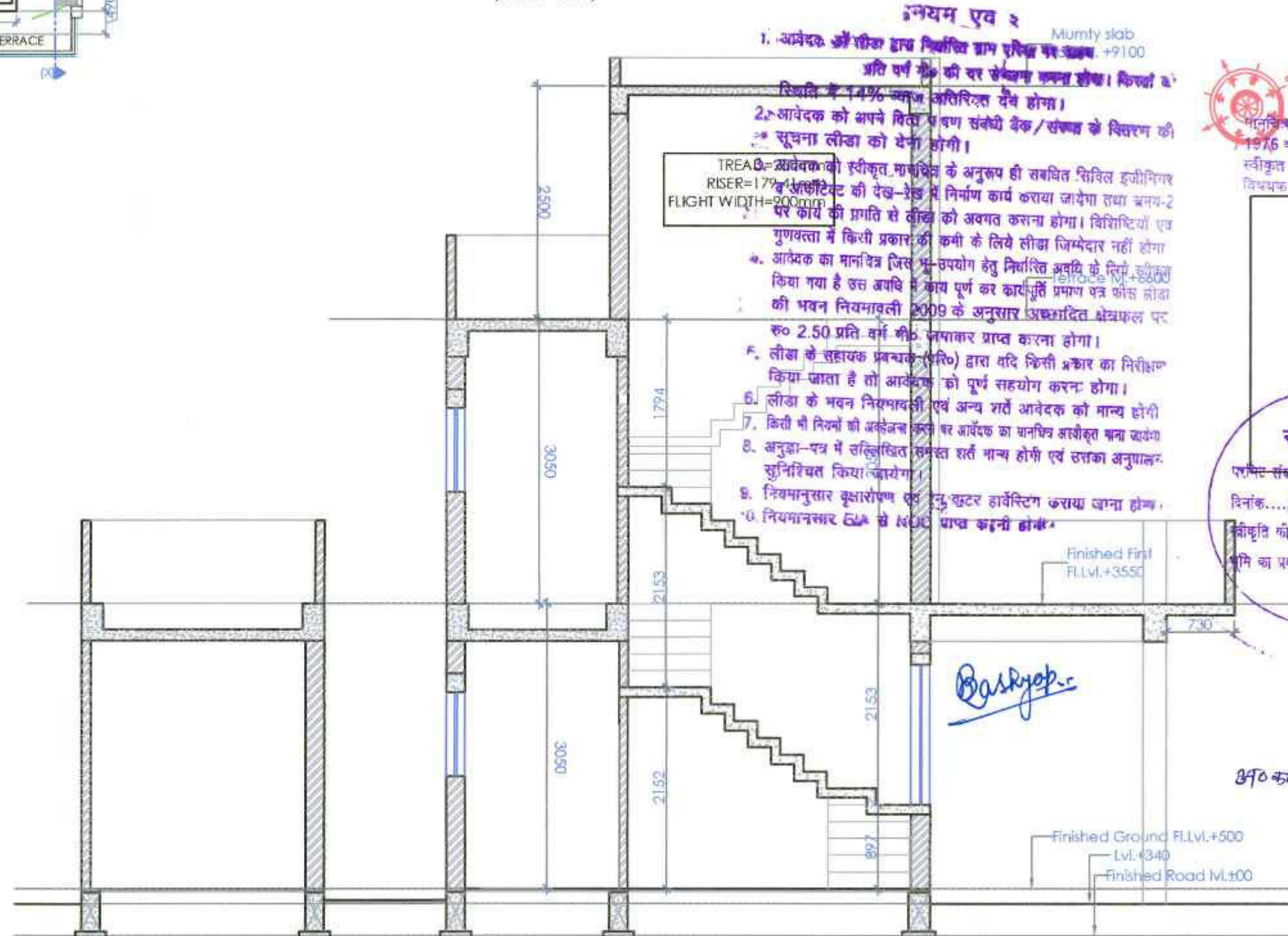
TERRACE PLAN
(SCALE=1:100)



TYP. SECTION OF COLUMN FOOTING
(scale=1:20)



TYP. SECTION FOR 230 THK. BRICK WALL
(scale=1:20)



SECTION X-X
(SCALE=1:50)

1. आवेदक को अपने बिल्डिंग प्लान पर 1:100 स्केल पर एक स्वीकृत प्लान प्रस्तुत करना होगा।
2. आवेदक को अपने बिल्डिंग प्लान पर 1:100 स्केल पर एक स्वीकृत प्लान प्रस्तुत करना होगा।
3. आवेदक को अपने बिल्डिंग प्लान पर 1:100 स्केल पर एक स्वीकृत प्लान प्रस्तुत करना होगा।
4. आवेदक को अपने बिल्डिंग प्लान पर 1:100 स्केल पर एक स्वीकृत प्लान प्रस्तुत करना होगा।
5. आवेदक को अपने बिल्डिंग प्लान पर 1:100 स्केल पर एक स्वीकृत प्लान प्रस्तुत करना होगा।
6. आवेदक को अपने बिल्डिंग प्लान पर 1:100 स्केल पर एक स्वीकृत प्लान प्रस्तुत करना होगा।
7. आवेदक को अपने बिल्डिंग प्लान पर 1:100 स्केल पर एक स्वीकृत प्लान प्रस्तुत करना होगा।
8. आवेदक को अपने बिल्डिंग प्लान पर 1:100 स्केल पर एक स्वीकृत प्लान प्रस्तुत करना होगा।
9. आवेदक को अपने बिल्डिंग प्लान पर 1:100 स्केल पर एक स्वीकृत प्लान प्रस्तुत करना होगा।
10. आवेदक को अपने बिल्डिंग प्लान पर 1:100 स्केल पर एक स्वीकृत प्लान प्रस्तुत करना होगा।



GREEN-01	GREEN-02	GREEN-03	GREEN-04	GREEN-05	GREEN-06	GREEN-07	GREEN-08	GREEN-09	GREEN-10	GREEN-11	GREEN-12	GREEN-13	GREEN-14	GREEN-15	GREEN-16	GREEN-17	GREEN-18	GREEN-19	GREEN-20
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20

LOCATION PLAN
(NOT TO SCALE)

स्वीकृत
13.12.2022
18.02.2023
18.02.2023
18.02.2023
18.02.2023
18.02.2023
18.02.2023
18.02.2023
18.02.2023
18.02.2023
18.02.2023
18.02.2023
18.02.2023
18.02.2023
18.02.2023
18.02.2023
18.02.2023
18.02.2023
18.02.2023

MINI TOWNSHIP AT KHASRA NO.1703 &1700,NATKUR, PARGANA BIJNOUR,LUCKNOW

PLOT NO. B1-20

Developer:
GREEN APPLE INFRA TECH PRIVATE LIMITED

NOTES:
1. Architect shall not be responsible for any deviation at site by the developer.
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE SUBMISSION.
3. Layout approved vide permit no.1014, dated 05.12.2025.

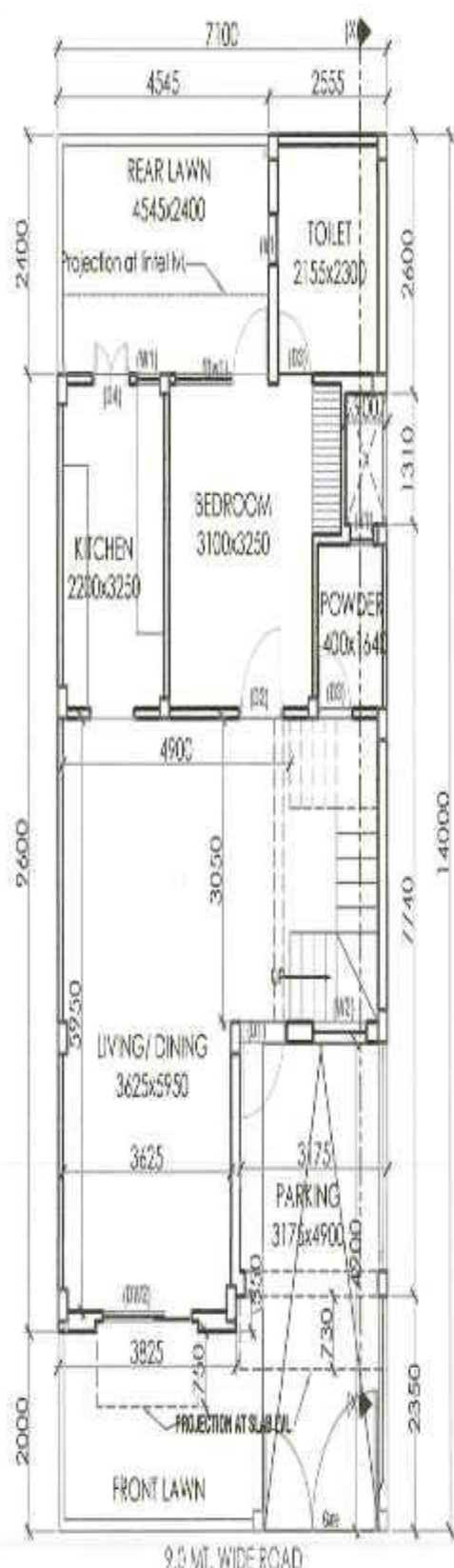
S.NO.	TYPE	SIZE
1	D1	1000x2400
2	D2	950x2100
3	D3	755x2100
4	D4	800x2100
5	D5	1000x2100
6	DW1	2000x2100
7	DW2	1925x2400
8	W1	500x1050
9	W2	1155x1500
10	W3	1045x1200
11	W4	1195x1200
12	V1	500x600
13	W5	1925x1500
14	D6	900x2100

AREA STATEMENT :	SQ. MT.
1.) TOTAL PLOT AREA	124.46sq.mt.
2.) COVERED AREA ON GROUND FLOOR	65.29sq.mt.
3.) COVERED AREA ON FIRST FLOOR	56.02sq.mt.
4.) OPEN AREA	59.17sq.mt.
5.) MUMTY AREA	8.45sq.mt.
6.) PROJECTION AREA(half area to be included in F.A.R.)	15.19sq.mt.
7.) TOTAL BUILT-UP AREA(2+3+5+half of 6)-FOR F.A.R.	137.35sq.mt.
8.) GROUND COVERAGE ACHIEVED(permissible-75%)	52.46%
9.) F.A.R. ACHIEVED(permissible-1.80)	1.104

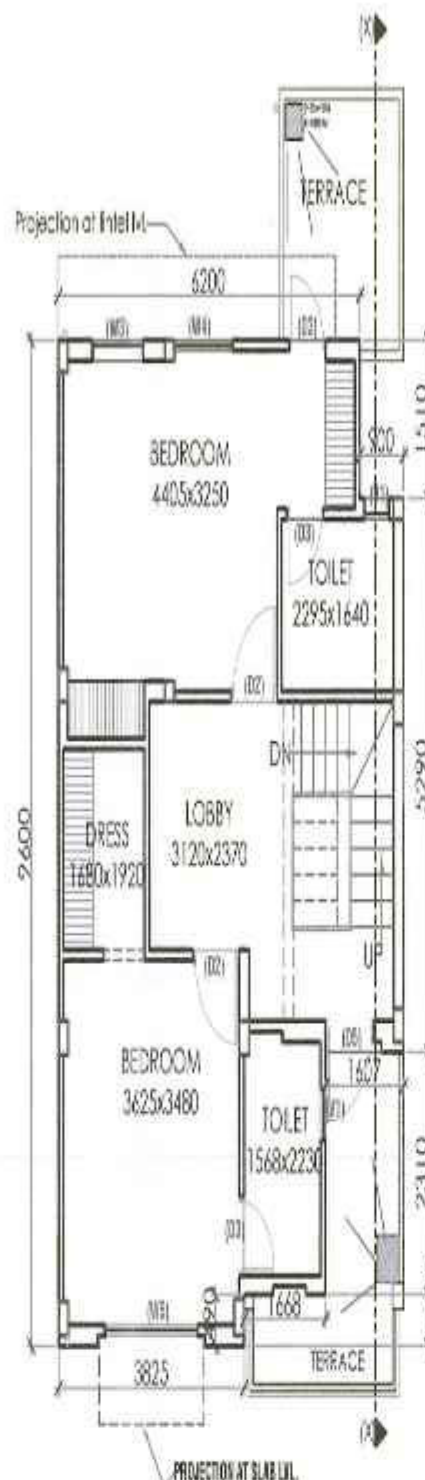
DEVELOPER
Green Apple Infotech Pvt. Ltd.

ARCHITECT
espaces
Ar.Sanjay Kumar Gupta
108, F. Floor Corporate Chamber-1,
Vishnu Khari, Gomti Nagar,
Lucknow-226010
Pin No. 400028-08-941011-6580
email-espaces.arch@gmail.com

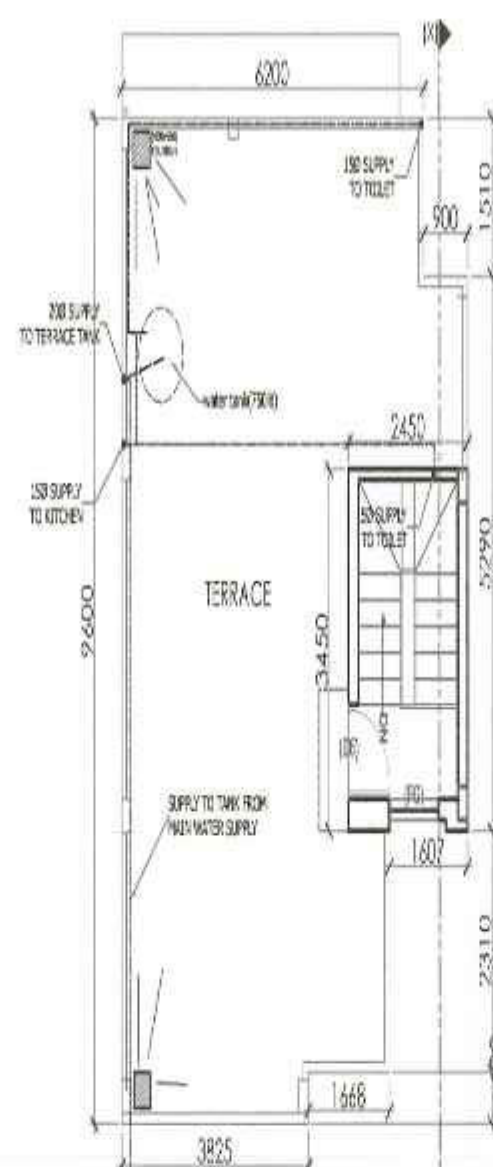
SPECIFICATIONS:	
Foundation	- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
Superstructure	- Composite structure with brick work & R.C.C. columns as per structural design.(earthquake resistant)
Slab	- R.C.C. slab as per structural design in M:25 grade conc.
Joinery	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
Flooring	- Vitrified tiles/marble/kota/c.c.
Painting	- O.B.D. inside & cement based waterproofing paint outside.
Plaster	- 12mm plaster in 1:6 c.m.
Plumbing & sanitary fitting	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
Electrical work	- Conducting,wiring & M.C.B. with I.S.I. marked material.



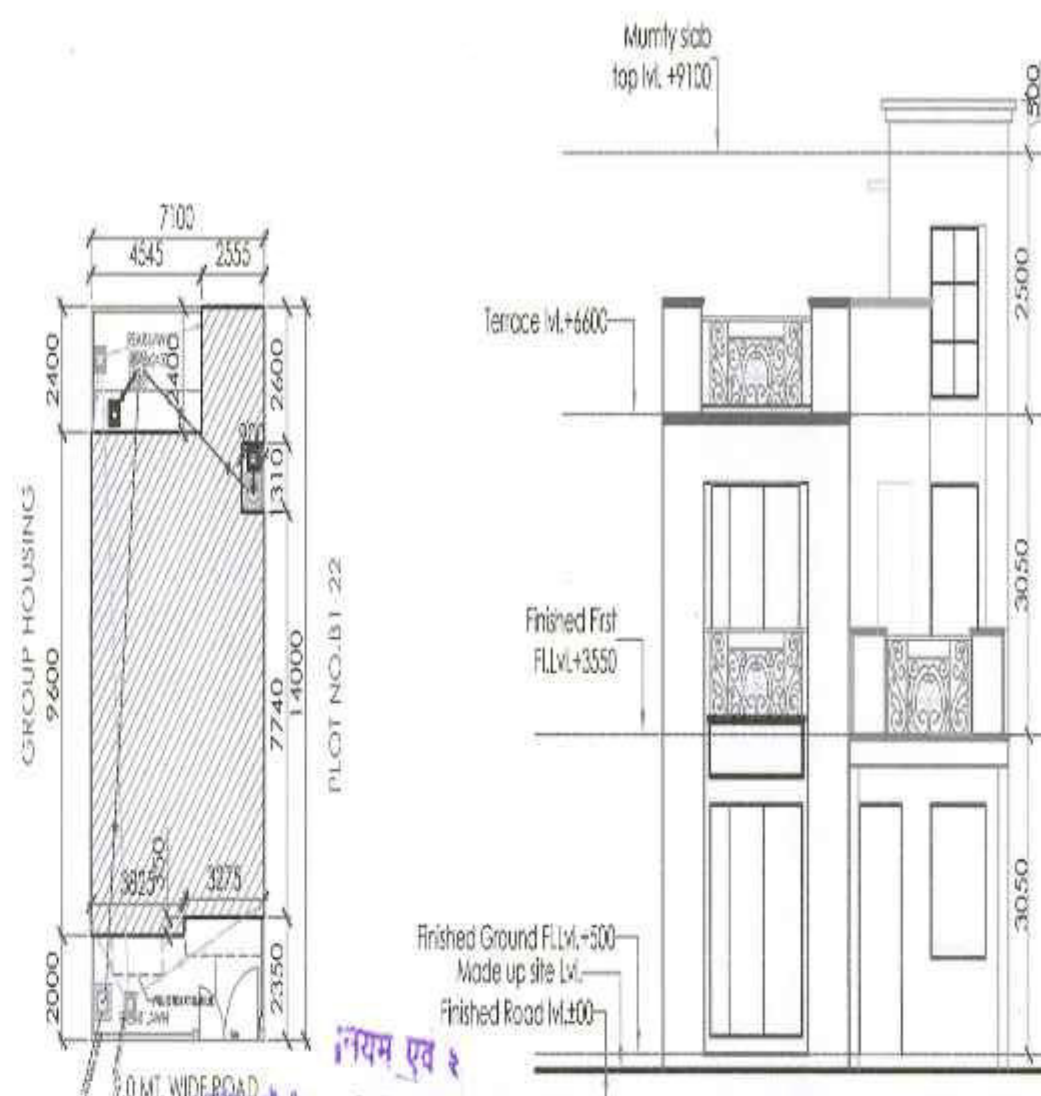
GROUND FLOOR PLAN
(SCALE=1:100)



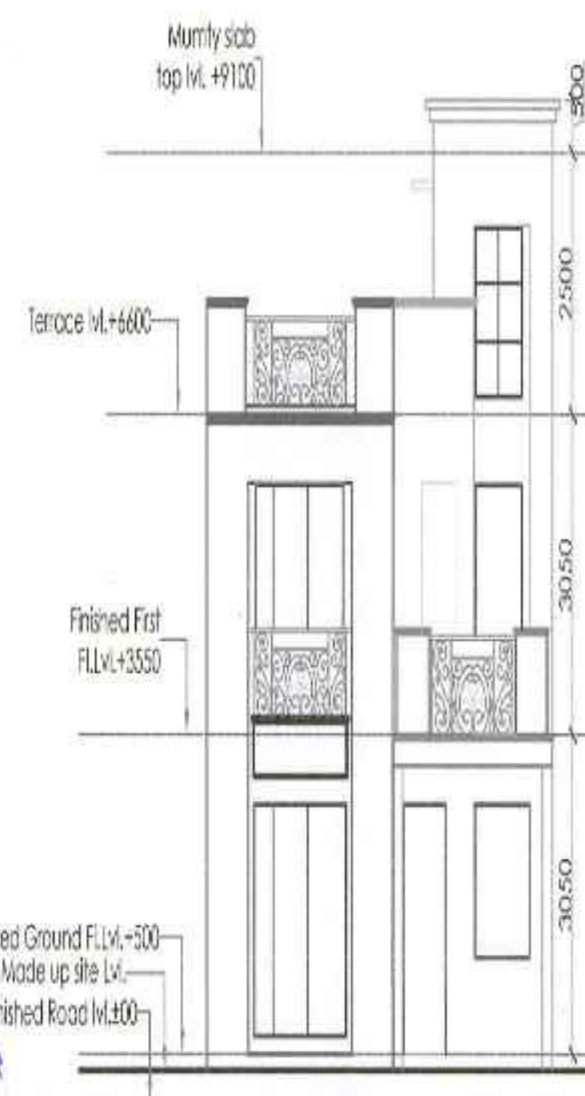
FIRST FLOOR PLAN
(SCALE=1:100)



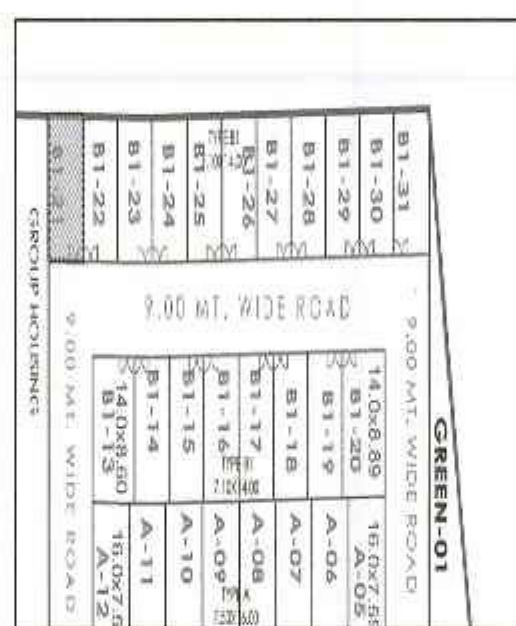
TERRACE PLAN
(SCALE=1:100)



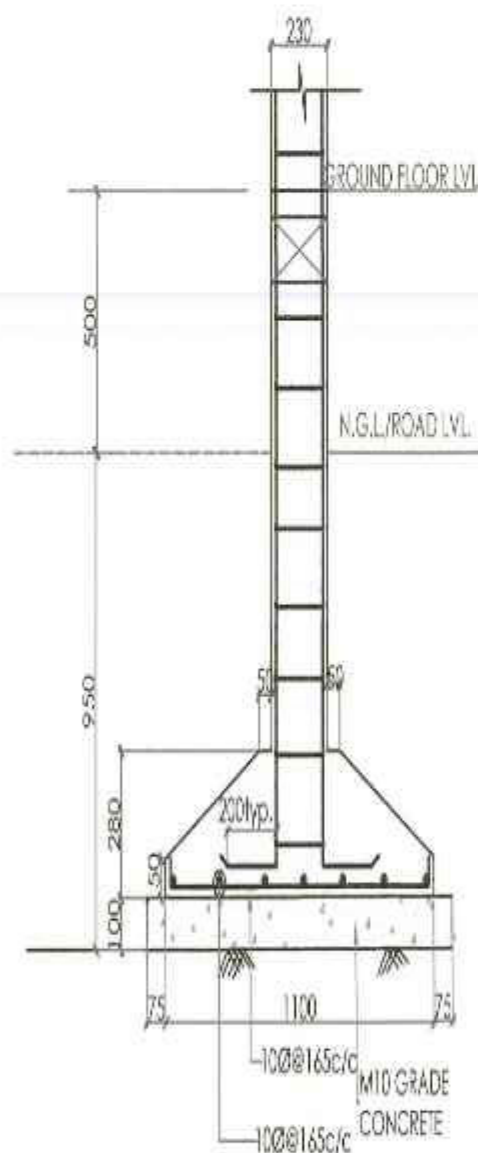
SITE PLAN
(SCALE=1:200)



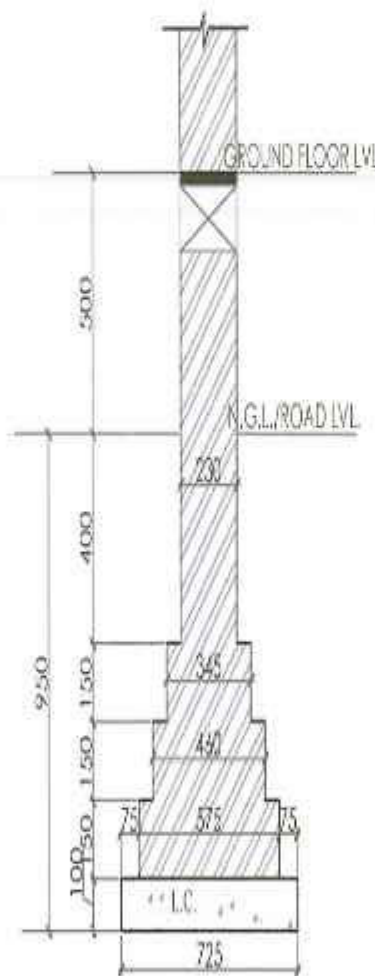
FRONT ELEVATION
(SCALE=1:100)



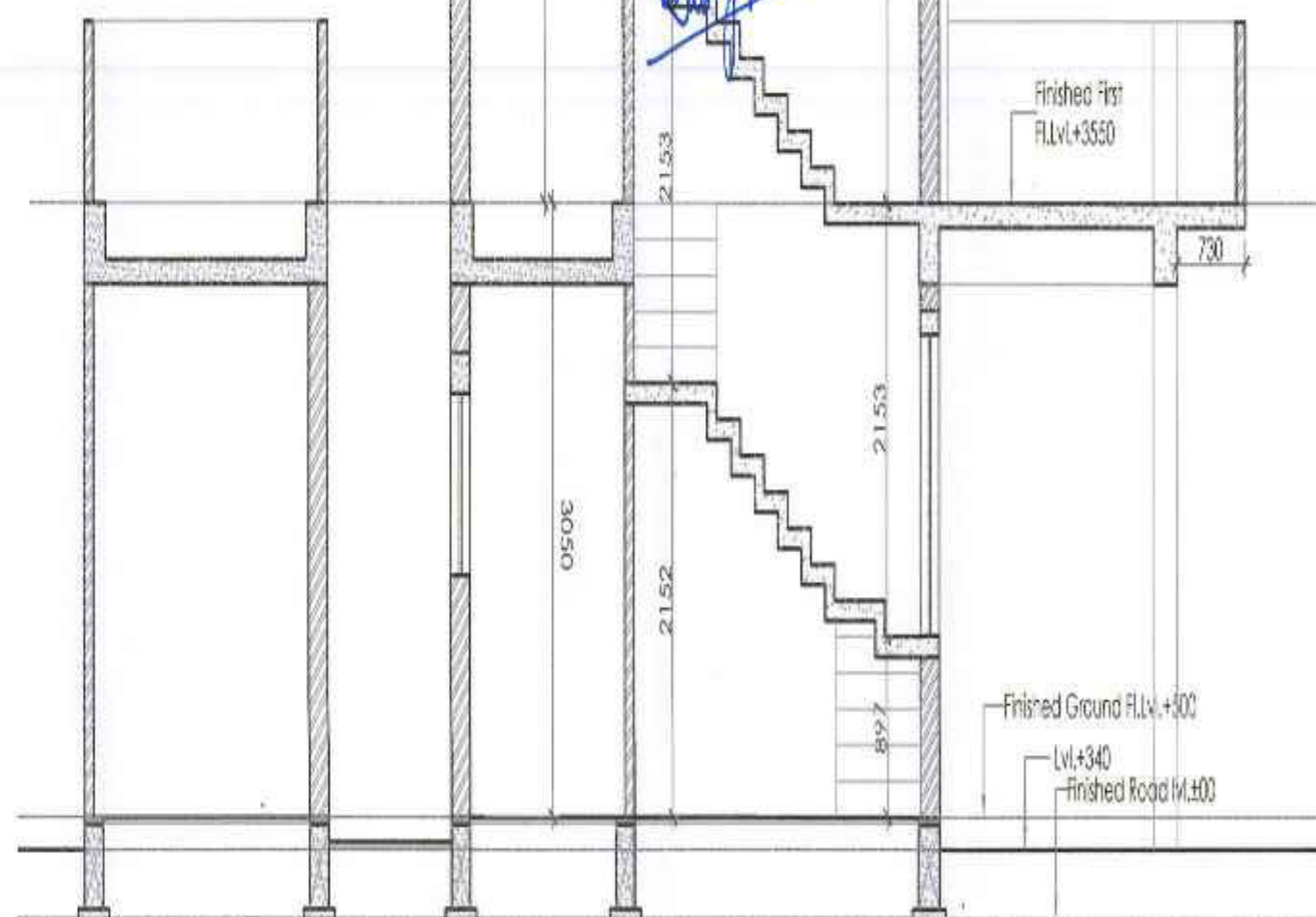
LOCATION PLAN
(NOT TO SCALE)



TYP. SECTION OF COLUMN FOOTING
(scale=1:20)



TYP. SECTION FOR 230 THK. BRICK WALL
(scale=1:20)



SECTION X-X
(SCALE=1:50)

SPECIFICATIONS:

- Foundation: - Stepped brick footing in 1:3 c.m. as per structural design with R.C.C. columns as per design.
- Substructure: - Composite structure with brick work & R.C.C. columns as per structural design (earthquake resistant).
- Slab: - R.C.C. slab as per structural design in M25 grade conc.
- Joinery: - Door frames in sal wood with 22mm commercial board shutter. Windows in aluminium JUPVC.
- Flooring: - Vitrified tiles/marble/kolala.c.
- Painting: - O.B.D. fields & cement based waterproofing paint outside.
- Plaster: - 12mm plaster in 1:3 c.m.
- Plumbing & sanitary fitting: - All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
- Electrical work: - Conduiting wiring & M.C.B.s. with I.S.I. marked material.

MINI TOWNSHIP AT KHASRA NO.1703 & 1700, NATKUR, PARGANA BIJNOUR, LUCKNOW

PLOT NO. B1-21

Developer:
GREEN APPLE INFRA TECH PRIVATE LIMITED

- NOTES:
1. Architect shall not be responsible for any deviation of site by the developer.
 2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE SUBMISSION.
 3. Layout approved vide permit no.1014, dated 05.12.2025.

DOOR/WINDOW SCHEDULE:

S.NO.	TYPE	SIZE
1.	D1	1005x2400
2.	D2	950x2100
3.	D3	755x2100
4.	D4	800x2100
5.	D5	1000x2100
6.	DW1	2000x2100
7.	DW2	1925x2400
8.	W1	520x1050
9.	W2	1155x1500
10.	W3	1045x1200
11.	W4	1195x1200
12.	W5	500x600
13.	W6	1925x1500
14.	D6	900x2100

AREA STATEMENT:

S.NO.	TYPE	SIZE
1.	TOTAL PLOT AREA	99.40sq.mt.
2.	COVERED AREA ON GROUND FLOOR	71.97sq.mt.
3.	COVERED AREA ON FIRST FLOOR	61.48sq.mt.
4.	OPEN AREA	27.43sq.mt.
5.	MUMTY AREA	8.45sq.mt.
6.	PROJECTION AREA (half area to be included in F.A.R.)	15.19sq.mt.
7.	TOTAL BUILT-UP AREA (2+3+4+5+6) FOR F.A.R.	149.50sq.mt.
8.	GROUND COVERAGE ACHIEVED (permissible-75%)	72.40%
9.	F.A.R. ACHIEVED (permissible-1.80)	1.504

DEVELOPER

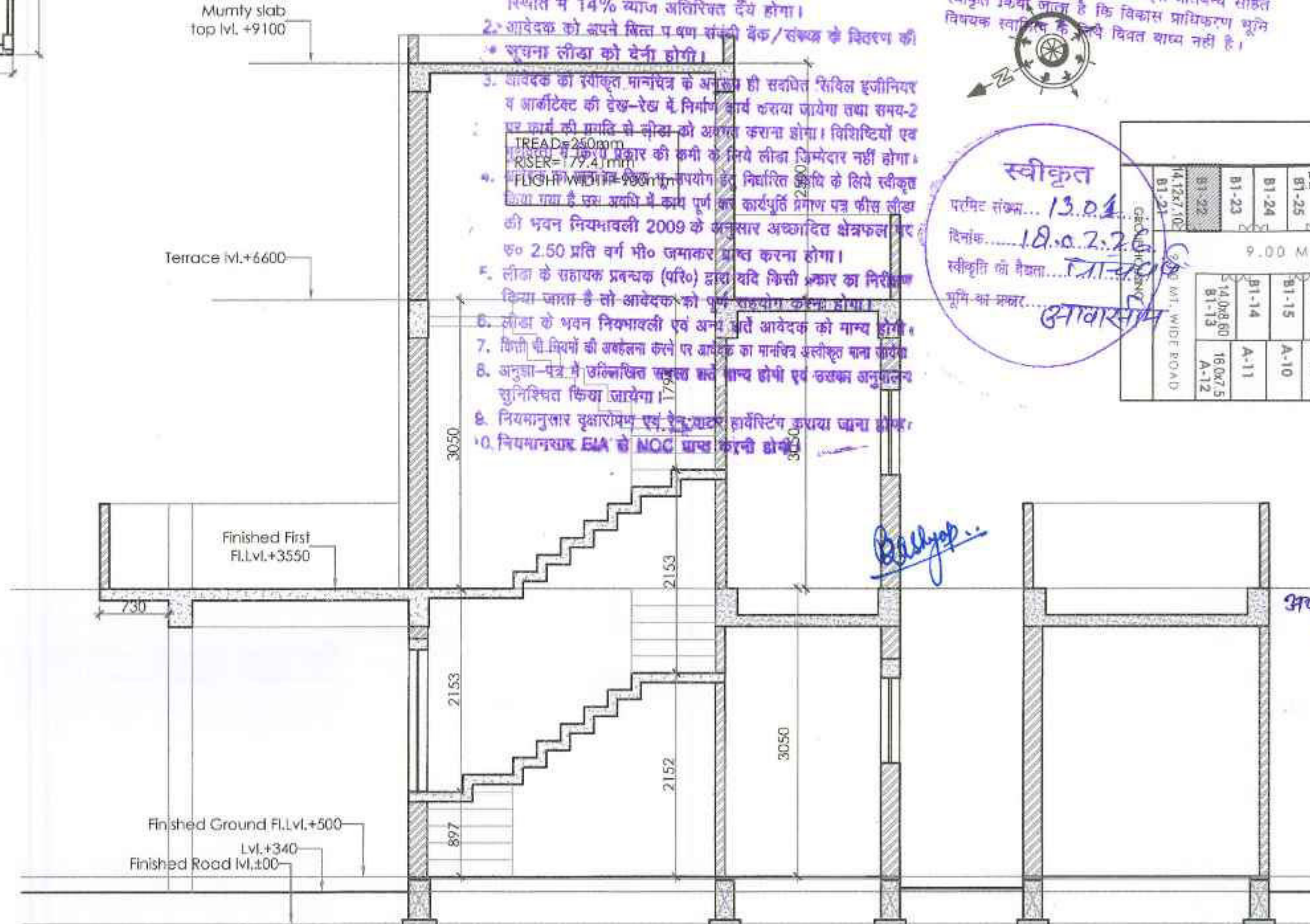
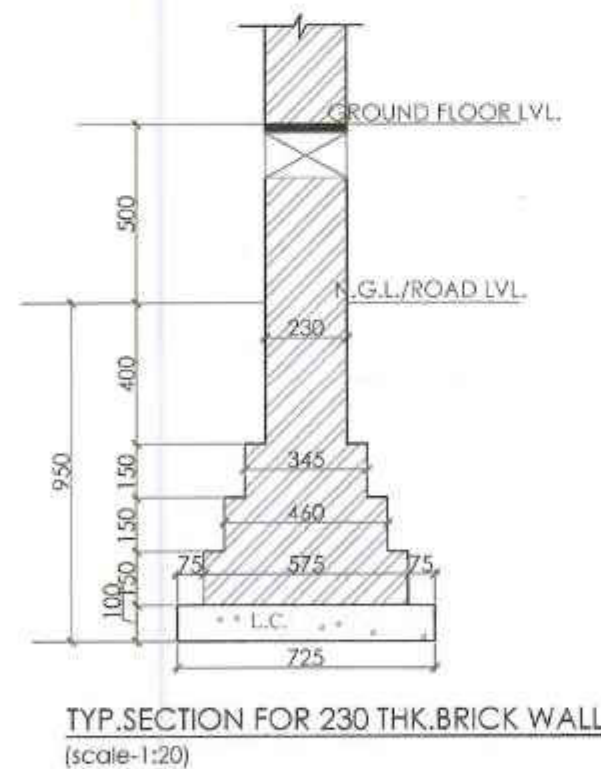
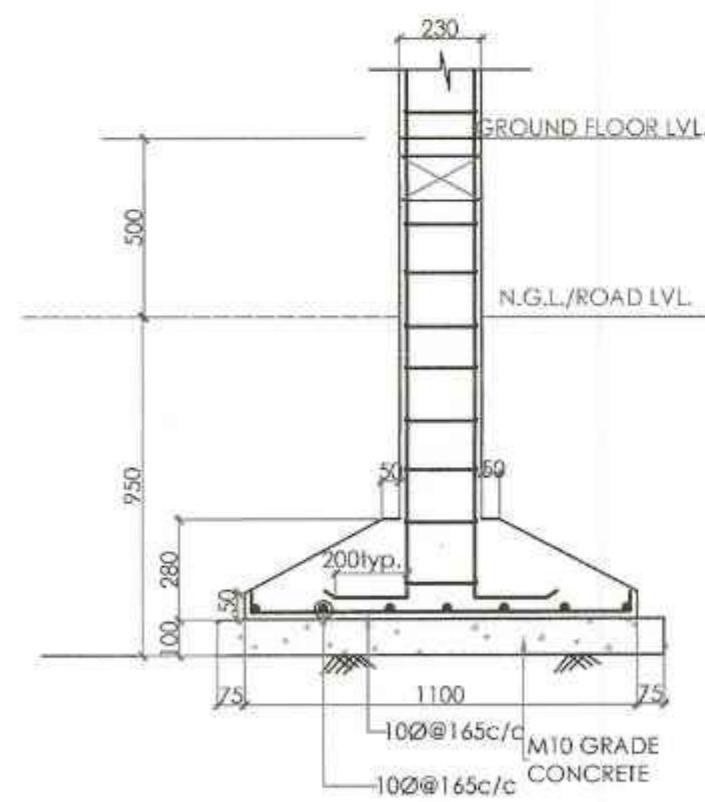
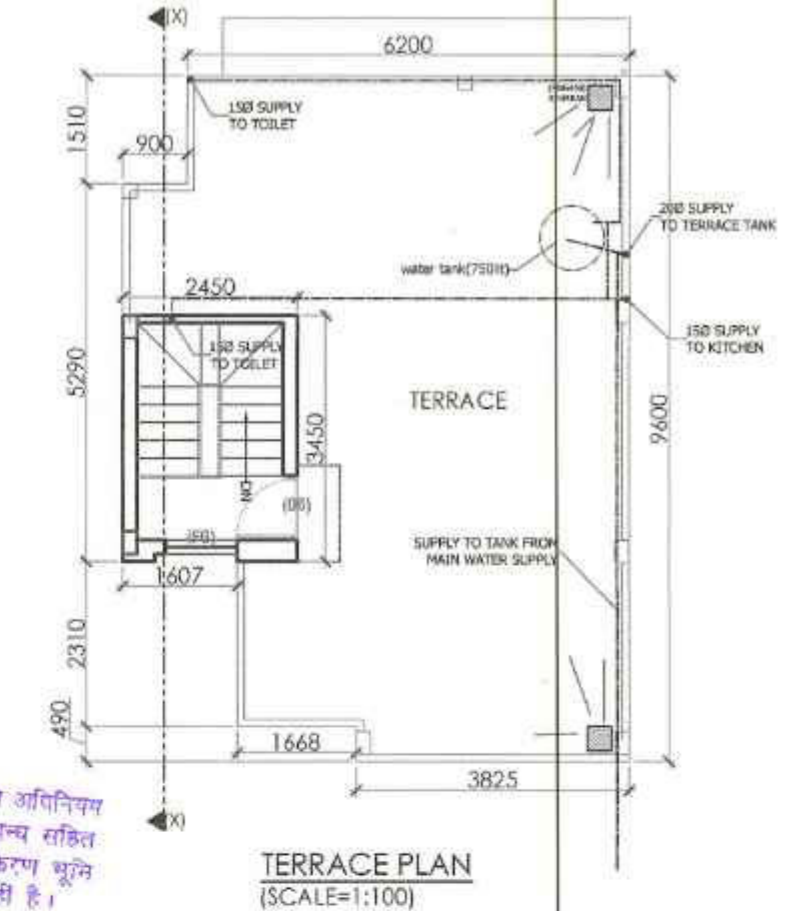
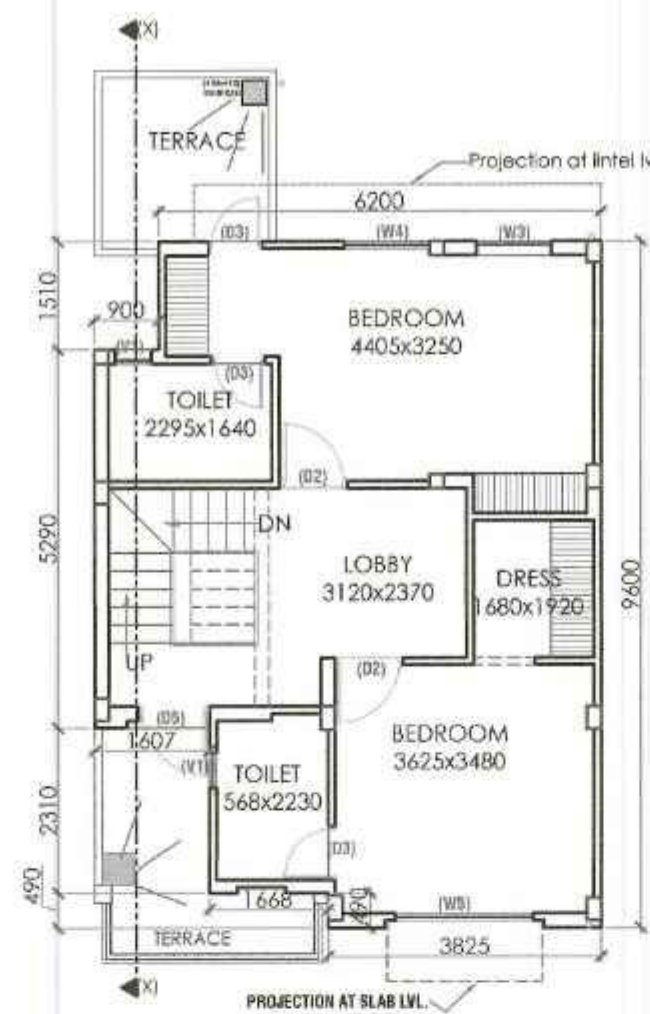
Green Apple Infra Tech Pvt. Ltd.

ARCHITECT

espaces

Dr. Sanjay Kumar Gupta
100 F. Floor Corporate Chamber-1
Vardaan (Phase-2) Sector-1
Lucknow-226015
Ph: 9405000000, 9405114589
email: spaces.arch@gmail.com

Director



N नियम एव ६

SITE PLAN
(SCALE=1:200)

TERRACE PLAN
(SCALE=1:100)

LOCATION PLAN
(NOT TO SCALE)

SECTION X-X
[SCALE=1:50]

SPECIFICATIONS:

Foundation	- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
Superstructure	- Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
Slab	- R.C.C. slab as per structural design in M:25 grade conc.
Joinery	- Door frames in sal wood with 32mm commercial board shutter, Windows in aluminium /UPVC.
Flooring	- Vitrified tiles/marble/kota/c.c.
Painting	- O.B.D. inside & cement based waterproofing paint outside.
Plaster	- 12mm plaster in 1:6 c.m.
Plumbing & sanitary fitting	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
Electrical work	- Conduiting, wiring & M.C.B. with I.S.I. marked material.

MINI TOWNSHIP AT KHASRA NO.1703 &1700,NATKUR,
PARGANA BIJNOUR,LUCKNOW

PLOT NO. B1-22

Developer:
GREEN APPLE INFRATECH PRIVATE LIMITED

NOTES:

1. Architect shall not be responsible for any deviation at site by the developer.
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE SUBMISSION.
3. Layout approved vide permit no.1014, dated 05.12.2025.

DOOR/ WINDOW SCHEDULE :		
S.NO.	TYPE	SIZE
1.	D1	1000x2400
2.	D2	950x2100
3.	D3	755x2100
4.	D4	800x2100
5.	D5	1000x2100
6.	DW1	2000x2100
7.	DW2	1925x2400
8.	W1	500x1050
9.	W2	1155x1500
10.	W3	1045x1200
11.	W4	1195x1290
12.	W5	500x600
13.	W6	1925x1500
14.	D6	900x2100

AREA STATEMENT :	SQ. MT.
1.) TOTAL PLOT AREA	99.40sq.mt.
2.) COVERED AREA ON GROUND FLOOR	71.97sq.mt.
3.) COVERED AREA ON FIRST FLOOR	61.48sq.mt.
4.) OPEN AREA	27.43sq.mt.
5.) MUMTY AREA	8.45sq.mt.
6.) PROJECTION AREA[half area to be included in F.A.R.]	15.19sq.mt.
7.) TOTAL BUILT-UP AREA(2+3+5+half of 6)-FOR F.A.R.	149.50sq.mt.
8.) GROUND COVERAGE ACHIEVED(permissible-75%)	72.40%
9.) F.A.R. ACHIEVED(permissible-1.80)	1.504

DEVELOPER	ARCHITECT
Green Apple Infotech Pvt. Ltd. <i>Sanjay Gupta</i> Director	 espaces Ar. Sanjay Kumar Gupta 108.F. Floor, Corporate Chamber, Vishnuji Khand, Dornai Nagar, Lucknow-226010 Ph No. 4085958, 9415114589 email-espaces.arch@gmail.com 

Green Apple Infotech Pvt. Ltd.

Directo

ARCHITECT

 **espaces**
Ar. Sanjay Kumar Gupta
108.F. Floor, Corporate Chamber-
Vishnu Khairi, Gomti Nagar,
Lucknow-226010
Ph. No. 4083958/9415114589
email-espaces.arch@gmail.com

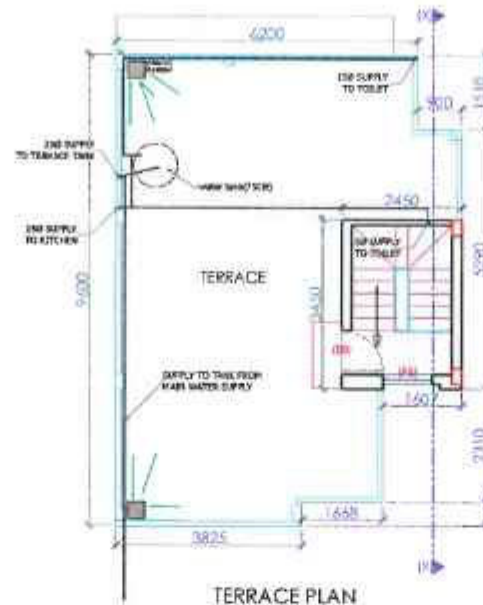
1



GROUND FLOOR PLAN
(SCALE=1:100)



FIRST FLOOR PLAN
(SCALE=1:100)



TERRACE PLAN
(SCALE=1:100)

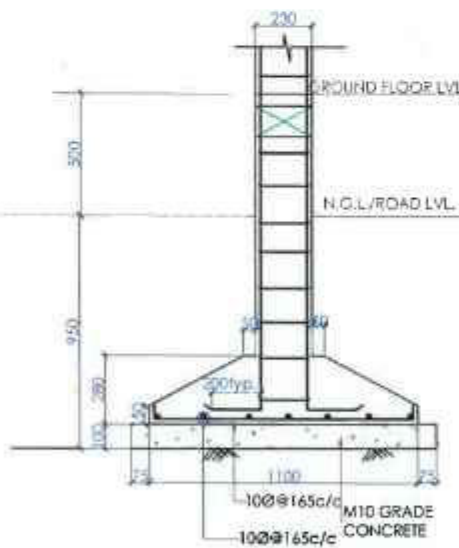


SITE PLAN
(SCALE=1:200)

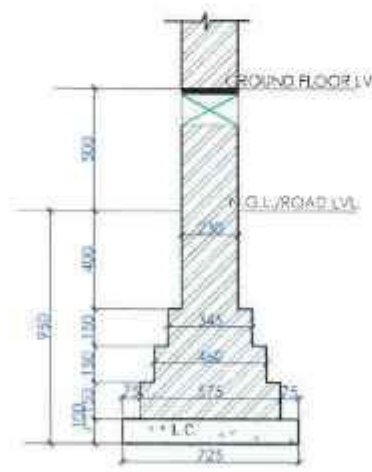
FRONT ELEVATION
(SCALE=1:100)



LOCATION PLAN
(NOT TO SCALE)



TYP. SECTION OF COLUMN FOOTING
(scale=1:20)



TYP. SECTION FOR 230 THK. BRICK WALL
(scale=1:20)



SECTION X-X
(SCALE=1:50)

MINI TOWNSHIP AT KHASRA NO.1703 &1700,NATKUR, PARGANA BIJNOUR,LUCKNOW

PLOT NO. B1-23

Developer:
GREEN APPLE INFRA TECH PRIVATE LIMITED

NOTES:
1. Architect shall not be responsible for any deviation at site by the developer.
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE SUBMISSION.
3. Layout approved vide permit no.1014, dated 05.12.2023.

DOOR/ WINDOW SCHEDULE :		
S.NO.	TYPE	SIZE
1.	D1	1000x2400
2.	D2	950x2100
3.	D3	755x2100
4.	D4	800x2100
5.	D5	1000x2100
6.	DW1	2000x2100
7.	DW2	1925x2400
8.	W1	500x1050
9.	W2	1155x1500
10.	W3	1045x1200
11.	W4	1195x1200
12.	V1	500x600
13.	W5	1925x1500
14.	D6	900x2100

AREA STATEMENT :		SQ. MT.
1.) TOTAL PLOT AREA		99.40sq.mt.
2.) COVERED AREA ON GROUND FLOOR		71.97sq.mt.
3.) COVERED AREA ON FIRST FLOOR		61.48sq.mt.
4.) OPEN AREA		27.43sq.mt.
5.) MUMTY AREA		8.45sq.mt.
6.) PROJECTION AREA(half area to be included in F.A.R.)		15.19sq.mt.
7.) TOTAL BUILT-UP AREA(2+3+5+half of 6)-FOR F.A.R.		149.50sq.mt.
8.) GROUND COVERAGE ACHIEVED(permissible-75%)		72.40%
9.) F.A.R. ACHIEVED(permissible-1.80)		1.504

DEVELOPER

ARCHITECT

Green Apple Infra Tech Pvt. Ltd.

Ar. Sanjay Kumar Gupta
106/F, Floor: Corporate Chamber-1,
Mitsubishi Estate India Pvt. Ltd.,
Ludhiana-141001
PLOT NO. 4000005, 401151, 4000
anand@greenappleinfra.com

Directly

SPECIFICATIONS:

Foundation	- Stepped brick footing in 1:4 c.m. as per structural design with r.c.c. columns as per design.
Superstructure	- Composite structure with brick work & R.C.C. columns as per structural design.(earthquake resistant)
Slab	- R.C.C. slab as per structural design in M25 grade conc.
Joinery	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminum /UPVC.
Flooring	- Vitrified tiles/marble/kota/c.e.c.
Painting	- O.D.D. inside & cement based waterproofing paint outside.
Plaster	- 12mm plaster in 1:4 c.m.
Plumbing & sanitary fitting	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
Electrical work	- Cabling, wiring & M.C.B. with I.S.I. marked material.

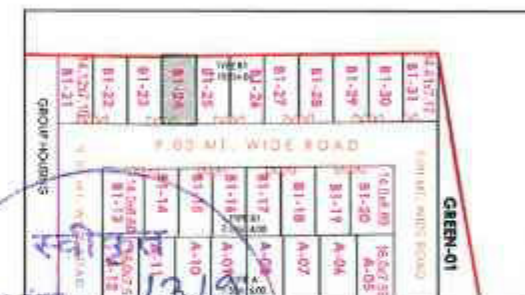
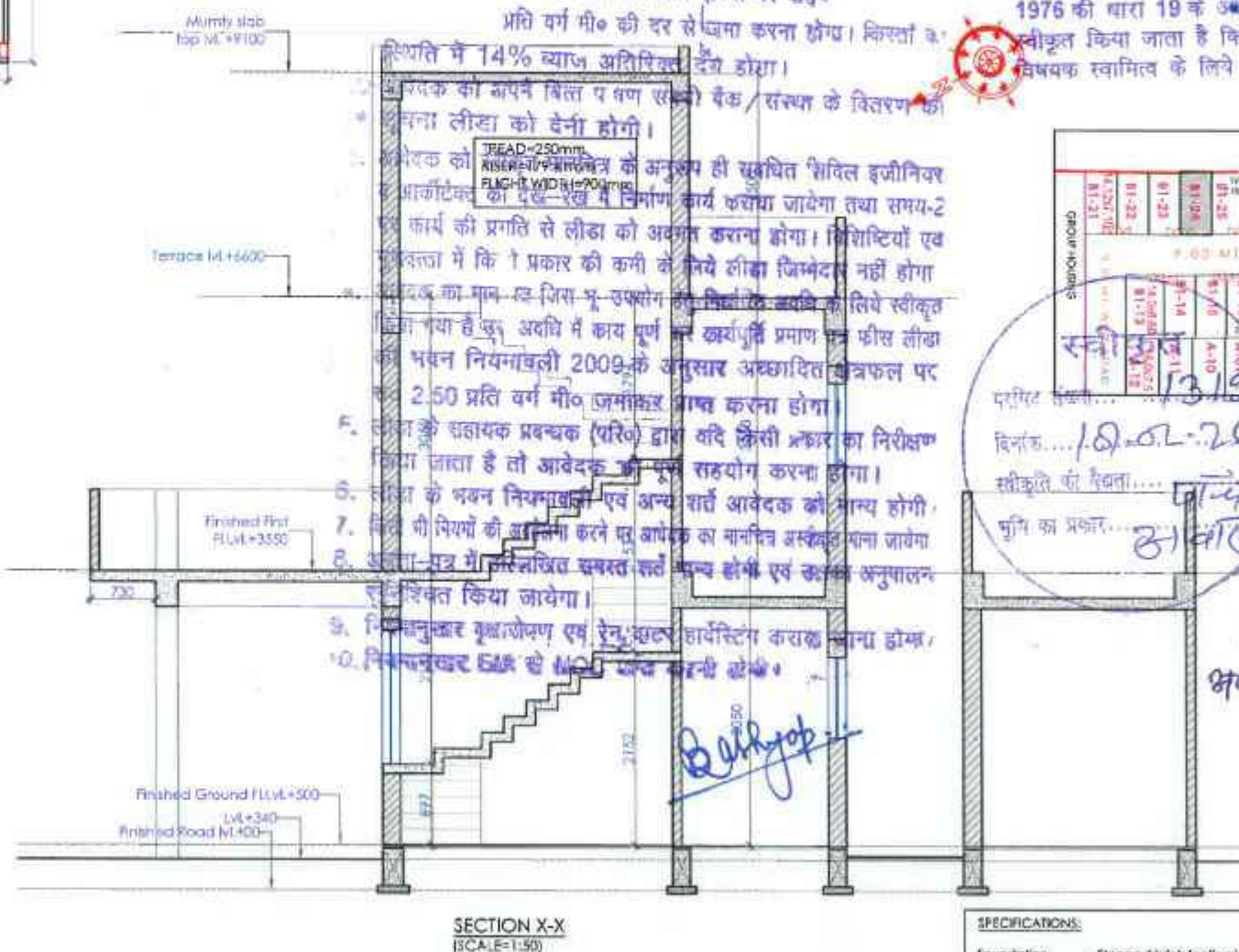
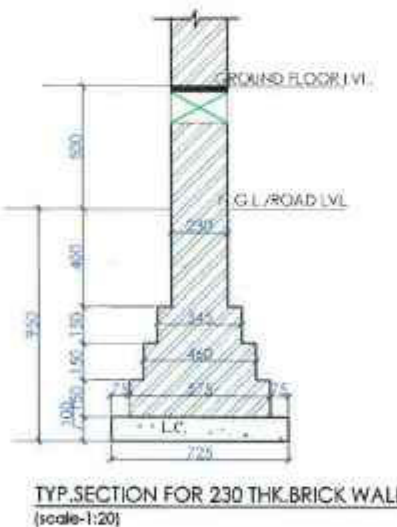
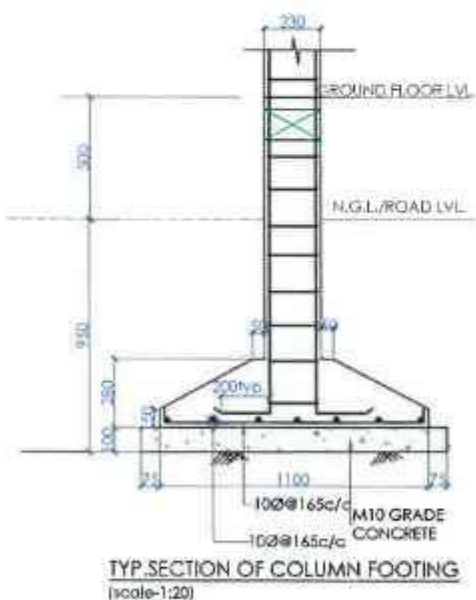
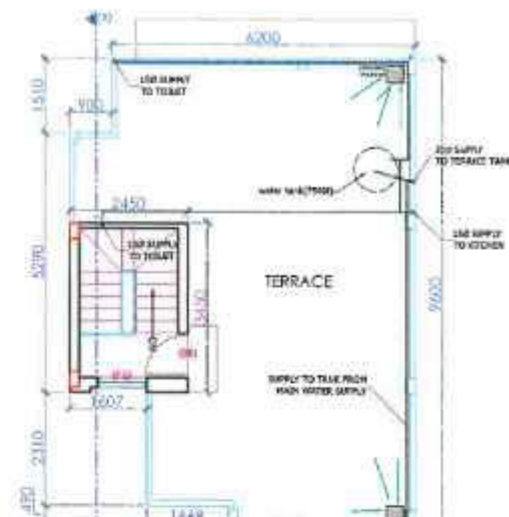
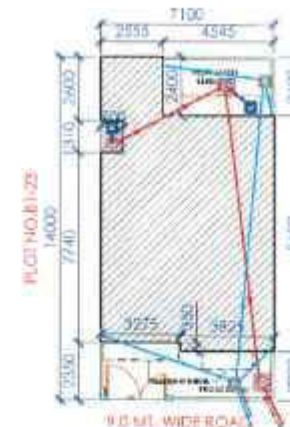
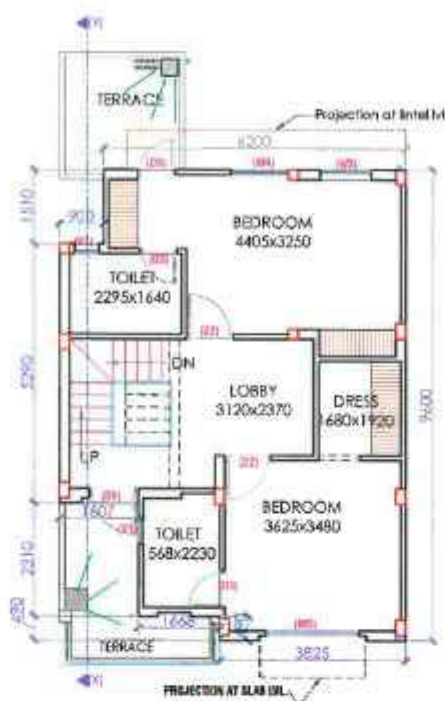
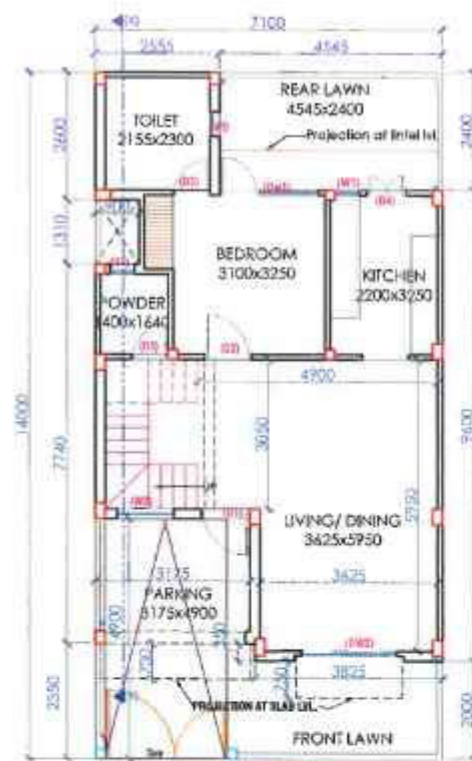
स्वीकृत

परमिट संख्या... 1321

दिनांक... 18.02.2026

स्वीकृति की वैधता... पांचवें

भूमि का प्रकार... आवासीय



MINI TOWNSHIP AT KHASRA NO.1703 &1700,NATKUR,
PARGANA BIJNOUR,LUCKNOW

PLOT NO. 31-24

Developer:
GREEN APPLE INFRA TECH PRIVATE LIMITED

NOTES:

1. Architect shall not be responsible for any deviation at site by the developer.
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE SUBMISSION.
3. Layout approved vide permit no.1014, dated 05.12.2025.

DOOR / WINDOW SCHEDULE :		
S.NO.	TYPE	SIZE
1.	D1	1000x2400
2.	D2	950x2100
3.	D3	755x2100
4.	D4	800x2100
5.	D5	1000x2100
6.	D1x1	2000x2100
7.	DW2	1925x2400
8.	W1	500x1050
9.	W2	1155x1500
10.	W3	1045x1200
11.	W4	1195x1200
12.	V1	500x600
13.	W5	1925x1500
14.	D6	900x2100

AREA STATEMENT :	SQ. MT.
1.) TOTAL PLOT AREA	99.40sq.mt.
2.) COVERED AREA ON GROUND FLOOR	71.97sq.mt.
3.) COVERED AREA ON FIRST FLOOR	61.48sq.mt.
4.) OPEN AREA	27.43sq.mt.
5.) MUMTY AREA	8.45sq.mt.
6.) PROJECTION AREA(half area to be included in F.A.R.)	15.19sq.mt.
7.) TOTAL BUILT-UP AREA(2+3+5+na of 6)-FOR F.A.R.	149.50sq.mt.
8.) GROUND COVERAGE ACHIEVED(permissible-75%)	72.40%
9.) F.A.R. ACHIEVED(permissible-1.80)	1.504

DEVELOPER	ARCHITECT
	

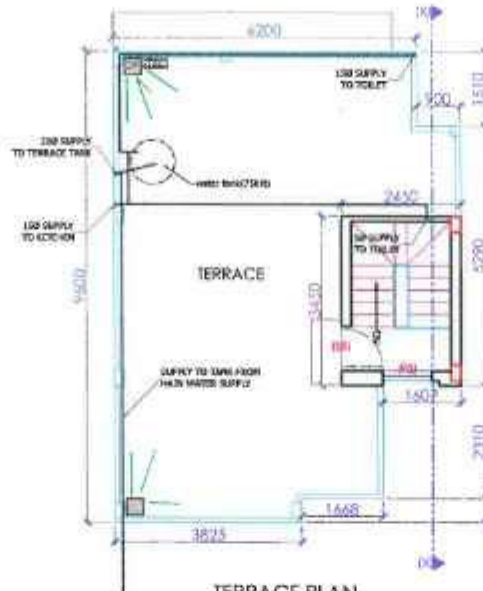
<u>SPECIFICATIONS:</u>	
Foundation:	- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
Superstructure	- Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
Slab	- R.C.C. slab as per structural design in M:25 grade conc.
Joinery	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
Flooring	- Vitrified Tiles/marble/kota/c.e.
Painting	- O.B.D. inside & cement based waterproofing paint outside.
Plaster	- 12mm plaster in 1:6 c.m.
Plumbing & sanitary fitting	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
Electrical work	- Cabling, wiring & M.C.B. with I.S.I. marked material.



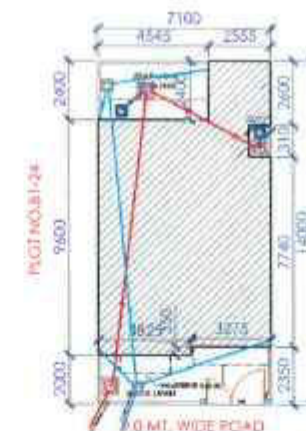
GROUND FLOOR PLAN
(SCALE=1:100)



FIRST FLOOR PLAN
(SCALE=1:100)



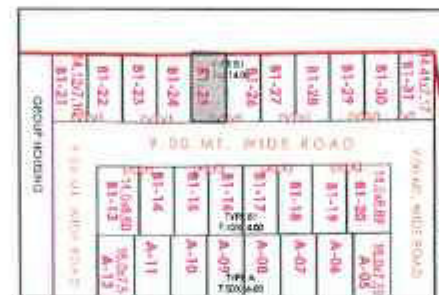
TERRACE PLAN
(SCALE=1:100)



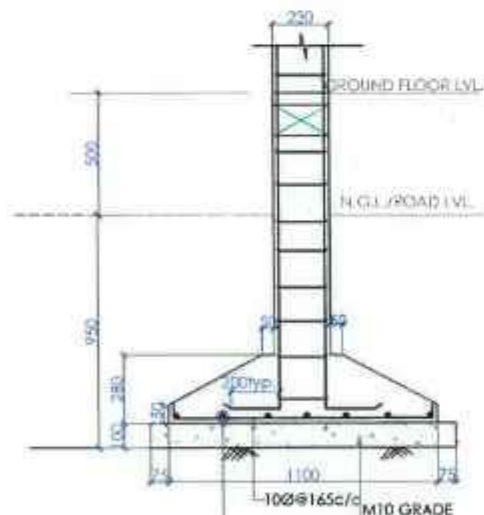
SITE PLAN
(SCALE=1:200)



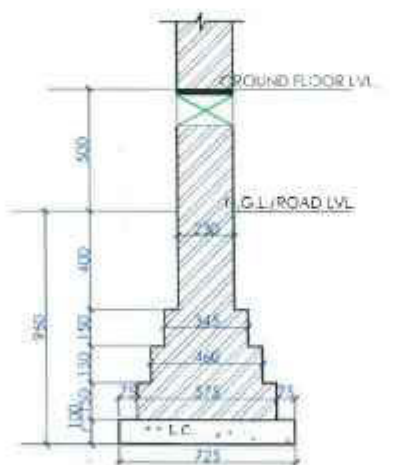
FRONT ELEVATION
(SCALE=1:100)



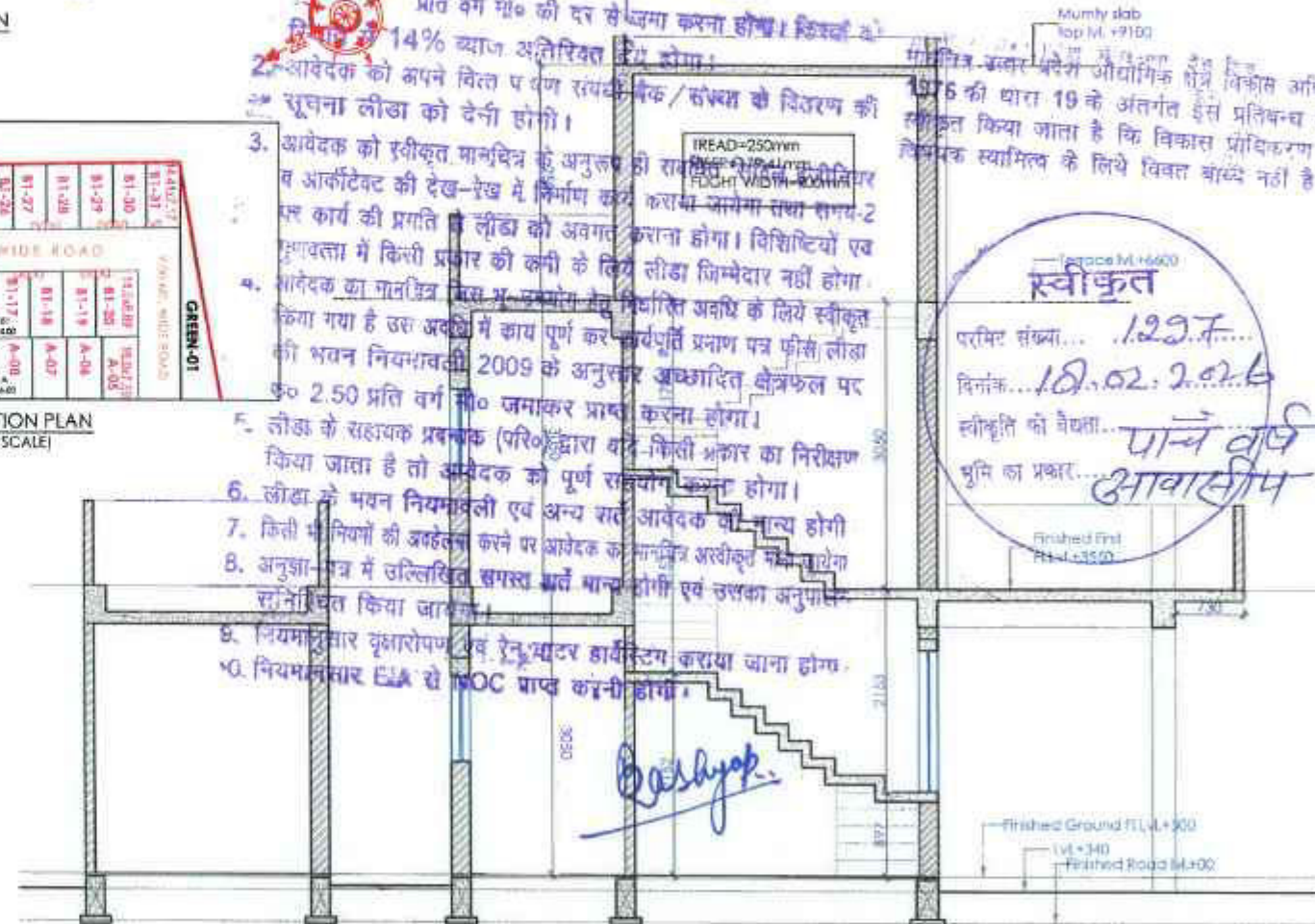
LOCATION PLAN
(NOT TO SCALE)



TYP. SECTION OF COLUMN FOOTING
(scale=1:20)



TYP. SECTION FOR 230 THK. BRICK WALL
(scale=1:20)



SECTION X-X
(SCALE=1:30)

MINI TOWNSHIP AT KHASRA NO.1703 & 1700, NATKUR, PARGANA BIJNOUR, LUCKNOW

PLOT NO. B1-25

Developer:
GREEN APPLE INFRA TECH PRIVATE LIMITED

NOTES:
1. Architect shall not be responsible for any deviation at site by the developer.
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE SUBMISSION.
3. Layout approved vide permit no. 1014, dated 05.12.2025.

DOOR/ WINDOW SCHEDULE :		
S.NO.	TYPE	SIZE
1.	D1	1050x2400
2.	D2	950x2100
3.	D3	750x2100
4.	D4	800x2100
5.	D5	1000x2100
6.	DW1	2000x2100
7.	DW2	1925x2400
8.	W1	500x1050
9.	W2	1155x1500
10.	W3	1045x1200
11.	W4	1195x1200
12.	V1	500x400
13.	W5	1925x1500
14.	D6	900x2100

AREA STATEMENT :		SQ. MT.
1.)	TOTAL PLOT AREA	99.40sq.mt.
2.)	COVERED AREA ON GROUND FLOOR	71.97sq.mt.
3.)	COVERED AREA ON FIRST FLOOR	61.48sq.mt.
4.)	OPEN AREA	27.43sq.mt.
5.)	MUMTY AREA	8.45sq.mt.
6.)	PROJECTION AREA(half area to be included in F.A.R.)	15.19sq.mt.
7.)	TOTAL BUILT-UP AREA(2+3+5+half at 6)-FOR F.A.R.	149.50sq.mt.
8.)	GROUND COVERAGE ACHIEVED(permissible-75%)	72.40%
9.)	F.A.R. ACHIEVED(permissible-1.80)	1.504

DEVELOPER

ARCHITECT

espaces
Ar. Sanjay Kumar Gupta
100/F, Phase-2, Green Apple, Sector-1,
Vasant Vihar, New Delhi-110014
Contact: 9811111111
Email: spaces.arch@gmail.com

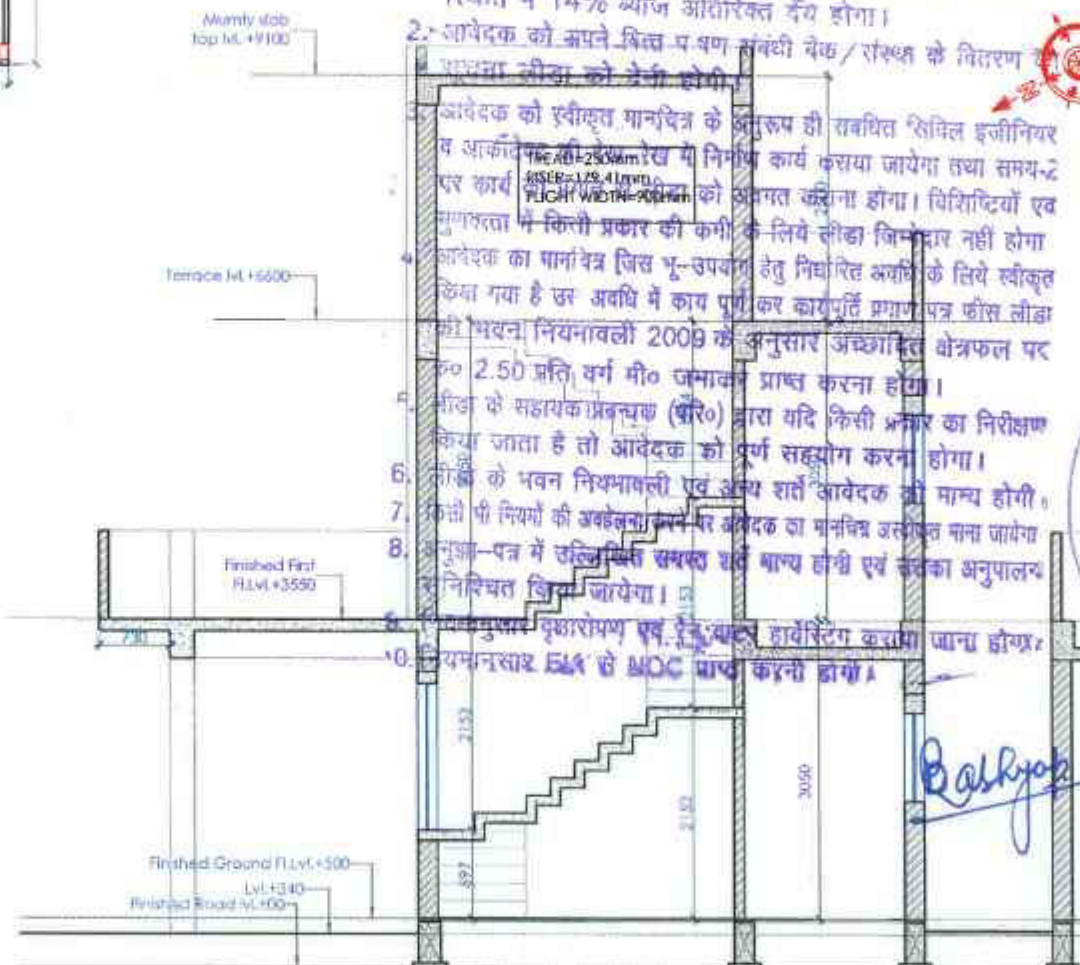
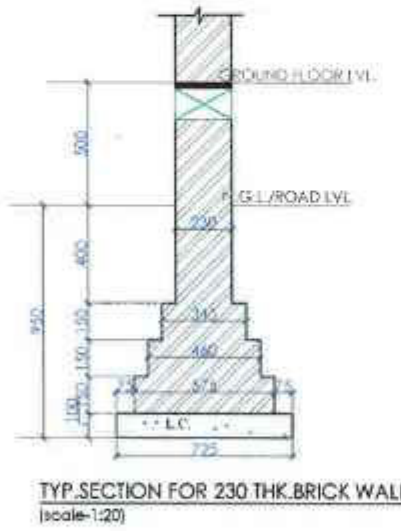
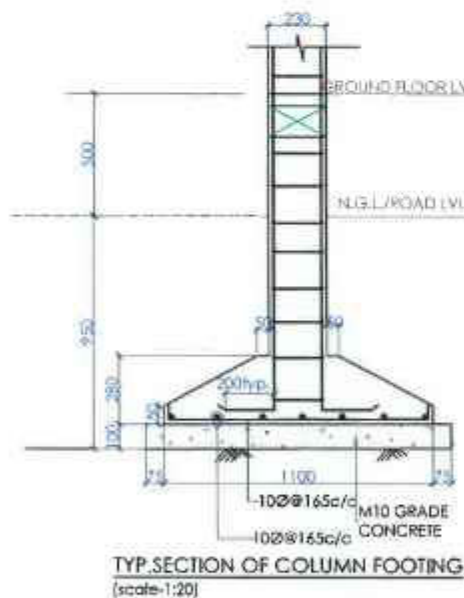
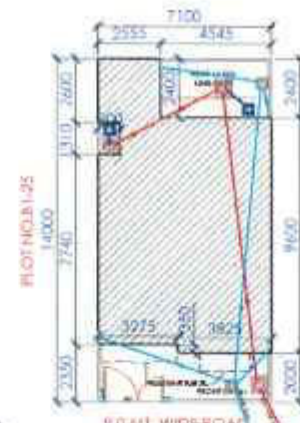
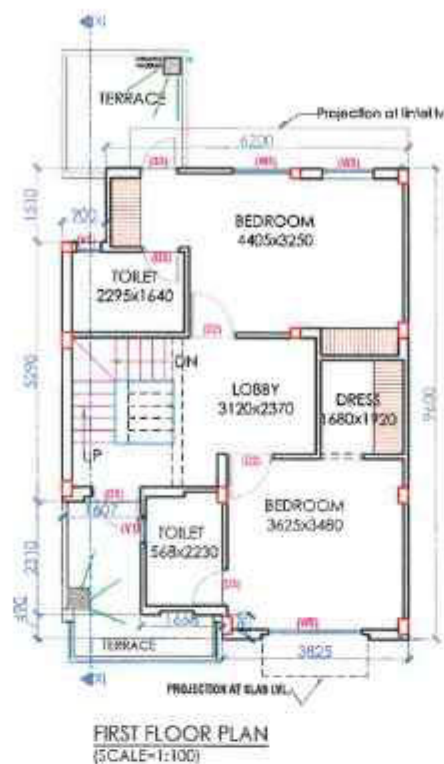
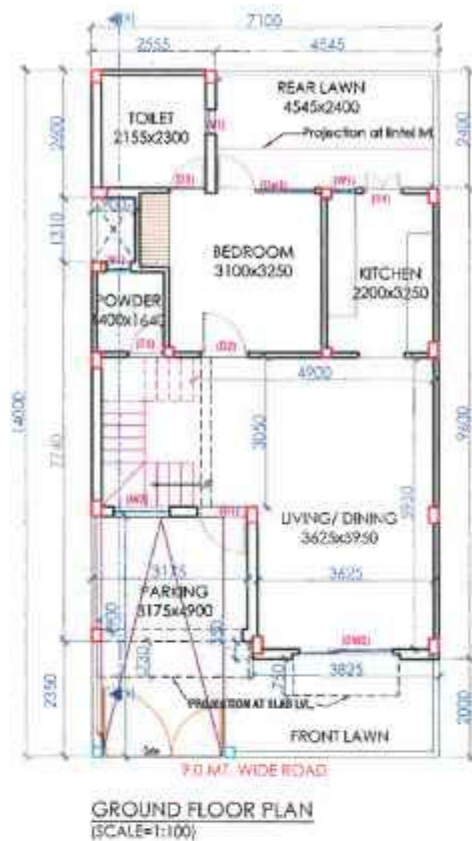
Green Apple Infra Tech Pvt. Ltd.

Director

Director

SPECIFICATIONS:

Foundation	- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
Superstructure	- Composite structure with brick work & R.C.C. columns as per structural design (earthquake resistant)
Slab	- R.C.C. slab as per structural design in M25 grade conc.
Joinery	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
Flooring	- Vitrified tiles/marble/kota/c.c.
Painting	- O.B.D. inside & cement based waterproofing paint outside.
Plaster	- 12mm plaster in 1:4 c.m.
Plumbing & Sanitary fitting	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
Electrical work	- Cabling, wiring & M.C.B. with I.S.I. marked material.



MINI TOWNSHIP AT KHASRA NO.1703 &1700,NATKUR, PARGANA BIJNOUR,LUCKNOW

PLOT NO. B1-26

Developer:
GREEN APPLE INFRA TECH PRIVATE LIMITED

NOTES:

1. Architect shall not be responsible for any deviation at site by the developer.
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE SUBMISSION.
3. Layout approved vide permit no.1014, dated 05.12.2025.

DOOR/ WINDOW SCHEDULE :		
S.NO.	TYPE	SIZE
1.	D1	1000x2400
2.	D2	950x2100
3.	D3	755x2100
4.	D4	800x2100
5.	D5	1000x2100
6.	DW1	2000x2100
7.	DW2	1925x2400
8.	W1	500x1050
9.	W2	1155x1500
10.	W3	1045x1200
11.	W4	1195x1200
12.	V1	500x600
13.	W5	1925x1500
14.	D6	900x2100

AREA STATEMENT :		SQ. MT.
1.) TOTAL PLOT AREA		99.40sq.mt.
2.) COVERED AREA ON GROUND FLOOR		71.97sq.mt.
3.) COVERED AREA ON FIRST FLOOR		61.48sq.mt.
4.) OPEN AREA		27.43sq.mt.
5.) MUMTY AREA		8.45sq.mt.
6.) PROJECTION AREA(hall area to be included in F.A.R.)		15.19sq.mt.
7.) TOTAL BUILT-UP AREA(2+3+5+half of 6)-FOR F.A.R.		149.50sq.mt.
8.) GROUND COVERAGE ACHIEVED(permissible-75%)		72.40%
9.) F.A.R. ACHIEVED(permissible-1.80)		1.504

DEVELOPER

ARCHITECT

As Sanjay Kumar Gupta
100% P.O. (Corporate Architect),
Mumbai (Karnat) (Govt. Regd.)
Licence-220010
Ph.No. 982055 941511 9820
email-sanjay.gupta@gmail.com

SPECIFICATIONS:	
Foundation	-Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
Superstructure	-Composite structure with brick work & R.C.C. columns as per structural design.(earthquake resistant)
Slab	-R.C.C. slab as per structural design in M25 grade conc.
Joinery	-Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium (UPVC).
Flooring	-Vitrified tiles/marble/korla c.c.
Painting	-O.S.D. inside & cement based waterproofing paint outside.
Plaster	-12mm plaster in 1:6 c.m.
Plumbing & sanitary fitting	-All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
Electrical work	-Conduiting,wiring & M.C.B. with I.S.I. marked material.

प्रति वर्ष मी० को दर से जमा करना होगा। किस्ता व स्थिति में 14% व्याज अधिकित दिये होगा।

2. आवेदक को अपने विस्तृत पत्र संबंधी वेब/संस्थ के वितरण के अनुसार नीचे की वेब/संस्थ के वितरण के अनुसार आवेदक को स्वीकृत मानचित्र के अनुरूप ही संबंधित सिविल इंजीनियर व आर्किटेक्ट के निर्माण कार्य कराया जाएगा तथा समय-समय पर कार्य के प्रगति को अवगत कराना होगा। विनिर्दिष्ट एवं सुगमता में किसी प्रकार की कमी के लिये सीधा जिम्मेदार नहीं होगा आवेदक का मानचित्र जिस भू-उपयोग हेतु निर्धारित अधिक के लिये स्वीकृत किया गया है उस अवधि में कार्य पूर्ण कर कार्य पूर्ण प्रमाण पत्र को सीधा को भवन नियमावली 2009 के अनुसार अंशकाल क्षेत्रफल पर 2.50 प्रति वर्ग मी० जमाकर प्राप्त करना होगा।

3. सीधा के सहायक प्रबन्ध (सेरो) द्वारा यदि किसी प्रकार का निरीक्षण किया जाता है तो आवेदक को पूर्ण सहयोग करना होगा।

6. सीधा के भवन नियमावली एवं अन्य शर्तें आवेदक को मान्य होंगी।

7. किसी भी नियमों की अवहेलना करने पर आवेदक का मानचित्र अस्वीकृत माना जाएगा।

8. अनुपात-पत्र में उल्लिखित सख्त शर्तें मान्य होंगी एवं उनका अनुपालन अनिवार्य किया जाएगा।

9. अनुपात-पत्र में उल्लिखित सख्त शर्तें मान्य होंगी एवं उनका अनुपालन अनिवार्य किया जाएगा।

10. नियमानुसार 1:1 के AOC प्राप्त करने होंगे।

मानचित्र उत्तर प्रदेश-औद्योगिक क्षेत्र विकास अधिनियम 1976 की धारा 19 के अंतर्गत इस मानचित्र को स्वीकृत किया जाता है कि विकास प्राधिकरण भूमि विषयक स्वामित्व के लिये निर्धारित है।

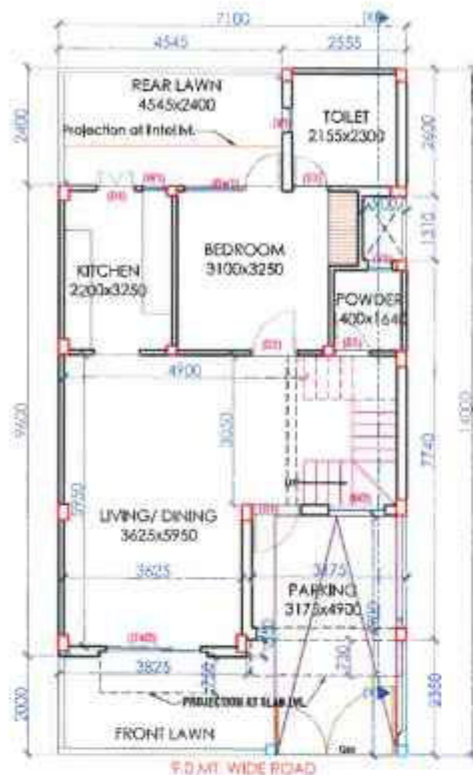
परमिट संख्या... 13.2.2

दिनांक... 18.02.2026

स्वीकृति की वेब... मानचित्र

भूमि का प्रभार... आवेदक

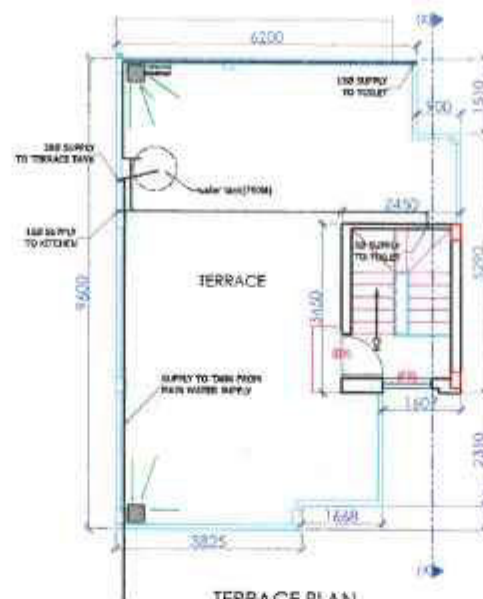
श्री
डॉ० कृष्णा निर्देश
(चिकित्सक)



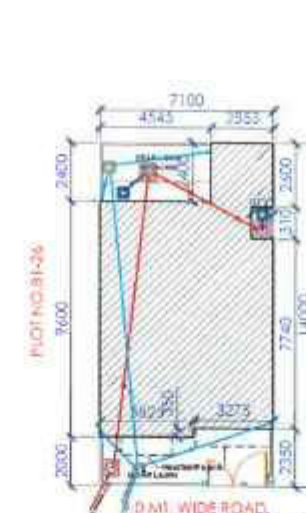
GROUND FLOOR PLAN
(SCALE=1:100)



FIRST FLOOR PLAN
(SCALE=1:100)



TERRACE PLAN
(SCALE=1:100)



SITE PLAN
(SCALE=1:200)

अन्य एव २



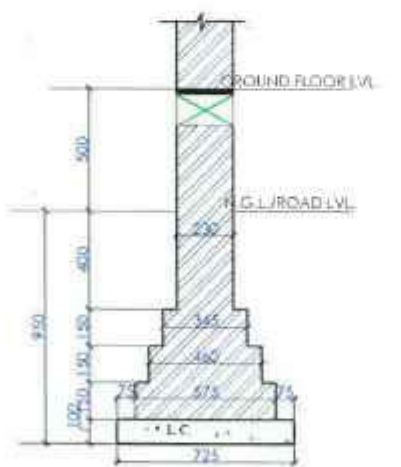
FRONT ELEVATION
(SCALE=1:100)



LOCATION PLAN
(NOT TO SCALE)



TYP. SECTION OF COLUMN FOOTING
(Scale=1:20)



TYP. SECTION FOR 230 THK. BRICK WALL
(Scale=1:20)



SECTION X-X
(SCALE=1:50)

MINI TOWNSHIP AT KHASRA NO.1703 &1700,NATKUR, PARGANA BIJNOUR,LUCKNOW

PLOT NO. 81-27

Developer:
GREEN APPLE INFRA TECH PRIVATE LIMITED

NOTES:
1. Architect shall not be responsible for any deviation at site by the developer.
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE SUBMISSION.
3. Layout approved vide permit no.1014, dated 05.12.2025.

DOOR/ WINDOW SCHEDULE :		
S.NO.	TYPE	SIZE
1.	D1	1000x2400
2.	D2	950x2100
3.	D3	755x2100
4.	D4	800x2100
5.	D5	1000x2100
6.	DW1	2000x2100
7.	DW2	1925x2400
8.	W1	500x1050
9.	W2	1155x1500
10.	W3	1045x1200
11.	W4	1195x1200
12.	W5	500x600
13.	W6	1925x1500
14.	D6	900x2100

AREA STATEMENT :	SQ. MT.
1.) TOTAL PLOT AREA	99.40sq.mt.
2.) COVERED AREA ON GROUND FLOOR	71.97sq.mt.
3.) COVERED AREA ON FIRST FLOOR	61.48sq.mt.
4.) OPEN AREA	27.43sq.mt.
5.) MUMTY AREA	8.45sq.mt.
6.) PROJECTION AREA(half area to be included in F.A.R.)	15.19sq.mt.
7.) TOTAL BUILT-UP AREA(2+3+5+half of 6)-FOR F.A.R.	149.50sq.mt.
8.) GROUND COVERAGE ACHIEVED(permissible-75%)	72.40%
9.) F.A.R. ACHIEVED(permissible-1.80)	1.504

DEVELOPER

ARCHITECT

espaces

Dr. Sanjay Kumar Gupta
108/F, Floor, Corporate Chamber 1,
Vishal Khand, Ganga Nagar,
Lucknow-220010
Ph No. 905888 0415/1400
email: spaces.arch@gmail.com

Green Apple Infra Tech Pvt. Ltd.

Dr. Sanjay

SPECIFICATIONS:

Foundation	- Stepped brick footing in 1:6 c.m. as per structural design with R.C.C. columns as per design.
Superstructure	- Composite structure with brick work & R.C.C. columns as per structural design (earthquake resistant)
Slab	- R.C.C. slab as per structural design in M-25 grade conc.
Joinery	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
Flooring	- Vitrified tiles/marble/kola/c.c.
Painting	- O.S.D. inside & cement based waterproofing paint outside.
Plaster	- 12mm plaster in 1:6 c.m.
Plumbing & sanitary fitting	- All plumbing work using ISI marked UPVC pipes with standard fittings & fixtures.
Electrical work	- Conduiting, wiring & M.C.B. with ISI marked material.

मानविक उत्तर प्रदेश औद्योगिक क्षेत्र विकास अधिनियम 1976 की धारा 19 के अंतर्गत इस प्रतिबंध सहित स्वीकृत किया जाता है कि विकास प्राधिकरण भूमि विषयक स्वामित्व के लिये विधेय बाध्य नहीं है।

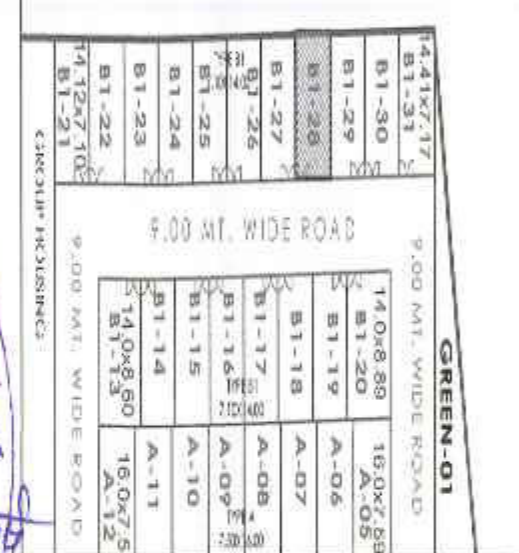
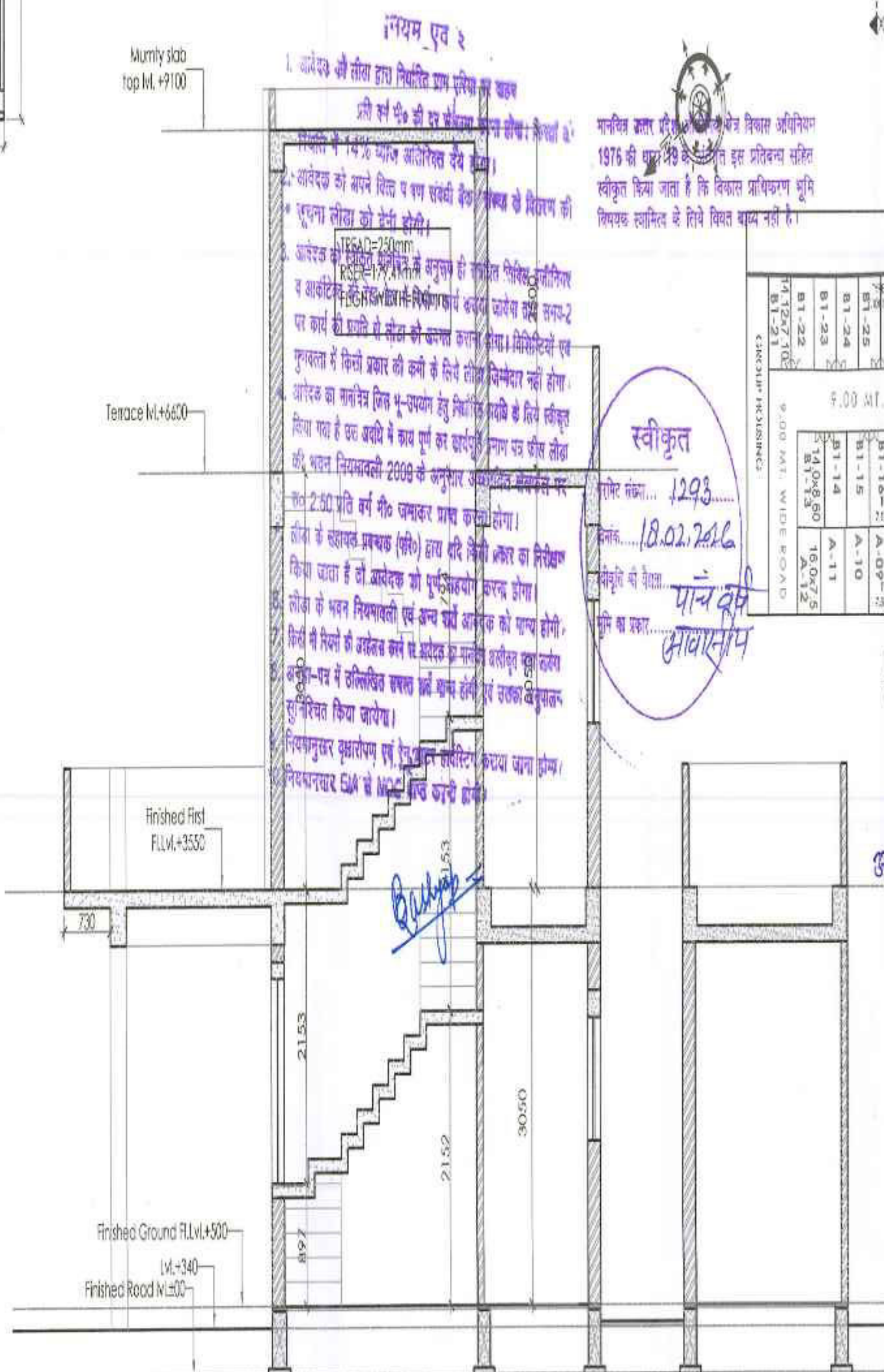
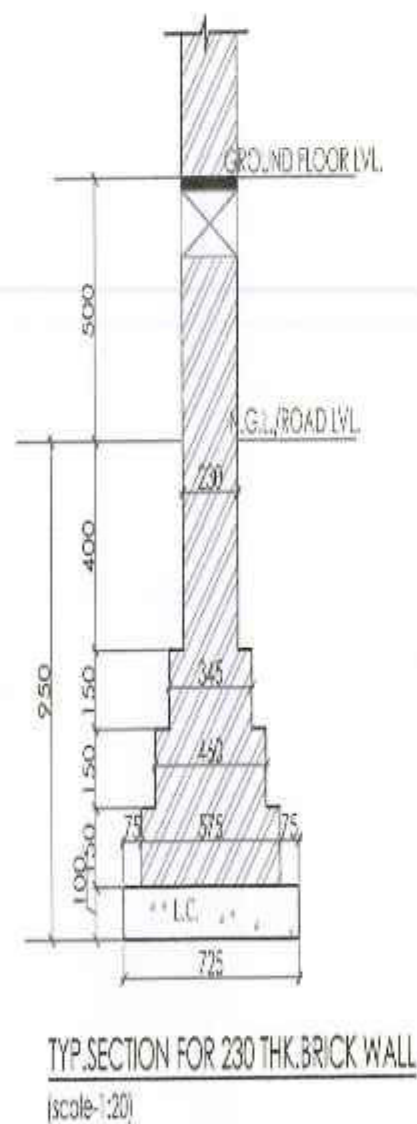
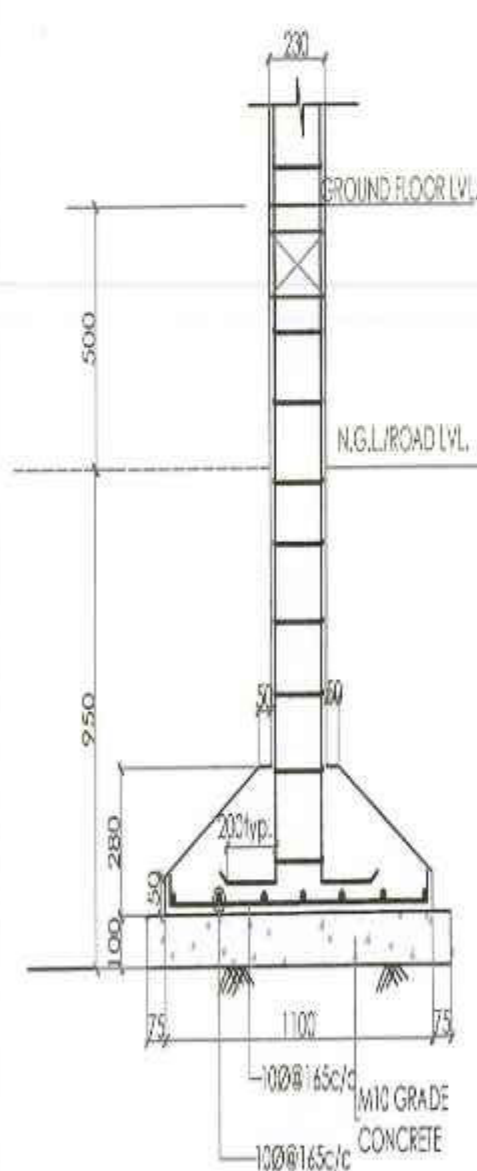
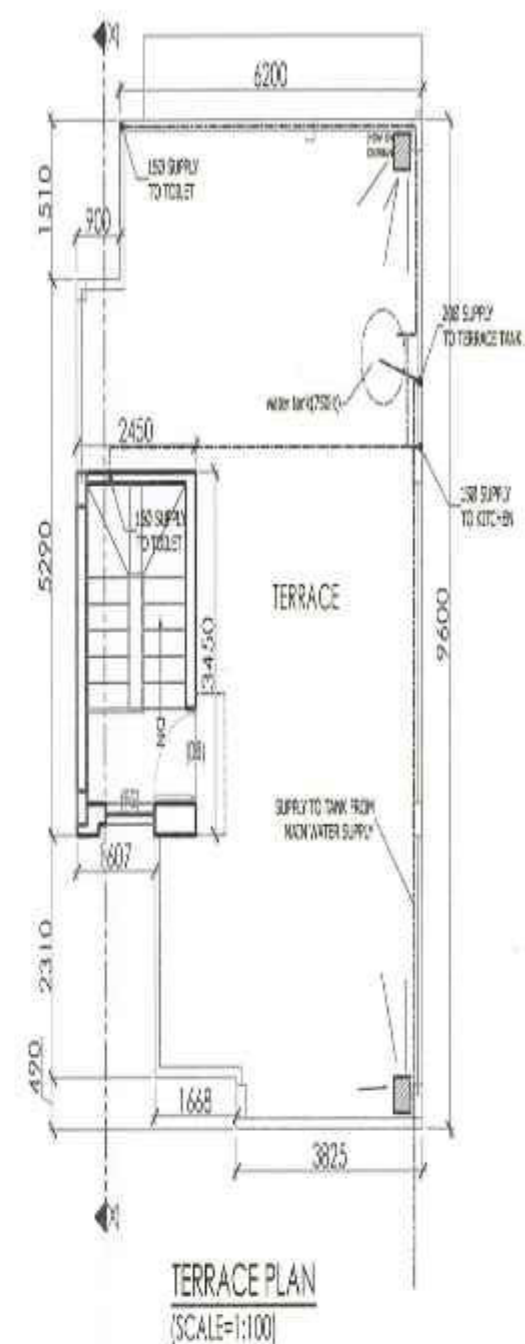
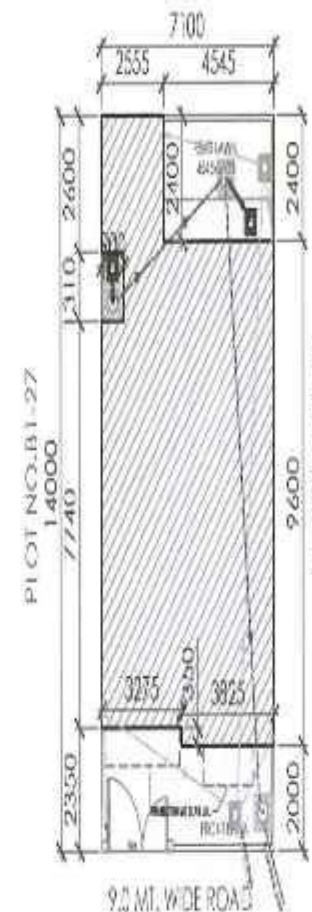
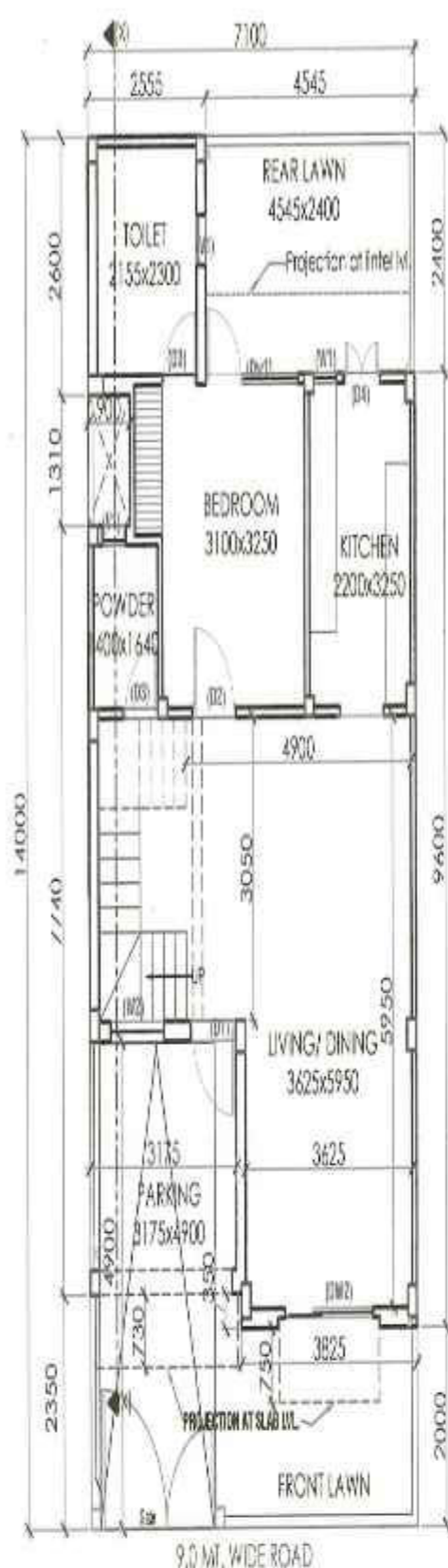
स्वीकृत

परमिट संख्या... 1320...

दिनांक... 18.02.26

स्वीकृति की वैधता... पांच वर्ष

भूमि का प्रकार... आवासीय

[illegible]

मानचित्र जल संसाधन विकास अभियान
1976 की धारा 19 के अंतर्गत इस प्रतिबन्ध सहित
स्वीकृत किया जाता है कि विकास प्राधिकरण भूमि
विषयक स्थानित से तिथि वित्त बाध्य नहीं है।

स्वीकृत

नामित संख्या... 1293
 दिनांक... 18.02.2016
 पंचायत का पंचायत... पंचायत
 ग्राम का प्रकार... आवासीय

अ० काशी निदेशक
(सिद्धि)

MINI TOWNSHIP AT KHASRA NO.1703 & 1700, NATKUR,
PARGANA BIJNOUR, LUCKNOW

PLOT NO. BI-28

Developer: GREEN APPLE INFRA TECH PRIVATE LIMITED

NOTES:

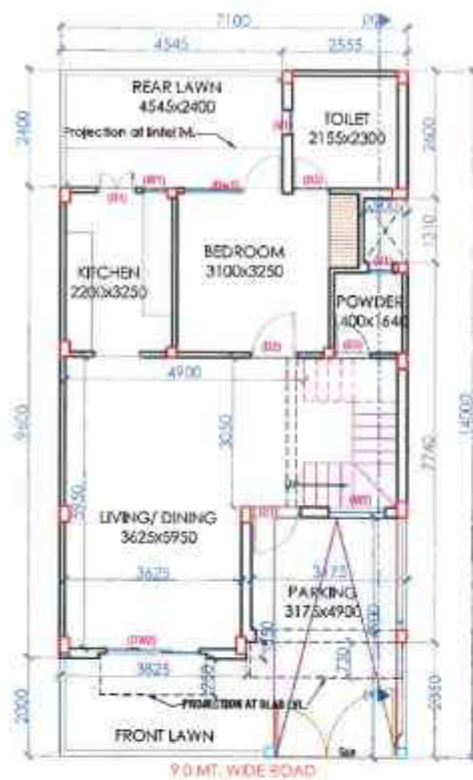
1. Architect shall not be responsible for any deviation of site by the developer.
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE SUBMISSION.
3. Layout approved vide permit no.1014, dated 05.12.2025.

DOOR / WINDOW SCHEDULE :		
S.NO.	TYPE	SIZE
1.	D1	1000x2400
2.	D2	950x2100
3.	D3	755x2100
4.	D4	830x2100
5.	D5	1000x2100
6.	DW1	2000x2100
7.	DW2	1925x2400
8.	W1	500x1050
9.	W2	1155x1500
10.	W3	1245x1200
11.	W4	1195x1200
12.	W5	500x600
13.	W6	1925x1500
14.	D6	900x2100

AREA STATEMENT :	SQ. MT.
1.) TOTAL PLOT AREA	99.40sq.mt.
2.) COVERED AREA ON GROUND FLOOR	71.97sq.mt.
3.) COVERED AREA ON FIRST FLOOR	61.48sq.mt.
4.) OPEN AREA	27.43sq.mt.
5.) MUMTY AREA	8.45sq.mt.
6.) PROJECTION AREA(haf area to be included in F.A.R.)	15.19sq.mt.
7.) TOTAL BUILT-UP AREA(2+3+5+haf of 6)-FOR F.A.R.	149.50sq.mt.
8.) GROUND COVERAGE ACHIEVED(permissible-75%)	72.40%
9.) F.A.R. ACHIEVED(permissible-1.50)	1.504

DEVELOPER	ARCHITECT
Green Apple Infotech Pvt. Ltd. <i>Signature</i> Director	 espaces Ar. Sanjay Kumar Gupta 102 F. Floor, Concorde Chambers, Nisani Khana, Gind Road, Lucknow-226003 Ph.No-4066928/941614800 www.egspaces.lko@gmail.com 

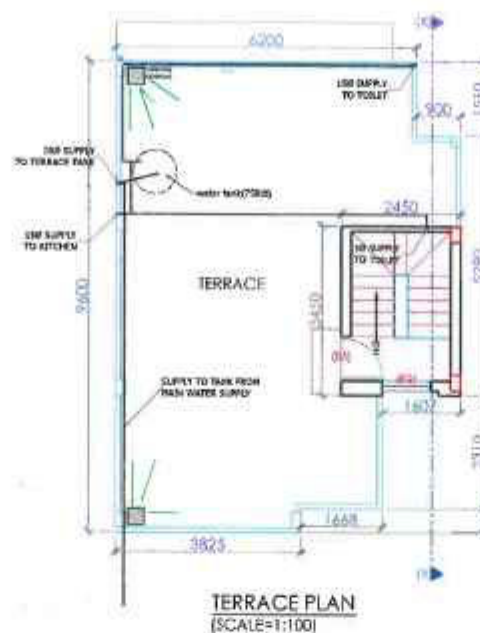
SPECIFICATIONS:	
Foundation	- Stepped brick footing in 1:3 c.m. as per structural design with R.C.C. columns as per design.
Superstructure	- Composite structure with brick work & R.C.C. columns as per structural design (earthquake resistant)
Slab	- R.C.C. slab as per structural design in M25 grade conc.
Joinery	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
Flooring	- Vitrified tiles/marble/kola/c.c.
Painting	- O.B.D. inside & cement based waterproofing paint outside.
Plaster	- 12mm plaster in 1:4 c.m.
Plumbing & sanitary fitting	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
Electrical work	- Conducting wiring & M.C.B. with I.S.I. marked material.



GROUND FLOOR PLAN
(SCALE=1:100)



FIRST FLOOR PLAN
(SCALE=1:100)



TERRACE PLAN
(SCALE=1:100)



SITE PLAN
(SCALE=1:200)

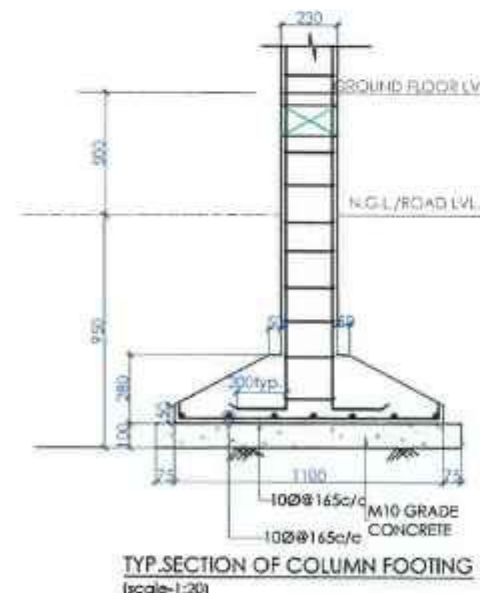
FRONT ELEVATION
(SCALE=1:100)



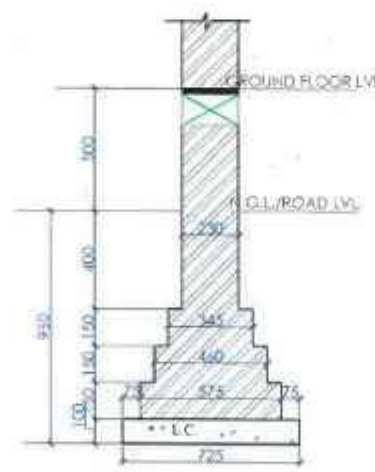
FRONT ELEVATION
(SCALE=1:100)



LOCATION PLAN
(NOT TO SCALE)



TYP. SECTION OF COLUMN FOOTING
(Scale=1:20)



TYP. SECTION FOR 230 THK. BRICK WALL
(Scale=1:20)



SECTION X-X
(SCALE=1:50)

MINI TOWNSHIP AT KHASRA NO.1703 & 1700, NATKUR, PARGANA BIJNOUR, LUCKNOW

PLOT NO. 81-29

Developer:
GREEN APPLE INFRA TECH PRIVATE LIMITED

NOTES:
1. Architect shall not be responsible for any deviation at site by the developer.
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE SUBMISSION.
3. Layout approved vide permit no.1014, dated 05.12.2025.

S.NO.	TYPE	SIZE
1.	D1	1000x2400
2.	D2	950x2100
3.	D3	755x2100
4.	D4	800x2100
5.	D5	1000x2100
6.	DW1	2000x2100
7.	DW2	1925x2400
8.	W1	500x1050
9.	W2	1155x1500
10.	W3	1045x1200
11.	W4	1175x1200
12.	V1	500x600
13.	W5	1925x1500
14.	D6	900x2100

AREA STATEMENT :

S.NO.	TYPE	SIZE
1.	TOTAL PLOT AREA	99.40sq.mt.
2.	COVERED AREA ON GROUND FLOOR	71.97sq.mt.
3.	COVERED AREA ON FIRST FLOOR	61.48sq.mt.
4.	OPEN AREA	27.43sq.mt.
5.	MUMTY AREA	8.45sq.mt.
6.	PROJECTION AREA (half area to be included in F.A.R.)	15.19sq.mt.
7.	TOTAL BUILT-UP AREA (2+3+5+half of 6) - FOR F.A.R.	149.50sq.mt.
8.	GROUND COVERAGE ACHIEVED (permissible-75%)	72.40%
9.	F.A.R. ACHIEVED (permissible-1.80)	1.504

DEVELOPER

Green Apple Infratech Pvt. Ltd.
Director

ARCHITECT

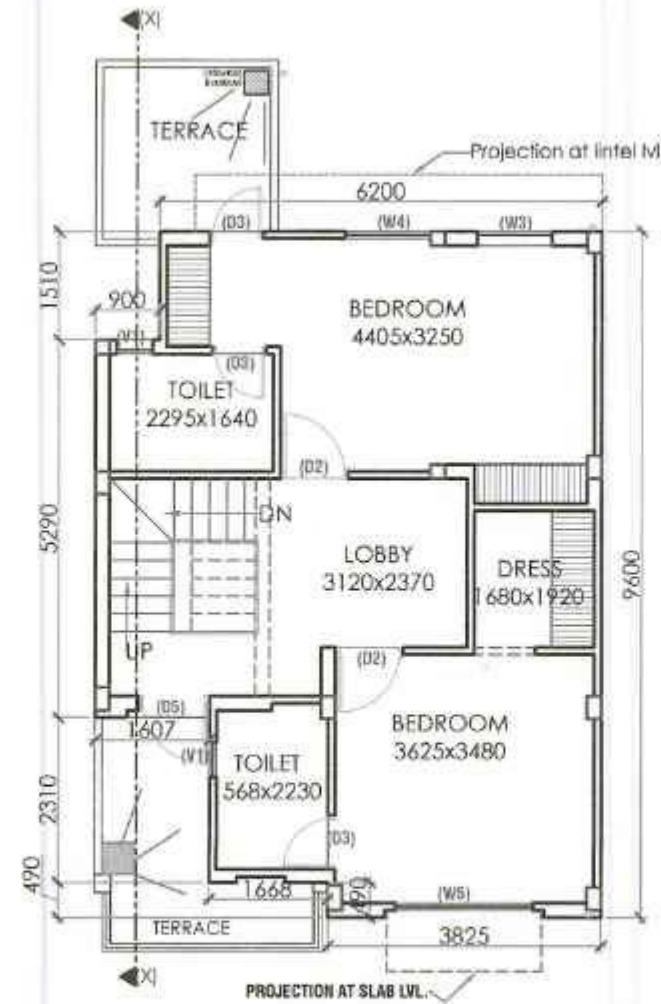
Ar. Sanjay Kumar Gupta
100 P. Floor, Corporate Chamber-I,
Mahatma Road, Sector-1,
Lucknow-226001.
Phone-400000, 401011-4000
mail-espace.201@gmail.com

SPECIFICATIONS:

Foundation	- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
Superstructure	- Composite structure with brick work & R.C.C. columns as per structural design (earthquake resistant).
Slab	- R.C.C. slab as per structural design in M25 grade conc.
Joinery	- Door frames in solid wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
Flooring	- Vitrified tiles/marble/terrazzo/c.c.
Painting	- O.B.D. inside & cement based waterproofing paint outside.
Plaster	- 12mm plaster in 1:6 c.m.
Plumbing & sanitary fitting	- All plumbing work using ISI marked UPVC pipes with standard fittings & fixtures.
Electrical work	- Conduiting wiring & M.C.B. with ISI marked material.



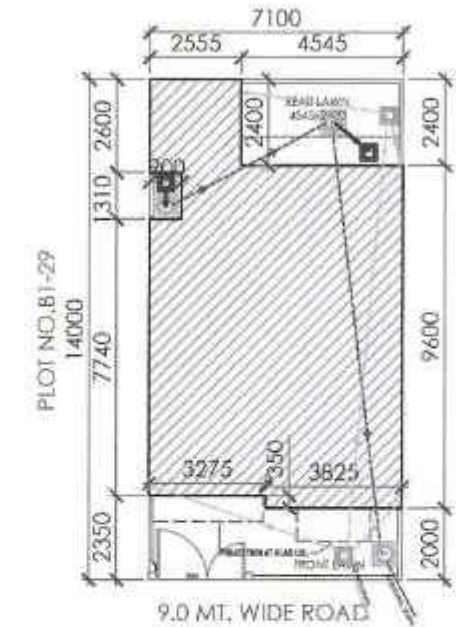
GROUND FLOOR PLAN
(SCALE=1:100)



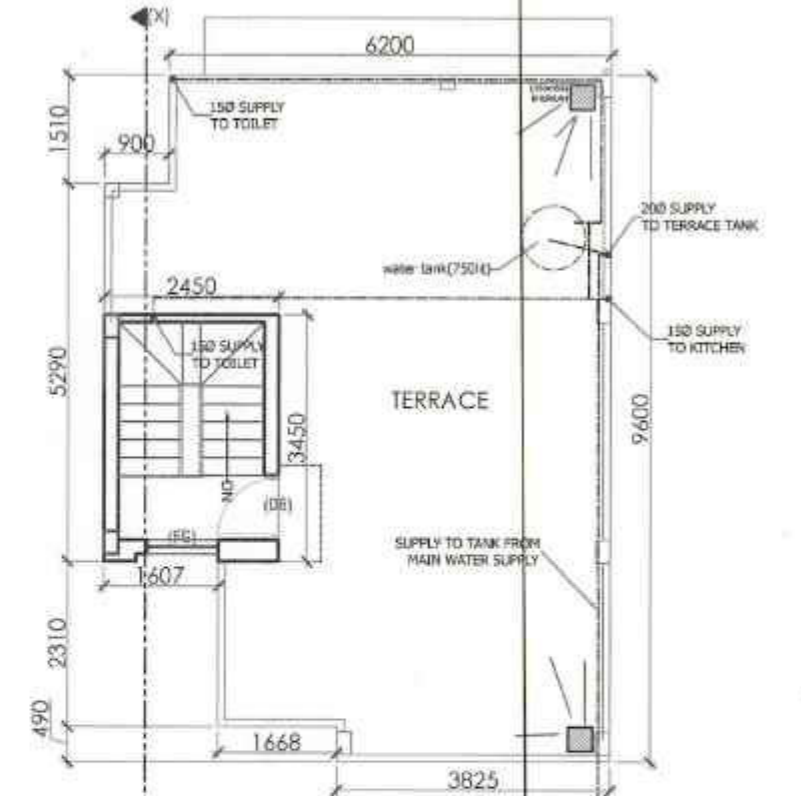
FIRST FLOOR PLAN
(SCALE=1:100)



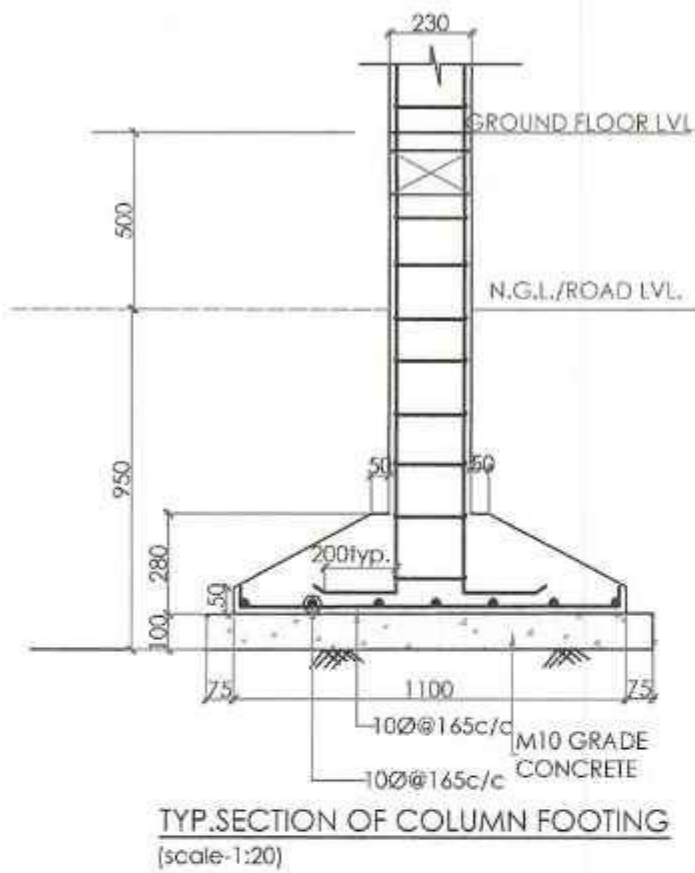
FRONT ELEVATION
(SCALE=1:100)



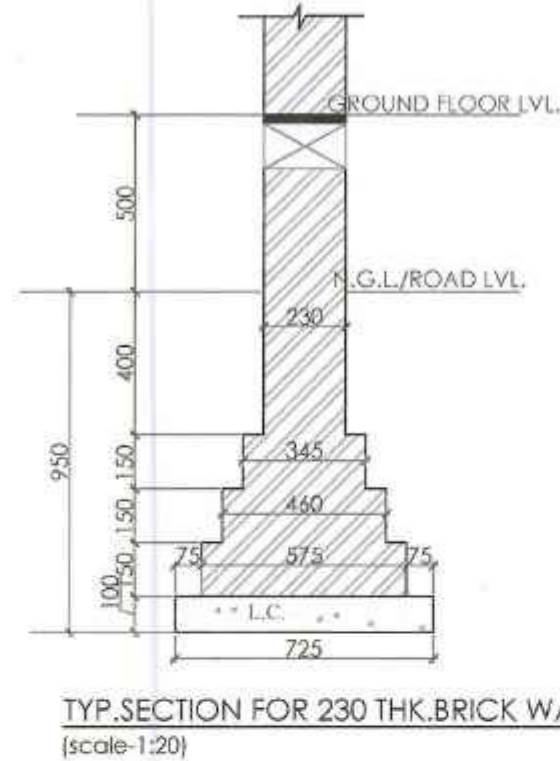
SITE PLAN
(SCALE=1:200)



TERRACE PLAN
(SCALE=1:100)



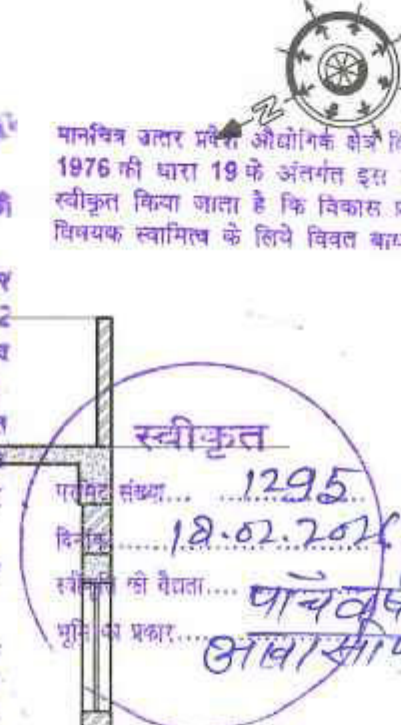
TYP. SECTION OF COLUMN FOOTING
(Scale=1:20)



TYP. SECTION FOR 230 THK. BRICK WALL
(Scale=1:20)



SECTION X-X
(SCALE=1:50)



LOCATION PLAN
(NOT TO SCALE)

MINI TOWNSHIP AT KHASRA NO.1703 & 1700, NATKUR, PARGANA BIJNOUR, LUCKNOW

PLOT NO. B1-30

Developer:
GREEN APPLE INFRA TECH PRIVATE LIMITED

- NOTES:
1. Architect shall not be responsible for any deviation at site by the developer.
 2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE SUBMISSION.
 3. Layout approved vide permit no.1014, dated 05.12.2025,

DOOR/ WINDOW SCHEDULE :		
S.NO.	TYPE	SIZE
1.	D1	1000x2400
2.	D2	950x2100
3.	D3	755x2100
4.	D4	800x2100
5.	D5	1000x2100
6.	DW1	2000x2100
7.	DW2	1925x2400
8.	W1	500x1050
9.	W2	1155x1500
10.	W3	1045x1200
11.	W4	1195x1200
12.	V1	500x600
13.	W5	1925x1500
14.	D6	900x2100

AREA STATEMENT :

	SQ. MT.
1.) TOTAL PLOT AREA	99.40sq.mt.
2.) COVERED AREA ON GROUND FLOOR	71.97sq.mt.
3.) COVERED AREA ON FIRST FLOOR	61.48sq.mt.
4.) OPEN AREA	27.43sq.mt.
5.) MUMTY AREA	8.45sq.mt.
6.) PROJECTION AREA(half area to be included in F.A.R.)	15.19sq.mt.
7.) TOTAL BUILT-UP AREA(2+3+5+half of 6)-FOR F.A.R.	149.50sq.mt.
8.) GROUND COVERAGE ACHIEVED(permissible-75%)	72.40%
9.) F.A.R. ACHIEVED(permissible-1.80)	1.504

DEVELOPER

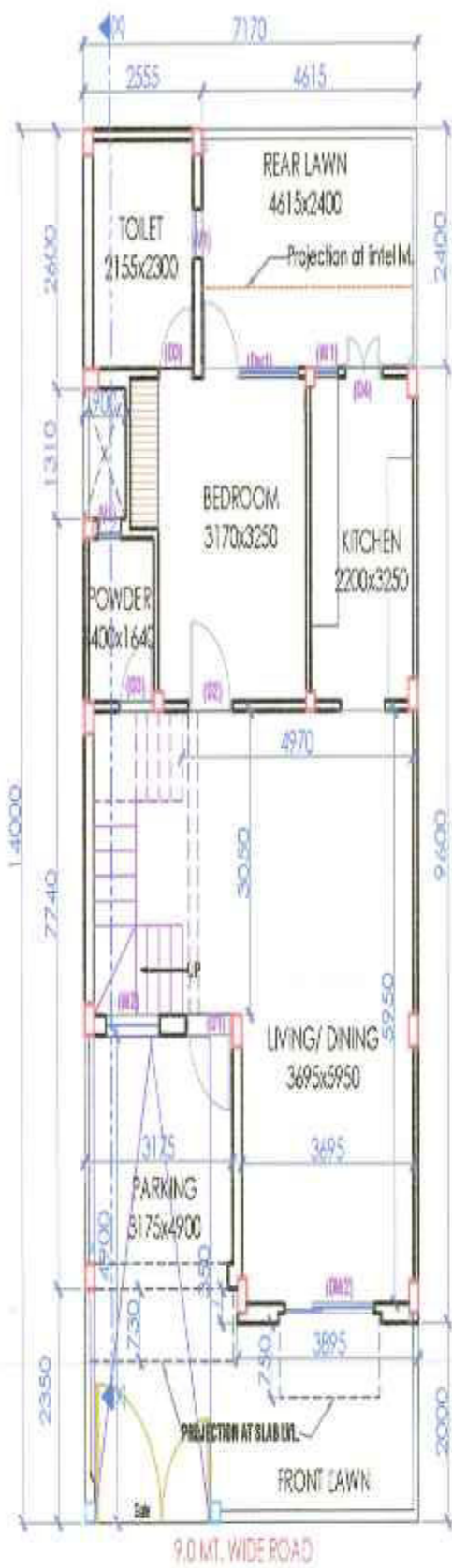
Green Apple Infra Tech Pvt. Ltd.

ARCHITECT

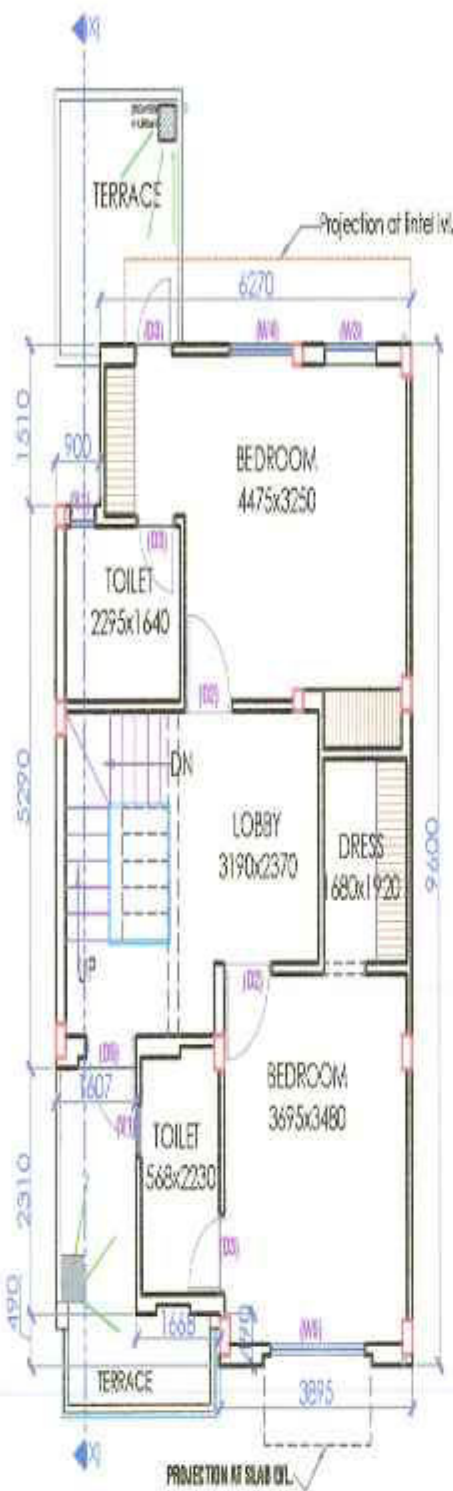
espaces
Ar. Sanjay Kumar Gupta
108, F. Floor, Corporate Chamber-1,
Vibhuti Khand, Gomti Nagar,
Lucknow-226010
PIN No. 4055956, 9415114398
email-espaces_arch@gmail.com

SPECIFICATIONS:

Foundation	- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
Superstructure	- Composite structure with brick work & R.C.C. columns as per structural design.(earthquake resistant)
Slab	- R.C.C. slab as per structural design in M:25 grade conc.
Joinery	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
Flooring	- Vitrified tiles/marble/kota/c.c.
Painting	- O.B.D. inside & cement based waterproofing paint outside.
Plaster	- 12mm plaster in 1:6 c.m.
Plumbing & sanitary fitting	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
Electrical work	- Conduiting, wiring & M.C.B. with I.S.I. marked material.



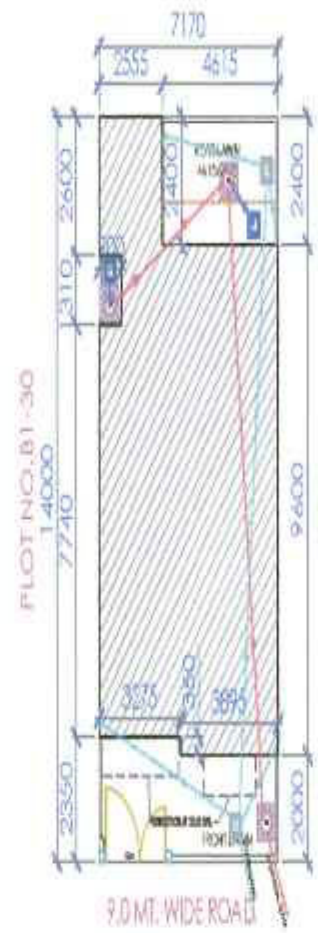
GROUND FLOOR PLAN
(SCALE=1:100)



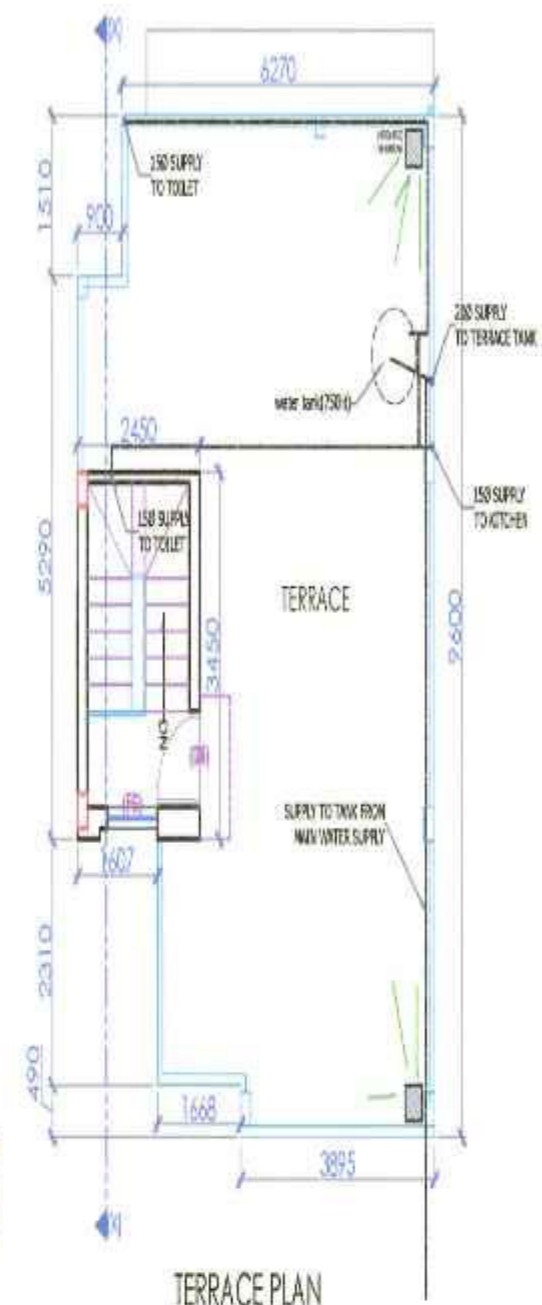
FIRST FLOOR PLAN
(SCALE=1:100)



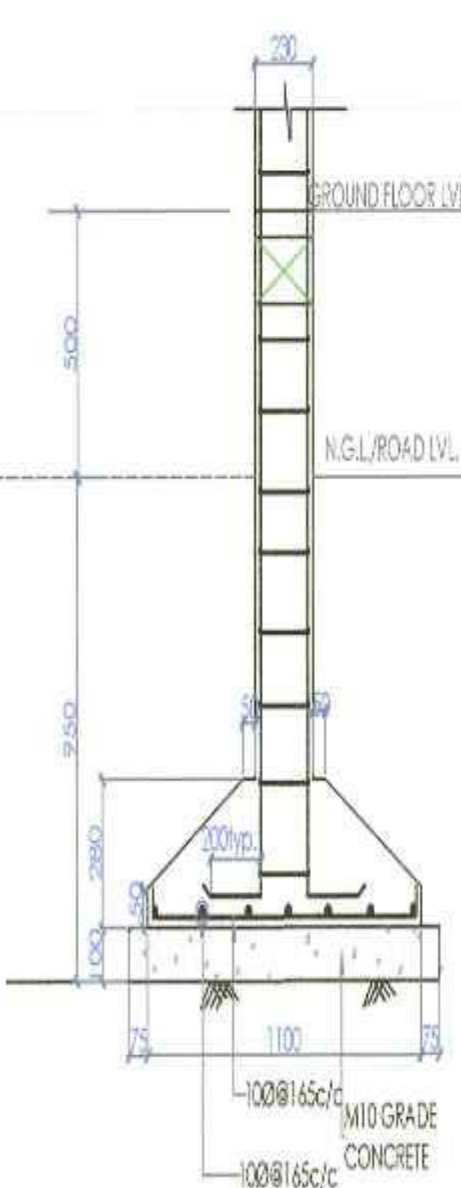
FRONT ELEVATION
(SCALE=1:100)



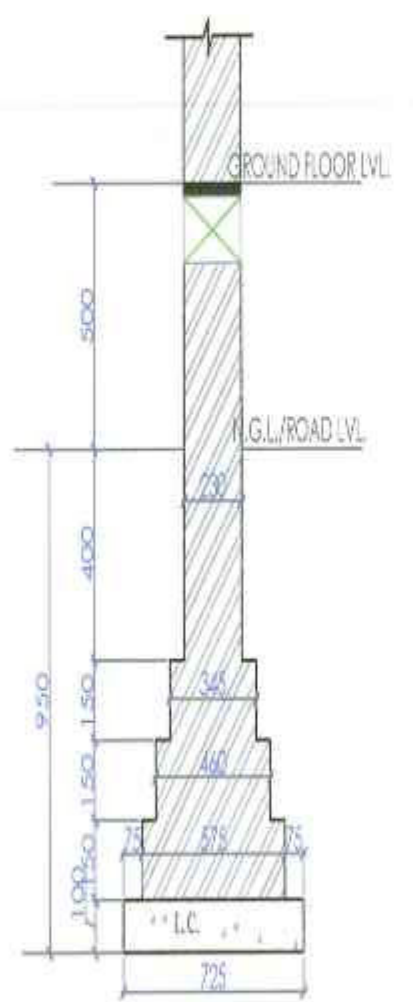
SITE PLAN
(SCALE=1:200)



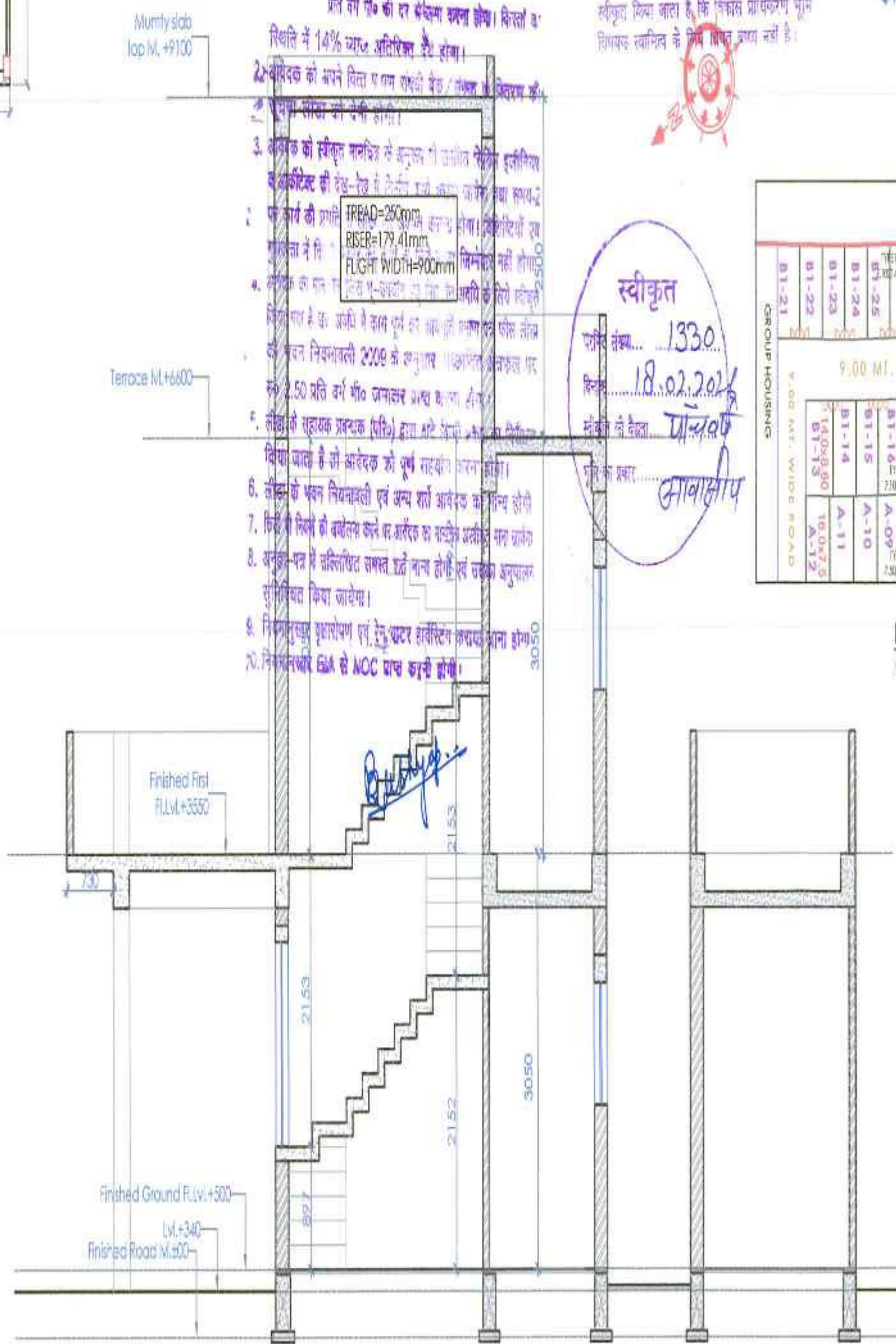
TERRACE PLAN
(SCALE=1:100)



TYP. SECTION OF COLUMN FOOTING
(scale=1:20)



TYP. SECTION FOR 230 THK. BRICK WALL
(scale=1:20)



SECTION X-X
(SCALE=1:50)

GROUP HOUSING	81-21	81-22	81-23	81-24	81-25	81-26	81-27	81-28	81-29	81-30	81-31
9.00 MT. WIDE ROAD	14.00x18.00	14.00x18.00	14.00x18.00	14.00x18.00	14.00x18.00	14.00x18.00	14.00x18.00	14.00x18.00	14.00x18.00	14.00x18.00	14.00x18.00
9.00 MT. WIDE ROAD	14.00x18.00	14.00x18.00	14.00x18.00	14.00x18.00	14.00x18.00	14.00x18.00	14.00x18.00	14.00x18.00	14.00x18.00	14.00x18.00	14.00x18.00

LOCATION PLAN
(NOT TO SCALE)

MINI TOWNSHIP AT KHASRA NO.1703 &1700,NATKUR, PARGANA BIJNOUR,LUCKNOW

PLOT NO. B1-31
Developer:
GREEN APPLE INFRA TECH PRIVATE LIMITED

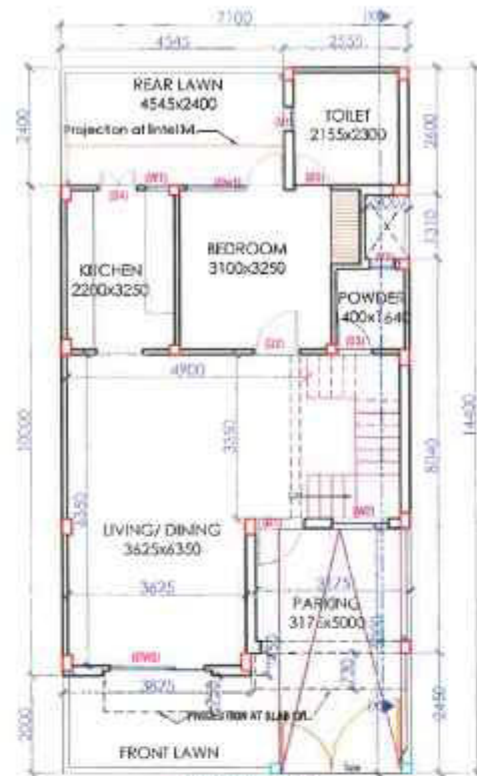
- NOTES:
1. Architect shall not be responsible for any deviation at site by the developer.
 2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE SUBMISSION.
 3. Land area covered by this plan is 101.14 sq.mt dated 05.12.2025

DOOR/ WINDOW SCHEDULE:	S.NO.	TYPE	SIZE
1.	D1	1000x2400	
2.	D2	950x2100	
3.	D3	755x2100	
4.	D4	800x2100	
5.	D5	1000x2100	
6.	DW1	2000x2100	
7.	DW2	1925x2400	
8.	W1	500x1090	
9.	W2	1155x1500	
10.	W3	1045x1200	
11.	W4	1195x1220	
12.	V1	500x600	
13.	V5	1925x1500	
14.	D6	900x2100	

AREA STATEMENT :	SQ. MT.
1.) TOTAL PLOT AREA	100.38sq.mt.
2.) COVERED AREA ON GROUND FLOOR	72.64sq.mt.
3.) COVERED AREA ON FIRST FLOOR	62.15sq.mt.
4.) OPEN AREA	27.74sq.mt.
5.) MUMMY AREA	8.45sq.mt.
6.) PROJECTION AREA (half area to be included in F.A.R.)	15.19sq.mt.
7.) TOTAL BUILT-UP AREA (2+3+5+half of 6) - FOR F.A.R.	150.84sq.mt.
8.) GROUND COVERAGE ACHIEVED (permissible-75%)	72.37%

DEVELOPER	ARCHITECT
Green Apple Infotech Pvt. Ltd.	As Sanjay Kumar Gupta (B.A. F. Floor Corporate Chamber-I, Noida (Haryana) India Lucknow-226010 Ph: No-9055501541/91514580 email-espacesarch@gmail.com

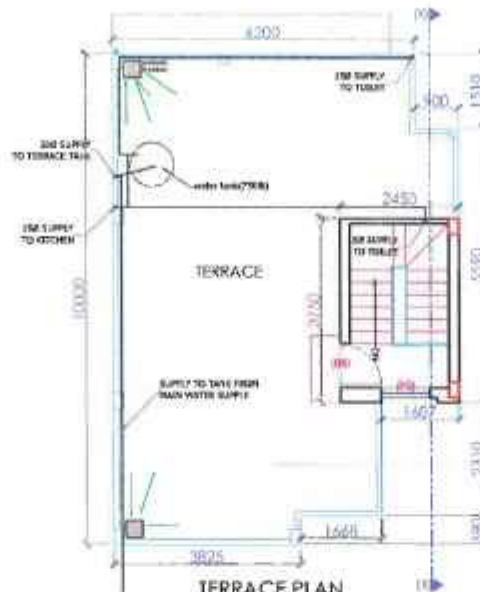
<u>SPECIFICATIONS:</u>	
Foundation	- Stepped brick footing in 1:3 c.m. as per structural design with r.c.c. columns as per design.
Superstructure	- Composite structure with brick work & R.C.C. columns as per structural design (earthquake resistant)
Slab	- R.C.C. slab as per structural design in M25 grade conc.
Joinery	- Door frames in s.d wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
Flooring	- Vitrified tiles/marble/kota/c.c.
Painting	- O.S.D. inside & cement based waterproofing paint outside.
Plaster	- 12mm plaster in 1:3 c.m.
Plumbing & sanitary fitting	- All plumbing work using U.S. marked UPVC pipes with standard fittings & fixtures.



GROUND FLOOR PLAN
(SCALE=1:100)



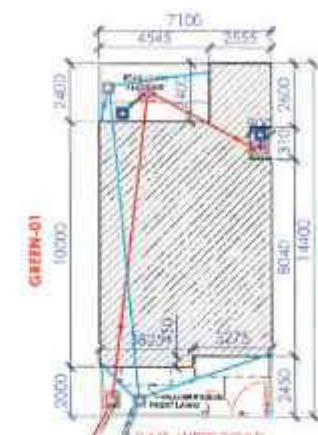
FIRST FLOOR PLAN
(SCALE=1:100)



TERRACE PLAN
(SCALE=1:100)



LOCATION PLAN
(NOT TO SCALE)



SITE PLAN
(SCALE=1:200)

नियम एच २

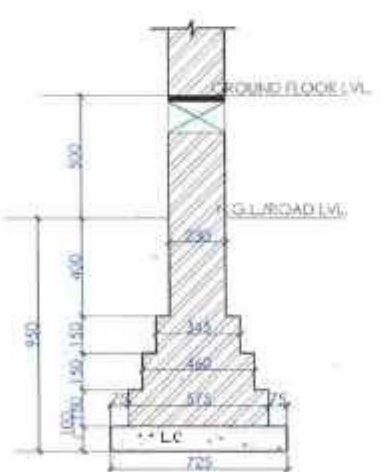
- आवेदक को सौदा द्वारा निर्धारित ग्राम सूरिया पर रहना।
- प्रति वर्ग मी. की दर से भूदान करना होगा। किस्ती ३।
- स्थिति में 14% व्याज अतिरिक्त देय होगा।
- आवेदक को अपने खेत प वण संबंधी बैंक/संस्था के बिलों की रूचना लीडा को देनी होगी।
- आवेदक को स्वीकृत मानचित्र के अनुसार ही संबंधित केवल इन्फ्रारेड व आर्किटेक्चर की देख-रेख में निर्माण कार्य कराया जायेगा तथा समय-2 पर कार्य की प्रगति से लीडा को अवगत कराना होगा। विशिष्टता एवं शुद्धता में किसे प्रकार की कमों के लिये लीडा जिम्मेदार नहीं होगा।
- आवेदक का माना त्रुटि-सुधार हेतु निर्धारित अवधि के लिये स्वीकृत किया गया है उस अवधि में कार्य पूर्ण कर कार्यभार प्रमाण पत्र को सौदा की भवन नियमावली 2009 के अनुसार अच्छादित क्षेत्रफल पर रू. 2.50 प्रति वर्ग मी. जमाकर प्राप्त करना होगा।
- लीडर के सहायक प्रबंधक (पीएम) द्वारा यदि किसी प्रकार का निराशा किया जाता है तो आवेदक को पूर्ण प्रत्युत्तर देना होगा।
- लीडर के भवन नियमावली एवं अन्य शर्तें अनुसूचित को मान्य होगी।
- किसी भी नियमों को अवहेलना करने पर आवेदक को मानचित्र स्वीकृत बना होगा।
- अनुसूचित पत्र में उल्लिखित समस्त शर्तें मान्य होगी एवं उसका अनुपालन अनिवार्य किया जायेगा।
- यमावली के अनुसार उधारोपण एवं सुविधाएं प्रदान कराया जाना होगा।
- नियमानुसार EIA व NDC प्राप्त कराना होगा।



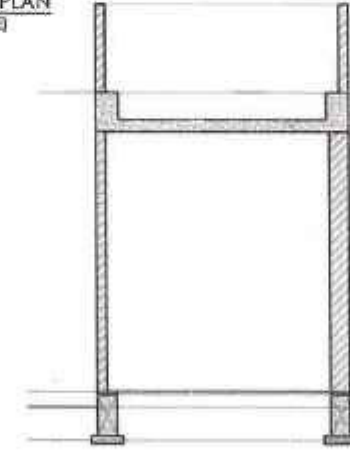
FRONT ELEVATION
(SCALE=1:100)



TYP. SECTION OF COLUMN FOOTING
(scale=1:20)



TYP. SECTION FOR 230 THK. BRICK WALL
(scale=1:20)



SECTION X-X
(SCALE=1:50)

MINI TOWNSHIP AT KHASRA NO.1703 &1700,NATKUR,
PARGANA BIJNOUR,LUCKNOW

PLOT NO. B2-32

Developer
GREEN APPLE INFRA TECH PRIVATE LIMITED

NOTES:
1. Architect shall not be responsible for any deviation at site by the developer.
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE SUBMISSION.
3. Layout approved vide permit no.1014, dated 05.12.2025.

S.NO.	TYPE	SIZE
1.	D1	1000x2400
2.	D2	950x2100
3.	D3	755x2100
4.	D4	800x2100
5.	D5	1000x2100
6.	DW1	2000x2100
7.	DW2	1925x2400
8.	W1	500x1050
9.	W2	1155x1500
10.	W3	1045x1200
11.	W4	1195x1200
12.	V1	500x600
13.	W5	1925x1500
14.	D6	900x2100

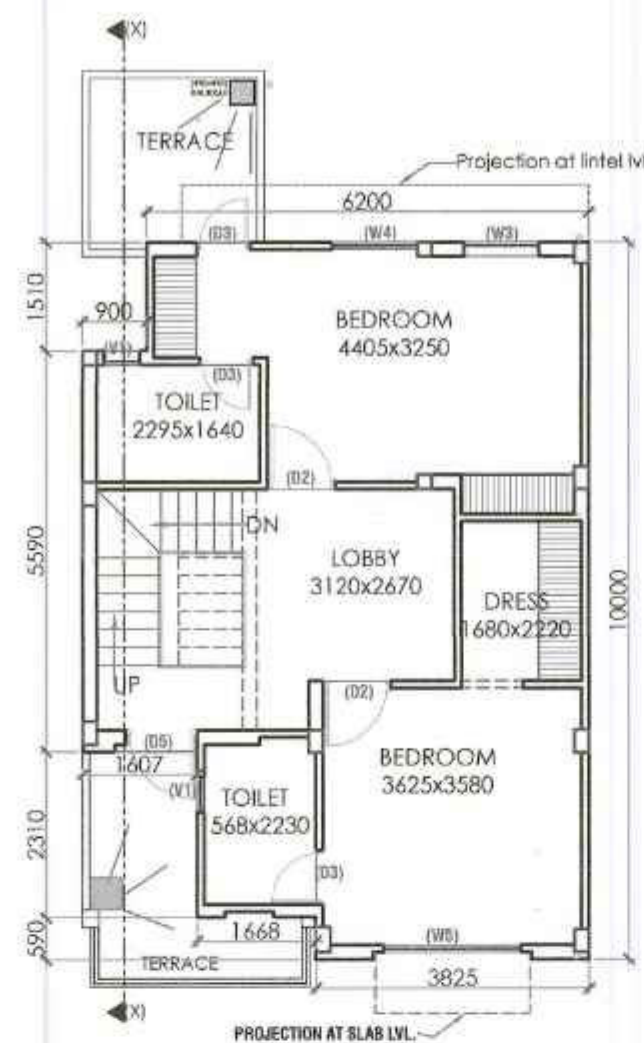
AREA STATEMENT	SQ. MT.
1.) TOTAL PLOT AREA	102.24sq.mt.
2.) COVERED AREA ON GROUND FLOOR	74.48sq.mt.
3.) COVERED AREA ON FIRST FLOOR	64.00sq.mt.
4.) OPEN AREA	27.76sq.mt.
5.) MUMTY AREA	9.19sq.mt.
6.) PROJECTION AREA(half area to be included in F.A.R.)	15.19sq.mt.
7.) TOTAL BUILT-UP AREA(2+3+5+half of 6)-FOR F.A.R.	155.27sq.mt.
8.) GROUND COVERAGE ACHIEVED(permissible-75%)	72.85%
9.) F.A.R. ACHIEVED(permissible-1.80)	1.519

DEVELOPER	ARCHITECT
Green Apple Infra Tech Pvt. Ltd.	Ar. Sanjay Kumar Gupta 100/F, Phase, Corporate Classmate I, Vishnu Khari, Ganga Nagar, Lucknow-226010 Ph.No. 429888, 429811, 429812 email: gao@spaces.in@gmail.com

SPECIFICATIONS:	
Foundation	- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
Superstructure	- Composite structure with brick work & R.C.C. columns as per structural design.(earthquake resistant)
Slab	- R.C.C. slab as per structural design in M-25 grade conc.
Joinery	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium/UPVC.
Flooring	- Vitrified tiles/marble/terrazzo/c.c.
Painting	- O.S.D. inside & cement based waterproofing paint outside.
Plaster	- 12mm plaster in 1:6 c.m.
Plumbing & sanitary fitting	- All plumbing work using ISI marked UPVC pipes with standard fittings & fixtures.
Electrical work	- Conducting wiring & M.C.B. with ISI marked material.



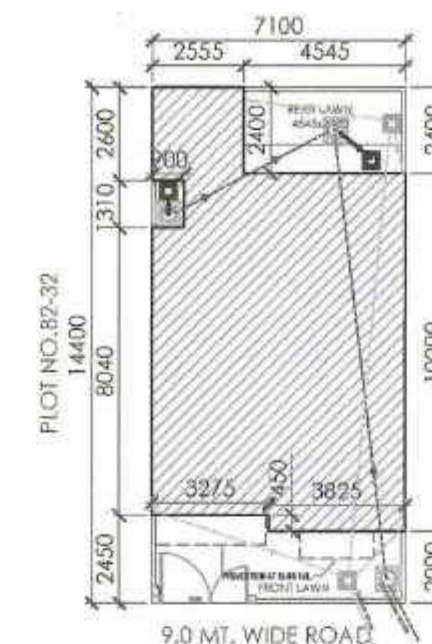
GROUND FLOOR PLAN
(SCALE=1:100)



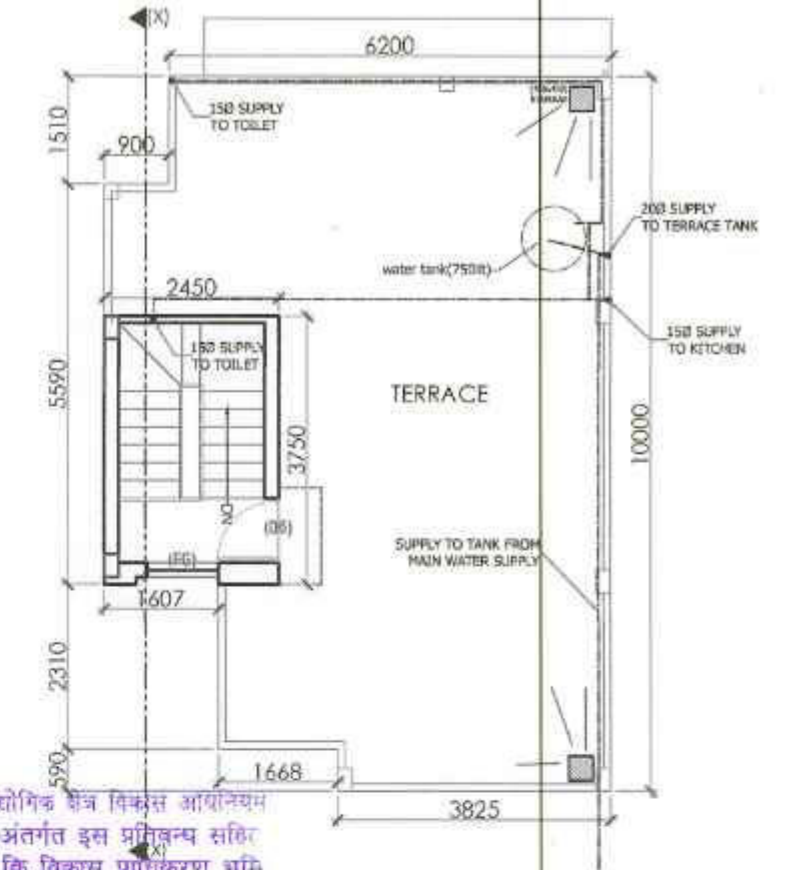
FIRST FLOOR PLAN
(SCALE=1:100)



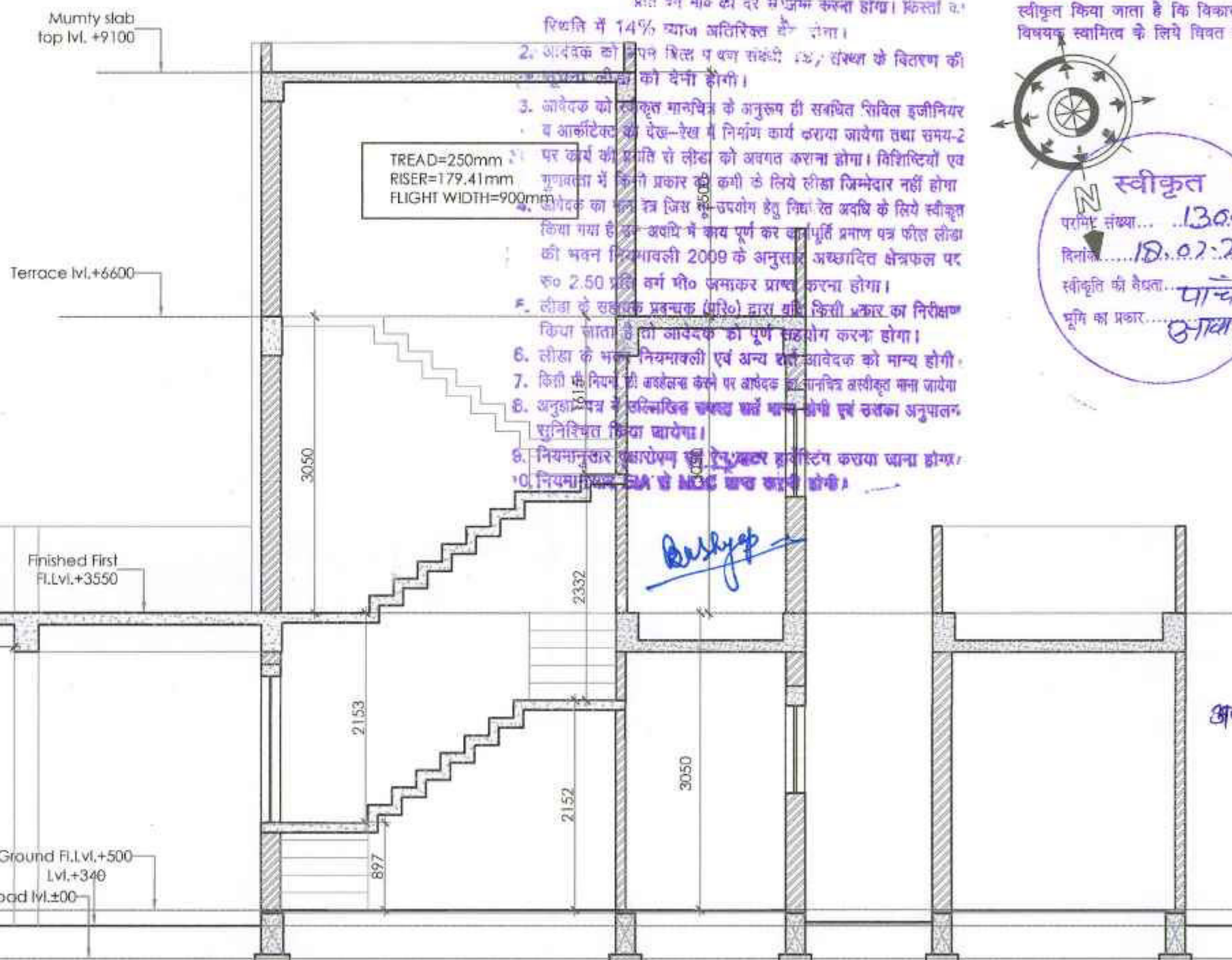
FRONT ELEVATION
(SCALE=1:100)



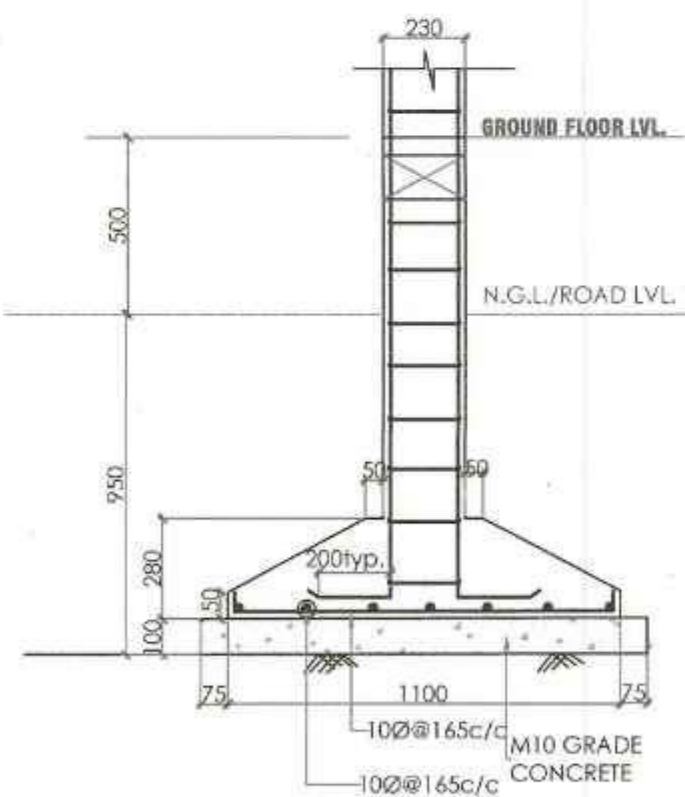
SITE PLAN
(SCALE=1:200)



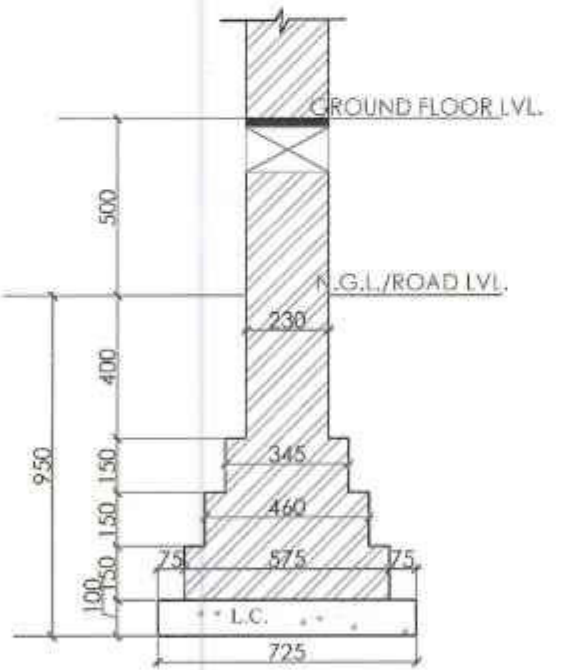
TERRACE PLAN
(SCALE=1:100)



SECTION X-X
(SCALE=1:50)



TYP. SECTION OF COLUMN FOOTING
(scale:1:20)



TYP. SECTION FOR 230 THK. BRICK WALL
(scale:1:20)

1. आवेदक को ली... (अवैध) प्रमाणित करने के लिए...
2. आवेदक को ली... (अवैध) प्रमाणित करने के लिए...
3. आवेदक को ली... (अवैध) प्रमाणित करने के लिए...
4. आवेदक को ली... (अवैध) प्रमाणित करने के लिए...
5. आवेदक को ली... (अवैध) प्रमाणित करने के लिए...
6. आवेदक को ली... (अवैध) प्रमाणित करने के लिए...
7. आवेदक को ली... (अवैध) प्रमाणित करने के लिए...
8. आवेदक को ली... (अवैध) प्रमाणित करने के लिए...
9. आवेदक को ली... (अवैध) प्रमाणित करने के लिए...
10. आवेदक को ली... (अवैध) प्रमाणित करने के लिए...

मानविक उत्तर प्रदेश औद्योगिक क्षेत्र विकास अधिनियम 1976 की धारा 19 के अंतर्गत इस प्रतिवेदन सहित स्वीकृत किया जाता है कि विकास प्राधिकरण द्वारा विषयक स्वामित्व के लिये विवाद बाध्य नहीं है।



परामर्श संख्या... 13600
दिनांक... 13.07.2024
स्वीकृति की तिथि...
भूमि का प्रकार...



LOCATION PLAN
(NOT TO SCALE)

MINI TOWNSHIP AT KHASRA NO.1703 &1700,NATKUR, PARGANA BIJNOUR,LUCKNOW

PLOT NO. B2-33
Developer:
GREEN APPLE INFRATECH PRIVATE LIMITED

- NOTES:
1. Architect shall not be responsible for any deviation at site by the developer.
 2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE SUBMISSION.
 3. Layout approved vide permit no.1014, dated 05.12.2025.

DOOR/ WINDOW SCHEDULE :		
S.NO.	TYPE	SIZE
1.	D1	1000x2400
2.	D2	950x2100
3.	D3	755x2100
4.	D4	800x2100
5.	D5	1000x2100
6.	DW1	2000x2100
7.	DW2	1925x2400
8.	W1	500x1050
9.	W2	1155x1500
10.	W3	1045x1200
11.	W4	1195x1200
12.	V1	500x600
13.	W5	1925x1500
14.	D6	900x2100

AREA STATEMENT :		SQ. MT.
1.) TOTAL PLOT AREA		102.24sq.mt.
2.) COVERED AREA ON GROUND FLOOR		74.48sq.mt.
3.) COVERED AREA ON FIRST FLOOR		64.00sq.mt.
4.) OPEN AREA		27.76sq.mt.
5.) MUMTY AREA		9.19sq.mt.
6.) PROJECTION AREA(half area to be included in F.A.R.)		15.19sq.mt.
7.) TOTAL BUILT-UP AREA(2+3+5+half of 6)-FOR F.A.R.		155.27sq.mt.
8.) GROUND COVERAGE ACHIEVED(permissible-75%)		72.85%
9.) F.A.R. ACHIEVED(permissible-1.80)		1.519

DEVELOPER

Green Apple Infratech Pvt. Ltd.

Director

ARCHITECT

Ar.Sanjay Kumar Gupta

108 F. Floor, Corporate Chamber-1,

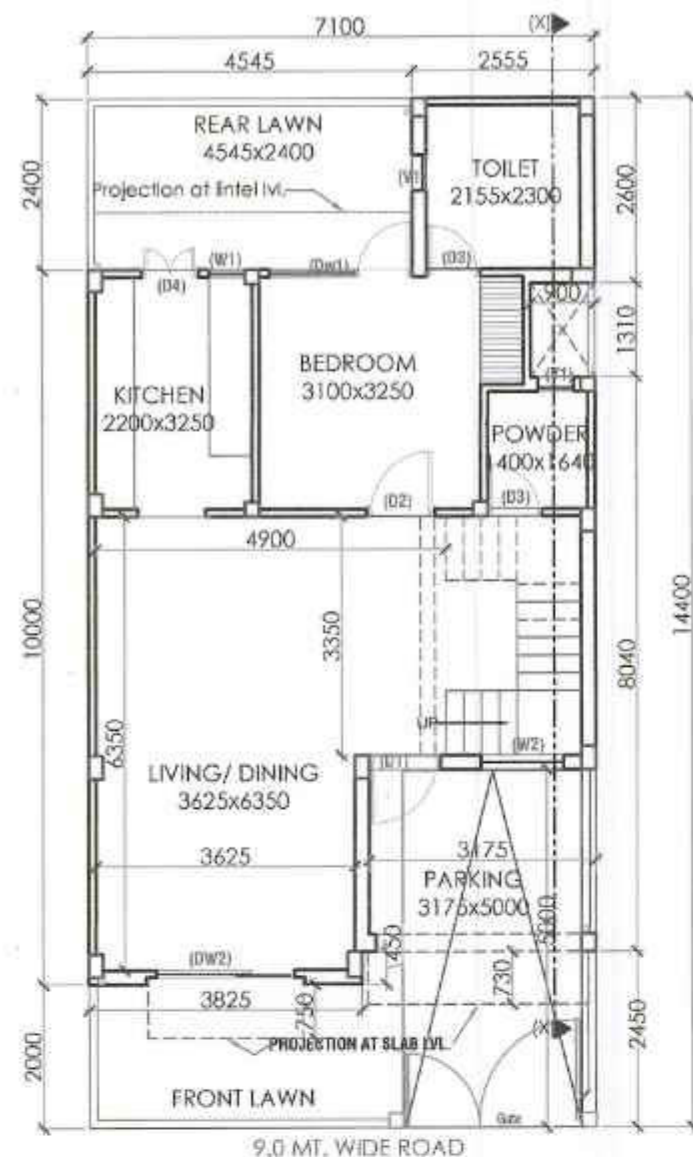
Vikram Khand, Gomti Nagar,

Lucknow-226010

Ph.No. 4066988, 9415114589

email-espaces.arch@gmail.com

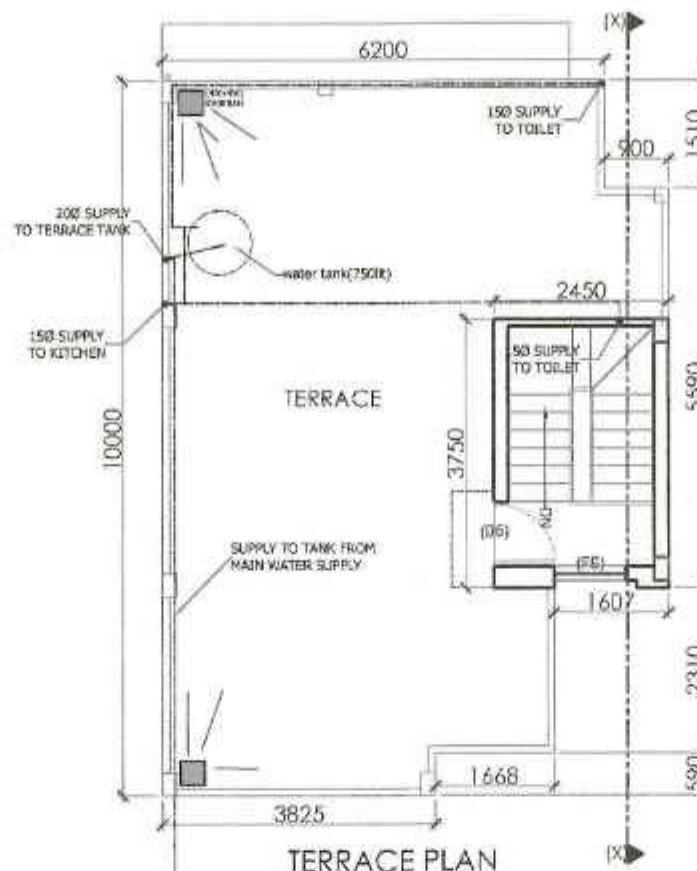
SPECIFICATIONS:	
Foundation	- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
Superstructure	- Composite structure with brick work & R.C.C. columns as per structural design.(earthquake resistant)
Slab	- R.C.C. slab as per structural design in M:25 grade conc.
Joinery	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
Flooring	- Vitrified tiles/marble/kota/c.c.
Painting	- O.B.D. inside & cement based waterproofing point outside.
Plaster	- 12mm plaster in 1:6 c.m.
Plumbing & sanitary fitting	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
Electrical work	- Conduiting wiring & M.C.B. with I.S.I. marked material.



GROUND FLOOR PLAN
(SCALE=1:100)



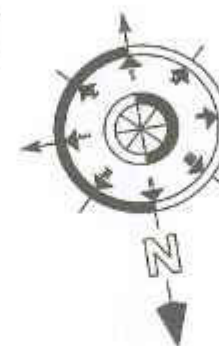
FIRST FLOOR PLAN
(SCALE=1:100)



TERRACE PLAN
(SCALE=1:100)



LOCATION PLAN
(NOT TO SCALE)

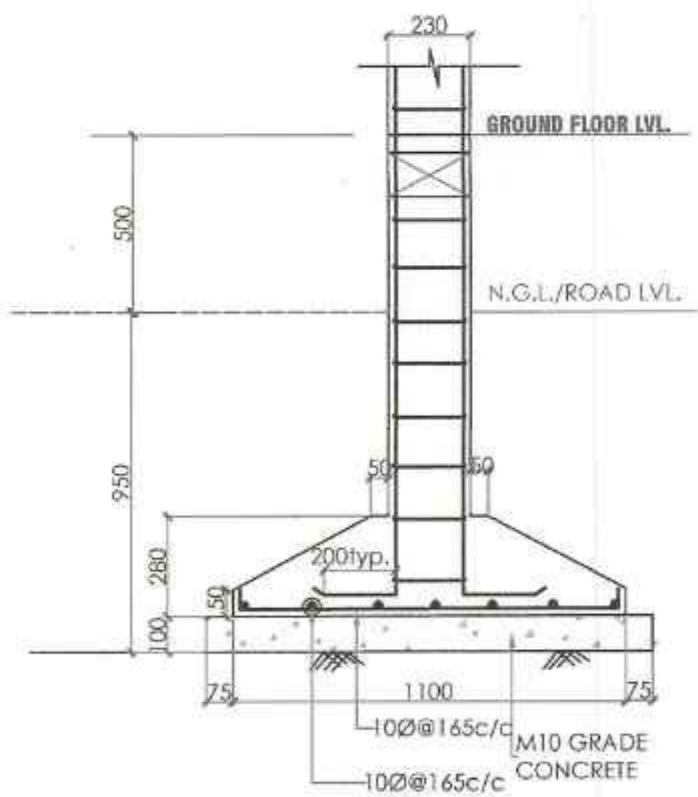


SITE PLAN
(SCALE=1:200)

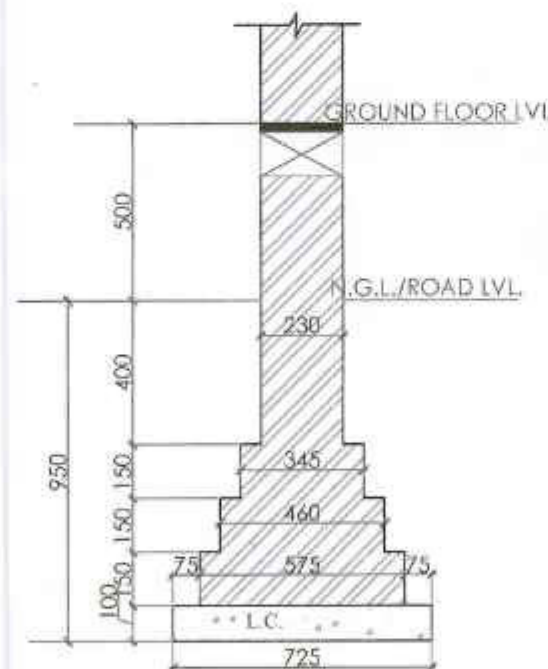
1. आवेदक को लोहा द्वारा निर्धारित ग्राम एरिया पर कब्जा
2. आवेदक को 14% ब्याज अतिरिक्त देय होगा।
3. आवेदक को इच्छित नगरपालिका क्षेत्र में निर्माण कार्य कराया जायेगा।
4. आवेदक को इच्छित नगरपालिका क्षेत्र में निर्माण कार्य कराया जायेगा।
5. आवेदक को इच्छित नगरपालिका क्षेत्र में निर्माण कार्य कराया जायेगा।
6. आवेदक को इच्छित नगरपालिका क्षेत्र में निर्माण कार्य कराया जायेगा।
7. आवेदक को इच्छित नगरपालिका क्षेत्र में निर्माण कार्य कराया जायेगा।
8. आवेदक को इच्छित नगरपालिका क्षेत्र में निर्माण कार्य कराया जायेगा।
9. आवेदक को इच्छित नगरपालिका क्षेत्र में निर्माण कार्य कराया जायेगा।
10. आवेदक को इच्छित नगरपालिका क्षेत्र में निर्माण कार्य कराया जायेगा।



FRONT ELEVATION
(SCALE=1:100)



TYP. SECTION OF COLUMN FOOTING
(scale=1:20)



TYP. SECTION FOR 230 THK. BRICK WALL
(scale=1:20)



SECTION X-X
(SCALE=1:50)

SPECIFICATIONS:

Foundation	- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
Superstructure	- Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
Slab	- R.C.C. slab as per structural design in M:25 grade conc.
Joinery	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
Flooring	- Vitrified tiles/marble/kota/c.c.
Painting	- O.S.D. inside & cement based waterproofing paint outside.
Plaster	- 12mm plaster in 1:6 c.m.
Plumbing & sanitary fitting	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
Electrical work	- Conducting wiring & M.C.B. with I.S.I. marked material.

MINI TOWNSHIP AT KHASRA NO.1703 &1700,NATKUR, PARGANA BIJNOUR,LUCKNOW

PLOT NO. B2-34

Developer:
GREEN APPLE INFRA TECH PRIVATE LIMITED

- NOTES:
1. Architect shall not be responsible for any deviation at site by the developer.
 2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE SUBMISSION.
 3. Layout approved vide permit no.1014, dated 05.12.2025.

DOOR/ WINDOW SCHEDULE:

S.NO.	TYPE	SIZE
1.	D1	1000x2400
2.	D2	950x2100
3.	D3	755x2100
4.	D4	800x2100
5.	D5	1000x2100
6.	DW1	2000x2100
7.	DW2	1925x2400
8.	W1	500x1050
9.	W2	1155x1500
10.	W3	1045x1200
11.	W4	1195x1200
12.	V1	500x600
13.	W5	1925x1500
14.	D6	900x2100

AREA STATEMENT :

	SQ. MT.
1.) TOTAL PLOT AREA	102.24sq.mt.
2.) COVERED AREA ON GROUND FLOOR	74.48sq.mt.
3.) COVERED AREA ON FIRST FLOOR	64.00sq.mt.
4.) OPEN AREA	27.76sq.mt.
5.) MUMTY AREA	9.19sq.mt.
6.) PROJECTION AREA (half area to be included in F.A.R.)	15.19sq.mt.
7.) TOTAL BUILT-UP AREA (2+3+5+half of 6) -FOR F.A.R.	155.27sq.mt.
8.) GROUND COVERAGE ACHIEVED (permissible-75%)	72.85%
9.) F.A.R. ACHIEVED (permissible-1.80)	1.519

DEVELOPER

Green Apple Infotech Pvt. Ltd.

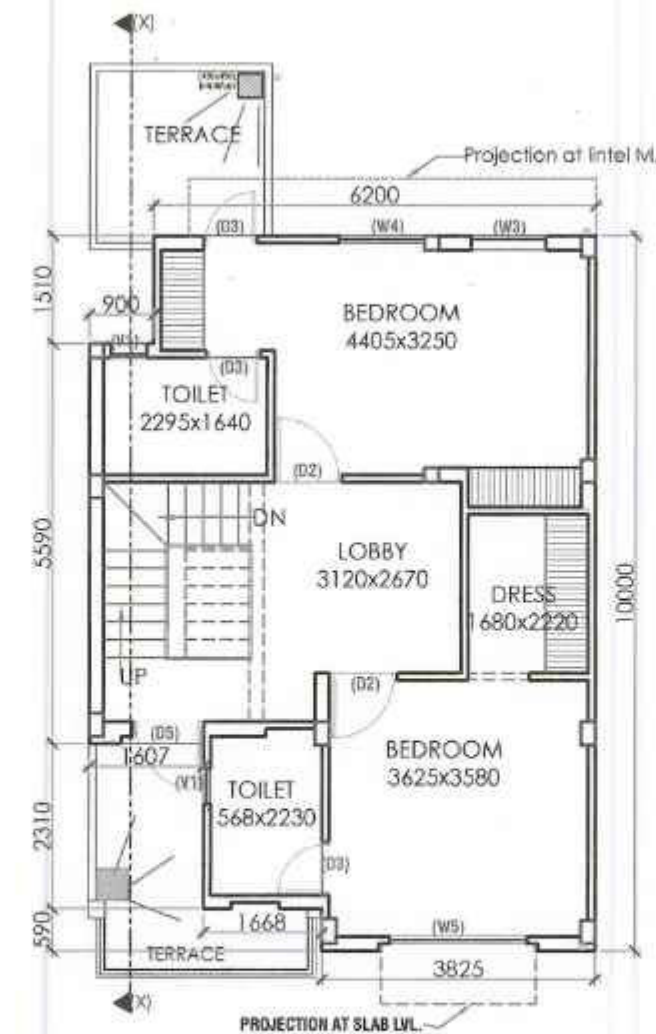
ARCHITECT

espaces
Ar. Sanjay Kumar Gupta
108/F, Floor, Corporate Chamber-1,
Vishnu Khari, Ganga Nagar,
Lucknow-226010
Ph: No. 4065088, 3415114589
email-espaces.arch@gmail.com





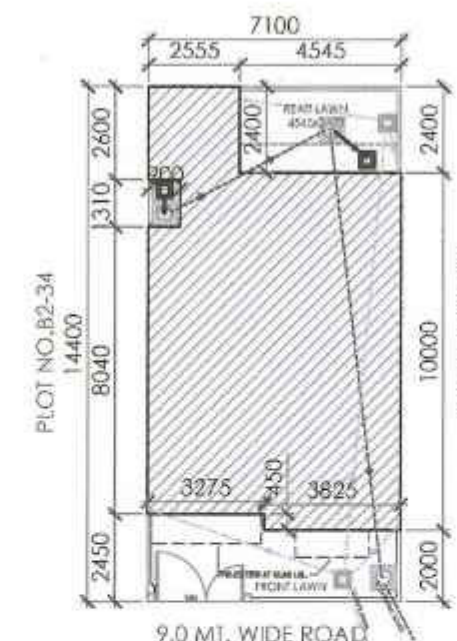
GROUND FLOOR PLAN
(SCALE=1:100)



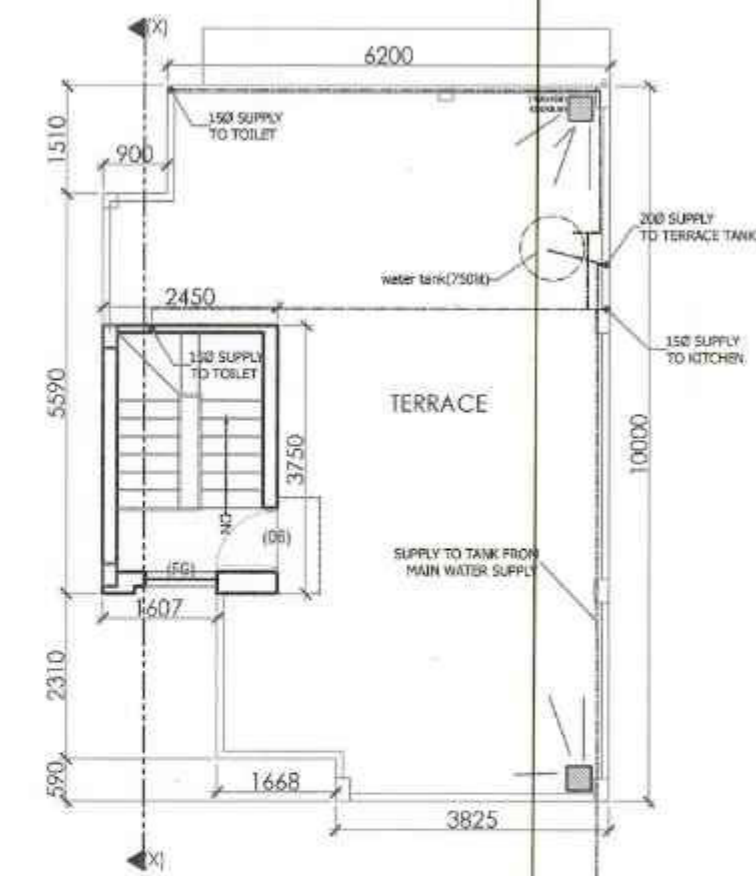
FIRST FLOOR PLAN
(SCALE=1:100)



FRONT ELEVATION
(SCALE=1:100)



SITE PLAN
(SCALE=1:200)



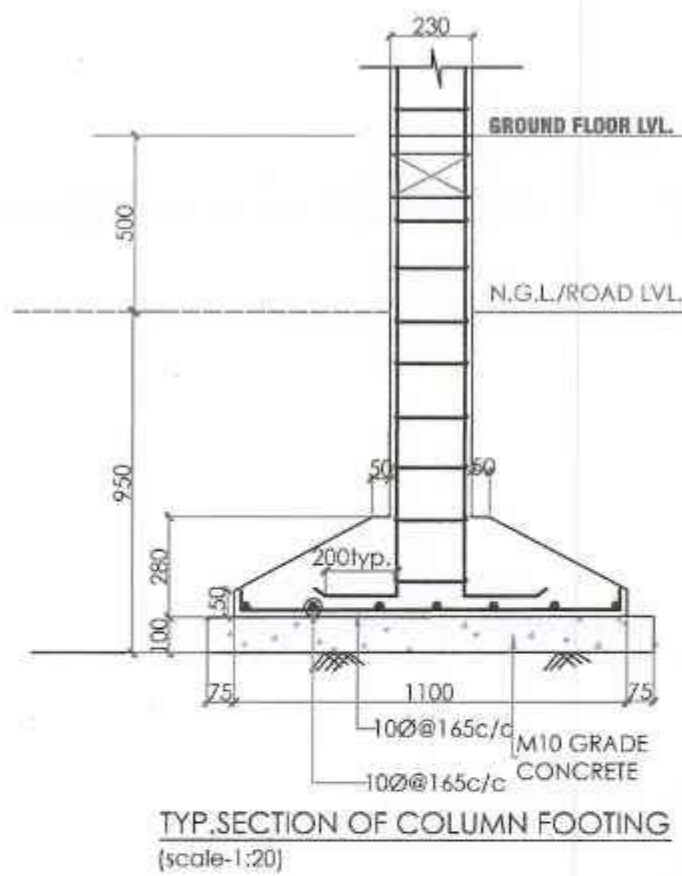
TERRACE PLAN
(SCALE=1:100)

1. आवेदक को लीडा द्वारा निर्धारित ग्राम रूकिया पर खसरा नं. 1703 & 1700 की दर से खसरा करना होगा। खसरा नं. 1703 में 14% जहाँजहाँ अतिरिक्त देगा होगा।
2. आवेदक को खसरा नं. 1703 में खसरा कर देना होगा। खसरा नं. 1703 में खसरा कर देना होगा।
3. आवेदक को खसरा नं. 1703 में खसरा कर देना होगा। खसरा नं. 1703 में खसरा कर देना होगा।
4. आवेदक को खसरा नं. 1703 में खसरा कर देना होगा। खसरा नं. 1703 में खसरा कर देना होगा।
5. आवेदक को खसरा नं. 1703 में खसरा कर देना होगा। खसरा नं. 1703 में खसरा कर देना होगा।
6. आवेदक को खसरा नं. 1703 में खसरा कर देना होगा। खसरा नं. 1703 में खसरा कर देना होगा।
7. आवेदक को खसरा नं. 1703 में खसरा कर देना होगा। खसरा नं. 1703 में खसरा कर देना होगा।
8. आवेदक को खसरा नं. 1703 में खसरा कर देना होगा। खसरा नं. 1703 में खसरा कर देना होगा।
9. आवेदक को खसरा नं. 1703 में खसरा कर देना होगा। खसरा नं. 1703 में खसरा कर देना होगा।
10. आवेदक को खसरा नं. 1703 में खसरा कर देना होगा। खसरा नं. 1703 में खसरा कर देना होगा।

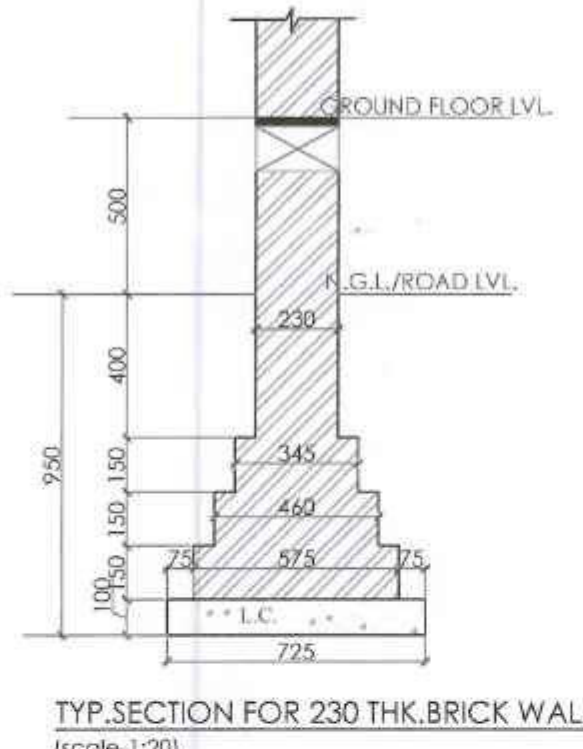
मानविक उत्तर प्रदेश औद्योगिक क्षेत्र विकास अधिनियम 1976 की धारा 19 के अंतर्गत इस प्रतिबन्ध सहित स्वीकृत किया जाता है कि विकास प्राधिकरण भूमि विषयक स्वीकृत के लिये विवरण बाध्य नहीं है।



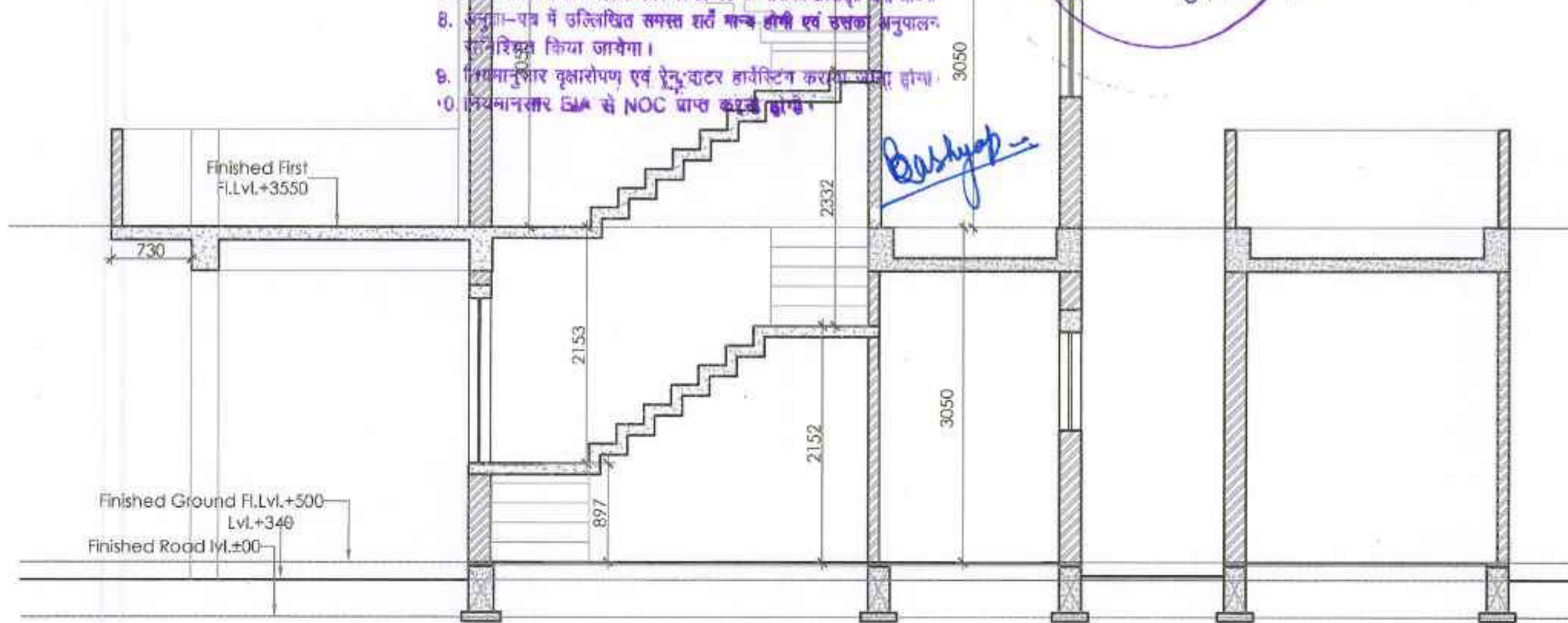
LOCATION PLAN
(NOT TO SCALE)



TYP. SECTION OF COLUMN FOOTING
(scale=1:20)



TYP. SECTION FOR 230 THK. BRICK WALL
(scale=1:20)



SECTION X-X
(SCALE=1:30)

MINI TOWNSHIP AT KHASRA NO.1703 & 1700, NATKUR, PARGANA BIJNOUR, LUCKNOW

PLOT NO. B2-35

Developer:
GREEN APPLE INFRASTRUCTURE PRIVATE LIMITED

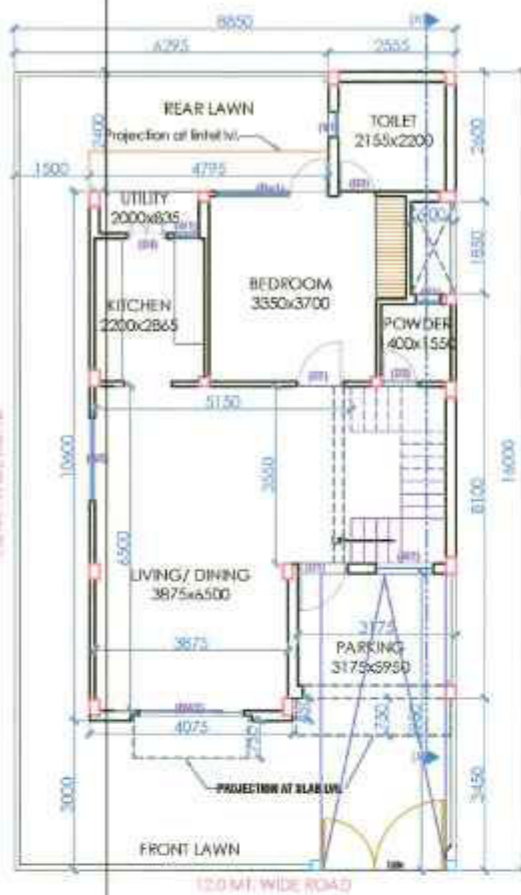
- NOTES:
1. Architect shall not be responsible for any deviation at site by the developer.
 2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE SUBMISSION.
 3. Layout approved vide permit no.1014, dated 05.12.2025.

DOOR/ WINDOW SCHEDULE :		
S.NO.	TYPE	SIZE
1.	D1	1000x2400
2.	D2	950x2100
3.	D3	755x2100
4.	D4	800x2100
5.	D5	1000x2100
6.	DW1	2000x2100
7.	DW2	1925x2400
8.	W1	500x1050
9.	W2	1155x1500
10.	W3	1045x1200
11.	W4	1195x1200
12.	V1	900x600
13.	W5	1925x1500
14.	D6	900x2100

AREA STATEMENT :		SQ. MT.
1.) TOTAL PLOT AREA		102.24sq.mt.
2.) COVERED AREA ON GROUND FLOOR		74.48sq.mt.
3.) COVERED AREA ON FIRST FLOOR		64.00sq.mt.
4.) OPEN AREA		27.76sq.mt.
5.) MUMTY AREA		9.19sq.mt.
6.) PROJECTION AREA (half area to be included in F.A.R.)		15.19sq.mt.
7.) TOTAL BUILT-UP AREA (2+3+5+half of 6)-FOR F.A.R.		155.27sq.mt.
8.) GROUND COVERAGE ACHIEVED (permissible=75%)		72.85%
9.) F.A.R. ACHIEVED (permissible=1.80)		1.519

DEVELOPER	ARCHITECT
Green Apple Infrastruct Pvt. Ltd.	Ar. Sanjay Kumar Gupta 108 F. Floor Corporate Chamber-1, Vishali Khand, Ganga Nagar, Lucknow-226010 Ph No. 4069968, 9415114988 email-espaces.arch@gmail.com

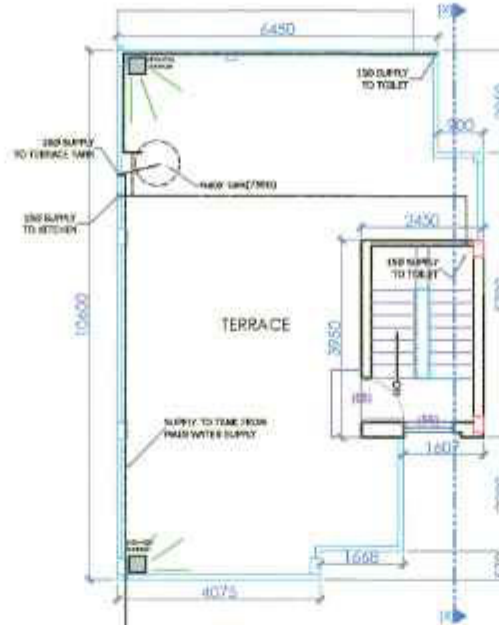
SPECIFICATIONS:	
Foundation	- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
Superstructure	- Composite structure with brick work & R.C.C. columns as per structural design, (earthquake resistant)
Slab	- R.C.C. slab as per structural design in M:25 grade conc.
Joinery	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
Flooring	- Vitrified tiles/marble/kota/c.c.
Painting	- O.B.D. inside & cement based waterproofing paint outside.
Plaster	- 12mm plaster in 1:6 c.m.
Plumbing & sanitary fitting	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
Electrical work	- Conduiting, wiring & M.C.B. with I.S.I. marked material.



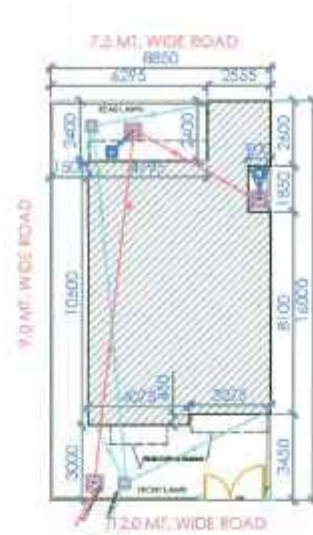
GROUND FLOOR PLAN
(SCALE=1:100)



FIRST FLOOR PLAN
(SCALE=1:100)



TERRACE PLAN
(SCALE=1:100)



SITE PLAN
(SCALE=1:200)



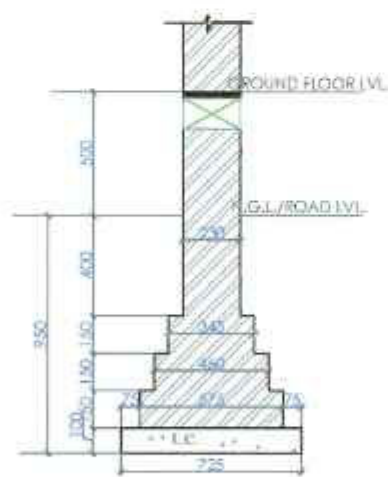
FRONT ELEVATION
(SCALE=1:100)



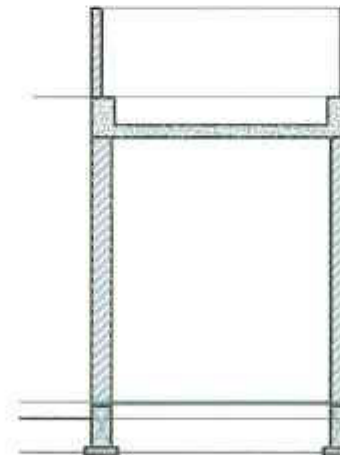
LOCATION PLAN
(NOT TO SCALE)



TYP. SECTION OF COLUMN FOOTING
(Scale=1:20)

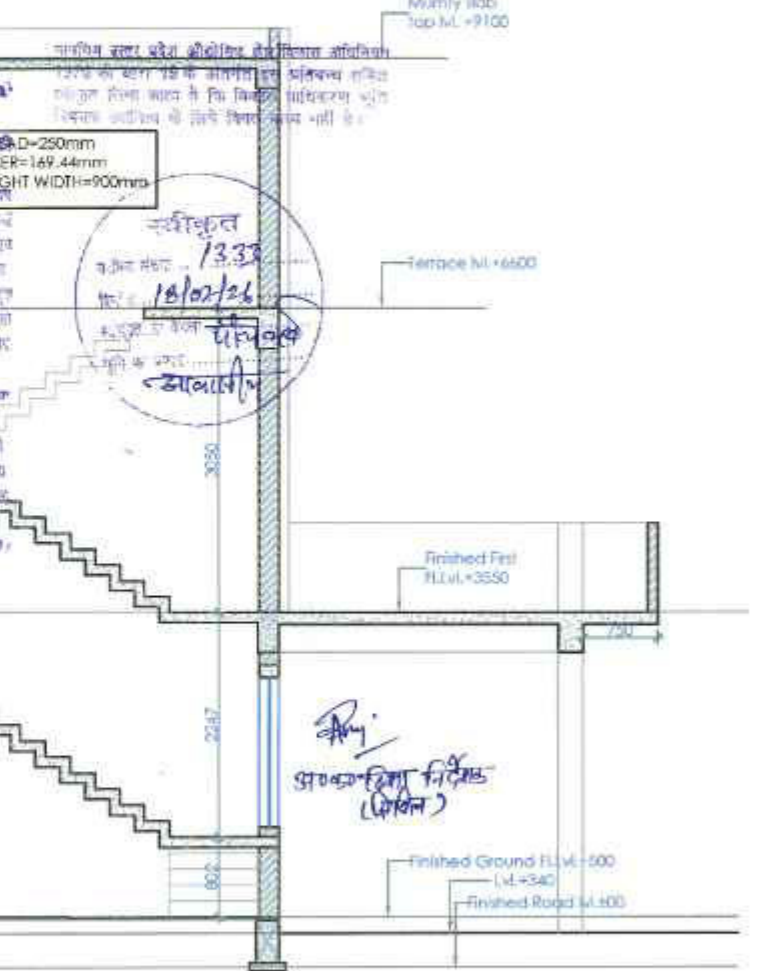


TYP. SECTION FOR 230 THK. BRICK WALL
(Scale=1:20)



SECTION X-X
(SCALE=1:50)

- नियम एवं शर्तें**
- आवेदक को प्लॉट द्वारा निर्धारित मानक शर्तों का पालन करना होगा।
 - आवेदक को अपने प्लॉट पर बनाने वाले सभी भवन/संरचनाओं के लिए प्लॉट का 14% भाग आवंटित करने होंगे।
 - आवेदक को अपने प्लॉट पर बनाने वाले सभी भवन/संरचनाओं के लिए प्लॉट का 14% भाग आवंटित करने होंगे।
 - आवेदक को अपने प्लॉट पर बनाने वाले सभी भवन/संरचनाओं के लिए प्लॉट का 14% भाग आवंटित करने होंगे।
 - आवेदक को अपने प्लॉट पर बनाने वाले सभी भवन/संरचनाओं के लिए प्लॉट का 14% भाग आवंटित करने होंगे।
 - आवेदक को अपने प्लॉट पर बनाने वाले सभी भवन/संरचनाओं के लिए प्लॉट का 14% भाग आवंटित करने होंगे।
 - आवेदक को अपने प्लॉट पर बनाने वाले सभी भवन/संरचनाओं के लिए प्लॉट का 14% भाग आवंटित करने होंगे।
 - आवेदक को अपने प्लॉट पर बनाने वाले सभी भवन/संरचनाओं के लिए प्लॉट का 14% भाग आवंटित करने होंगे।
 - आवेदक को अपने प्लॉट पर बनाने वाले सभी भवन/संरचनाओं के लिए प्लॉट का 14% भाग आवंटित करने होंगे।
 - आवेदक को अपने प्लॉट पर बनाने वाले सभी भवन/संरचनाओं के लिए प्लॉट का 14% भाग आवंटित करने होंगे।



SPECIFICATIONS:	
Foundation	- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
Superstructure	- Composite structure with brick work & R.C.C. columns as per structural design (earthquake resistant).
Slab	- R.C.C. slab as per structural design in M25 grade conc.
Joinery	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
Flooring	- Vitrified tiles/marble/kotla/c.c.
Painting	- O.B.D. inside & cement based waterproofing paint outside.
Plaster	- 12mm plaster in 1:3 c.m.
Plumbing & sanitary fitting	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
Electrical work	- Conduiting wiring & M.C.B. with I.S.I. marked material.

MINI TOWNSHIP AT KHASRA NO.1703 & 1700, NATKUR, PARGANA BIJNOUR, LUCKNOW

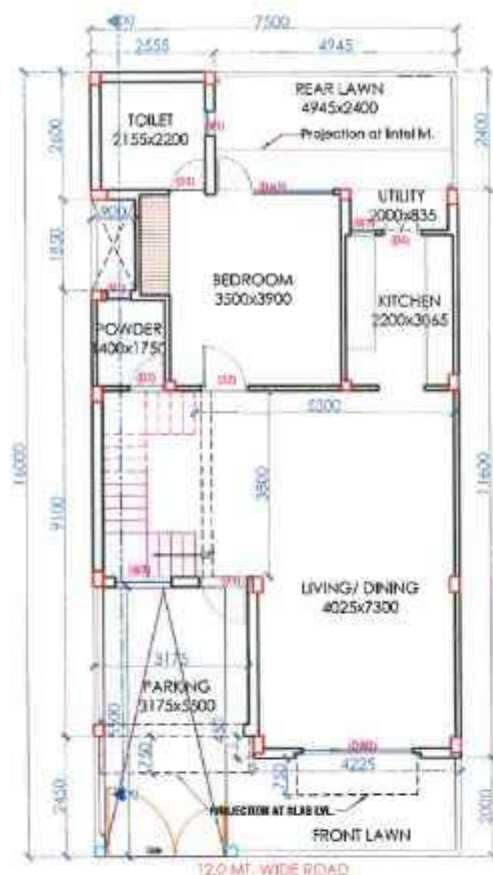
PLOT NO. A-01
Developer:
GREEN APPLE INFRA TECH PRIVATE LIMITED

- NOTES:
1. Architect shall not be responsible for any deviation at site by the developer.
 2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE SUBMISSION.
 3. Layout approved vide permit no.1014, dated 05.12.2025.

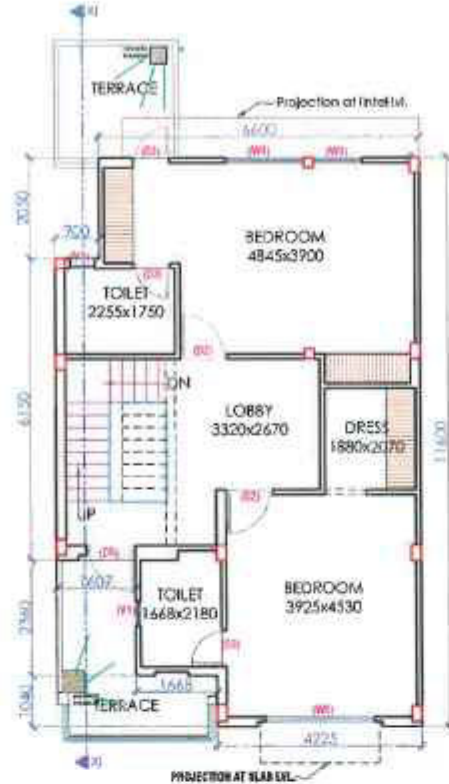
DOOR/WINDOW SCHEDULE:		
S.NO.	TYPE	SIZE
1.	D1	1000x2400
2.	D2	950x2100
3.	D3	755x2100
4.	D4	800x2100
5.	D5	1000x2100
6.	DW1	2400x2100
7.	DW2	2250x2400
8.	W1	500x1050
9.	W2	1155x1500
10.	W3	1020x1200
11.	W4	1275x1200
12.	V1	500x600
13.	W5	2255x1500
14.	D6	900x2100

AREA STATEMENT:		SQ. MT.
1.)	TOTAL PLOT AREA	141.60sq.mt.
2.)	COVERED AREA ON GROUND FLOOR	80.90sq.mt.
3.)	COVERED AREA ON FIRST FLOOR	70.53sq.mt.
4.)	OPEN AREA	60.70sq.mt.
5.)	MUMTY AREA	9.68sq.mt.
6.)	PROJECTION AREA(half area to be included in F.A.R.)	15.20sq.mt.
7.)	TOTAL BUILT-UP AREA(2+3+5+half of 6) FOR F.A.R.	168.71sq.mt.
8.)	GROUND COVERAGE ACHIEVED(permissible-75%)	57.13%
9.)	F.A.R. ACHIEVED(permissible-1.80)	1.191

DEVELOPER	ARCHITECT
Green Apple Infotech Pvt. Ltd.	Ar. Sanjay Kumar Gupta 108, F. Floor Corporate Chambers-I, Vardaan Apartment, Ganga Nagar, Lucknow-226010 Ph No. 4955553, 4921143389 email: arsanjay@sanjaygupta.com



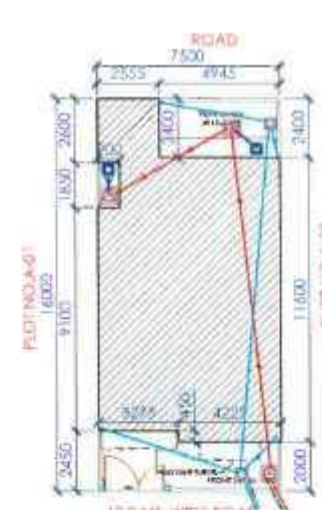
GROUND FLOOR PLAN
(SCALE=1:100)



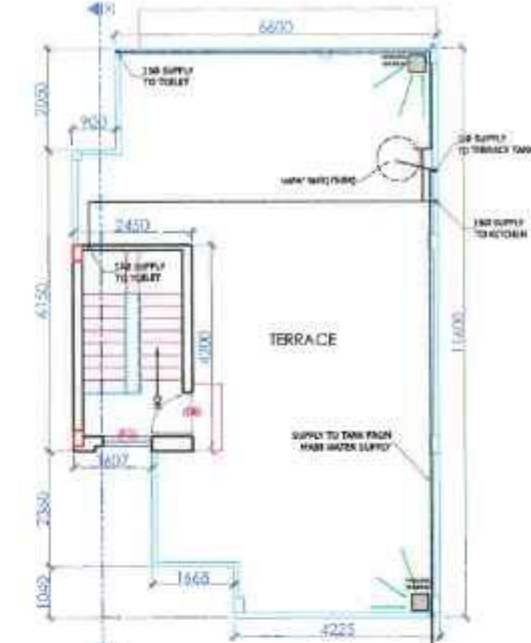
FIRST FLOOR PLAN
(SCALE=1:100)



FRONT ELEVATION
(SCALE=1:100)



SITE PLAN
(SCALE=1:200)



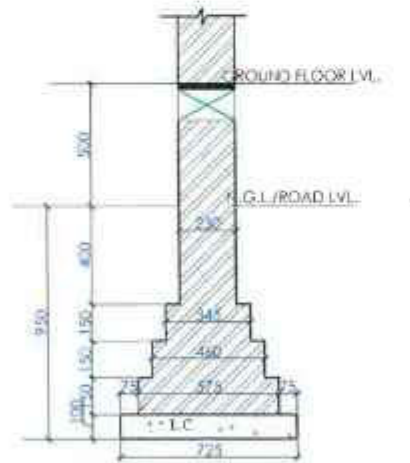
TERRACE PLAN
(SCALE=1:100)



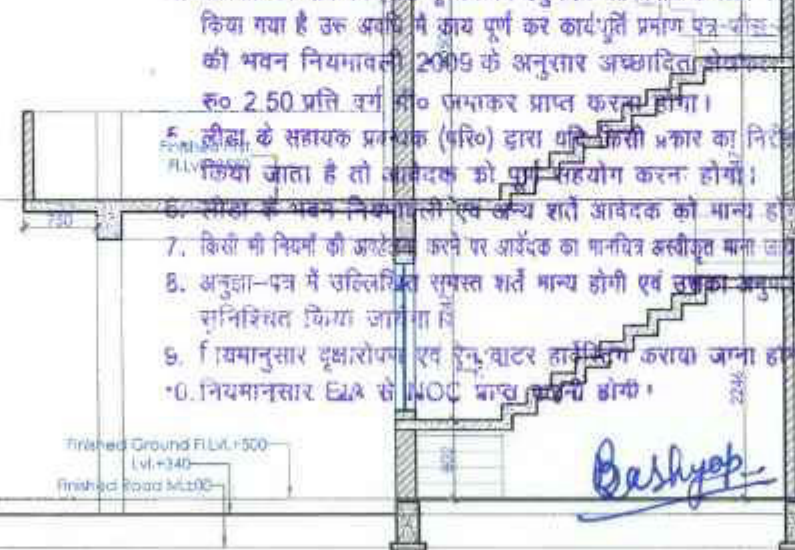
LOCATION PLAN
(NOT TO SCALE)



TYP. SECTION OF COLUMN FOOTING
(scale=1:20)



TYP. SECTION FOR 230 THK. BRICK WALL
(scale=1:20)



SECTION X-X
(SCALE=1:50)

नियम एवं शर्तें

- आवेदक को सीमा दावा विधायक द्वारा प्रदत्त की गई स्थिति में 14% आवासीय अतिरिक्त देना होगा।
- आवेदक को अपने कितने पक्के बने हुए घरों के वितरण की सूचना सीमा दावा को देनी होगी।
- आवेदक को स्वीकृत मानचित्र के अनुरूप ही संबंधित सेक्टर में निर्माण कार्य कराया जाएगा तथा पर कार्य की प्रगति से सीमा दावा को अवगत कराना होगा। विशेषज्ञों की गुणवत्ता में किसी प्रकार की कमी के सिवा सीमा दावा जिम्मेदार नहीं होगा।
- आवेदक का मानचित्र सिर्फ भू-उपयोग हेतु निर्धारित क्षेत्रों के लिए स्वीकृत किया गया है उस अधिनियम का पूर्ण रूप से पालन करना होगा।
- सीमा दावा के भवन निर्माण से संबंधित शर्तें आवेदक को मान्य होंगी।
- किसी भी निर्माण की ज़रूरत होने पर आवेदक का मानचित्र स्वीकृत माना जाएगा।
- अनुशासन में उल्लिखित सुझाव शर्तें मान्य होंगी एवं सीमा दावा अनुमान सन्निहित किया जाएगा।
- विमानानुसार दृष्टारोपण एवं दृष्टांतर हार्मोनिज कराया जाना होगा।
- नियमानुसार EIR से NOC प्राप्त करना होगा।



स्वीकृत
13.02.2026
18.02.2026
पं. अशोक कुमार
अशोक कुमार
(सिनि)

MINI TOWNSHIP AT KHASRA NO.1703 &1700,NATKUR, PARGANA BIJNOUR,LUCKNOW

PLOT NO. A-02

Developer:
GREEN APPLE INFRA TECH PRIVATE LIMITED

NOTES:
1. Architect shall not be responsible for any deviation at site by the developer.
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE SUBMISSION.
3. Layout approved vide permit no.1014, dated 05.12.2025.

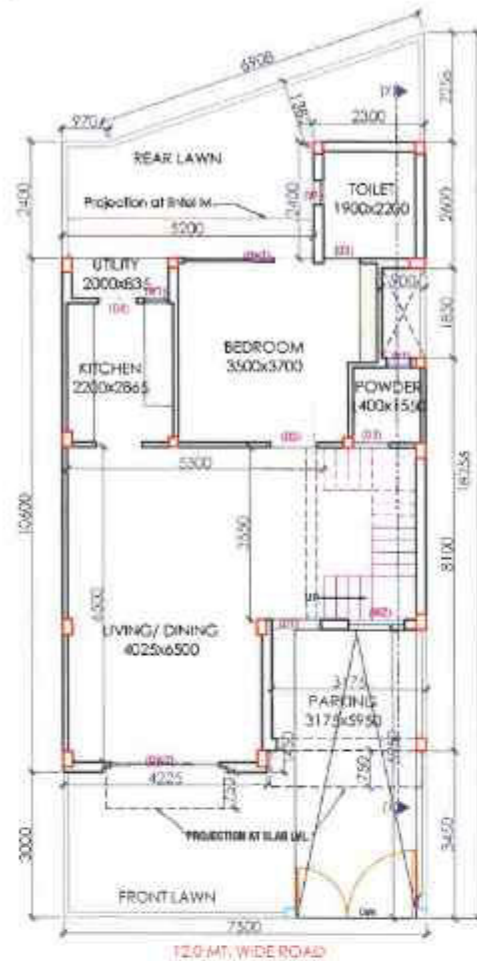
S.NO.	TYPE	SIZE
1.	D1	1000x2400
2.	D2	950x2100
3.	D3	755x2100
4.	D4	800x2100
5.	D5	1000x2100
6.	DW1	2400x2100
7.	DW2	2255x2400
8.	W1	500x1050
9.	W2	1155x1500
10.	W3	1020x1200
11.	W4	1595x1200
12.	V1	500x600
13.	W5	2255x1500
14.	D6	900x2100

AREA STATEMENT :

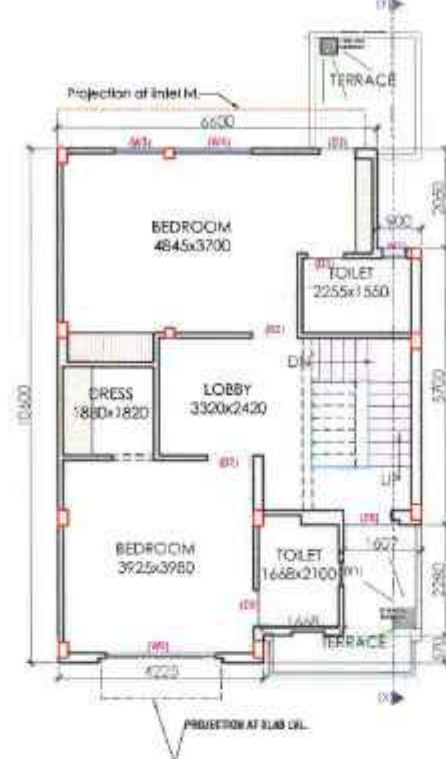
S.NO.	DESCRIPTION	SQ. MT.
1.)	TOTAL PLOT AREA	120.00sq.mt.
2.)	COVERED AREA ON GROUND FLOOR	89.99sq.mt.
3.)	COVERED AREA ON FIRST FLOOR	77.96sq.mt.
4.)	OPEN AREA	29.91sq.mt.
5.)	MUMTY AREA	10.29sq.mt.
6.)	PROJECTION AREA(half area to be included in F.A.R.)	16.75sq.mt.
7.)	TOTAL BUILT-UP AREA(2+3+5+half of 6)-FOR F.A.R.	186.62sq.mt.
8.)	GROUND COVERAGE ACHIEVED(permissible-75%)	74.99%
9.)	F.A.R. ACHIEVED(permissible-1.80)	1.555

DEVELOPER	ARCHITECT
Green Apple Infra Tech Pvt. Ltd.	Ar. Sanjay Kumar Gupta 10A F. Floor, Concorde, Chamber-4 Minerva Road, Ganga Nagar Lucknow-226010 Ph No. 4332950/91/311/4333 email: spaces.arch@gmail.com

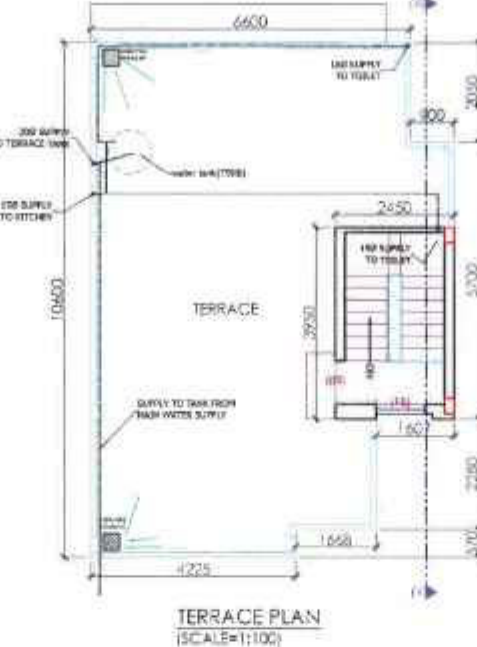
SPECIFICATIONS:	
Foundation	- Stepped brick footing in 1:4 c.m. as per structural design with c.c. columns as per design.
Superstructure	- Composite structure with brick work & R.C.C. columns as per structural design, earthquake resistant.
Slab	- R.C.C. slab as per structural design in M:25 grade conc.
Joinery	- Door frames in sal wood with 32mm commercial board shutter, Windows in aluminium /UPVC.
Flooring	- Vitrified tiles/marble/cotla/c.c.
Painting	- O.B.D. inside & cement based waterproofing paint outside.
Plaster	- 12mm plaster in 1:4 c.m.
Plumbing & sanitary fitting	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
Electrical work	- Conduiting, wiring & M.C.B. with I.S.I. marked material.



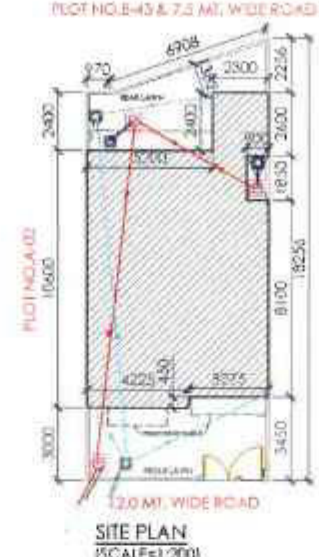
GROUND FLOOR PLAN
(SCALE=1:100)



FIRST FLOOR PLAN
(SCALE=1:100)



TERRACE PLAN
(SCALE=1:100)



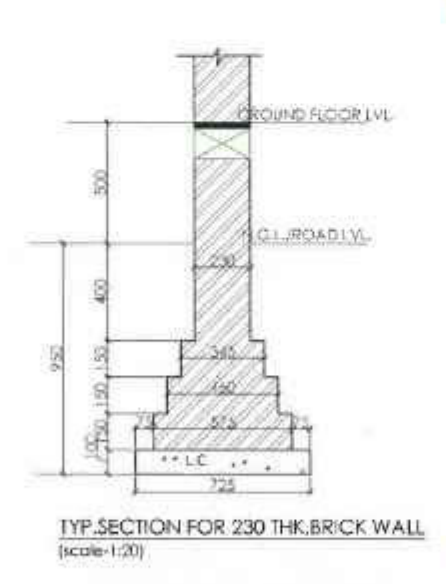
SITE PLAN
(SCALE=1:200)



FRONT ELEVATION
(SCALE=1:100)



TYP. SECTION OF COLUMN FOOTING
(SCALE=1:20)



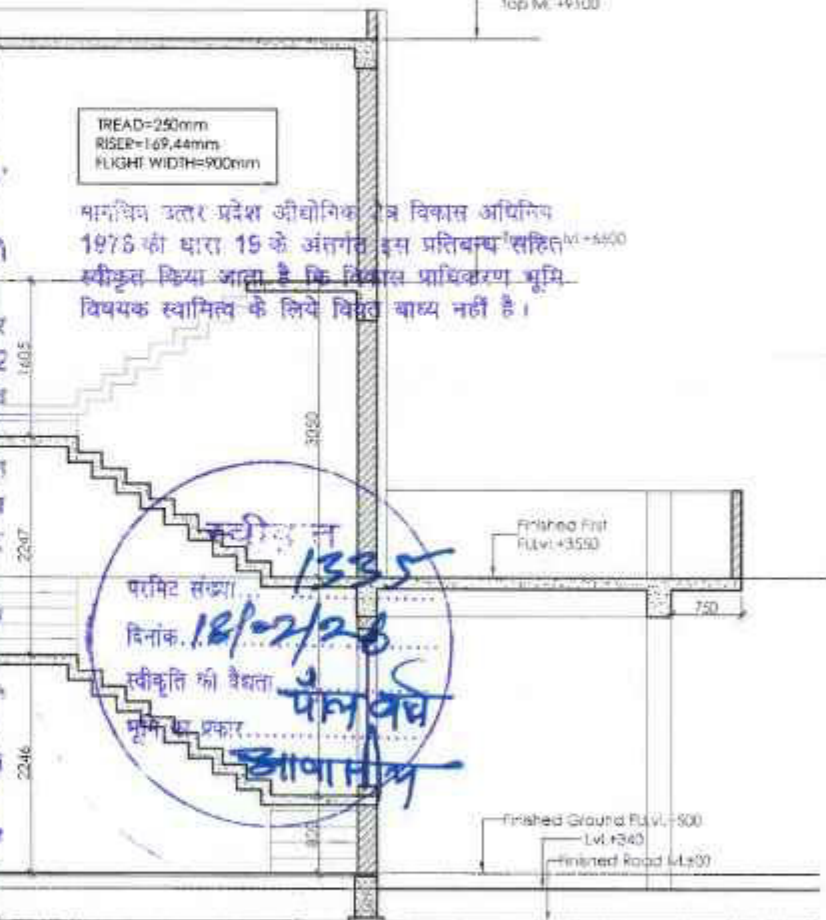
TYP. SECTION FOR 230 THK. BRICK WALL
(SCALE=1:20)



LOCATION PLAN
(NOT TO SCALE)

आवेदन एवं
प्रति वर्ग मी. की दर से जमा करना होगा किस्ता के
विवरण में 14% व्याज अतिरिक्त देय होगा।
आवेदक को अपने वित्त पत्र संबंधी बैंक संचालन के विवरण की
सूचना लीडा को देनी होगी।
1. आवेदक को स्वीकृत मानचित्र के अनुरूप ही संशोधित 'रेगुलर इन्जीनियरिंग' की देख-रेख में निर्माण कार्य कराया जाएगा तथा समस्त 2 पर कार्य की प्रगति से लीडा को अवगत कराया होगा। विशिष्टियों एवं पृथक्ता में किसी प्रकार की कमी के लिये लीडा जिम्मेदार नहीं होगा।
2. आवेदक का मानचित्र जिस भू-उपयोग हेतु निर्धारित अर्थात् के लिये स्वीकृत किया गया है उस अर्थात् के कार्य पूर्ण कर कार्य प्रगति प्रमाण पत्र की लीडा की भवन नियमावली 2009 के अनुसार अंशद्वारा क्षेत्रफल पर रु. 2.50 प्रति वर्ग मी. जमाकर प्राप्त कराया होगा।
3. लीडा के सहायक प्रबंधक (परि०) द्वारा यदि किसी प्रकार का निर्माण किया जाता है तो आवेदक को पूर्ण सहयोग करना होगा।
4. लीडा के भवन नियमावली एवं अन्य शर्तें आवेदक को मान्य होंगी।
5. किसी भी नियमों को अवहेलना करने पर आवेदक का मानचित्र अस्वीकृत किया जाएगा।
6. अनुज्ञा-पत्र में उल्लिखित सख्त शर्तें मान्य होंगी एवं सख्त अनुपालन सुनिश्चित किया जाएगा।
7. नियमानुसार वृक्षारोपण एवं रेनू-वृक्षारोपण करवाया जाना होगा।
8. नियमानुसार F.A.R. से अधिक प्राप्त करनी होगी।

Bashyop..



SECTION X-X
(SCALE=1:50)

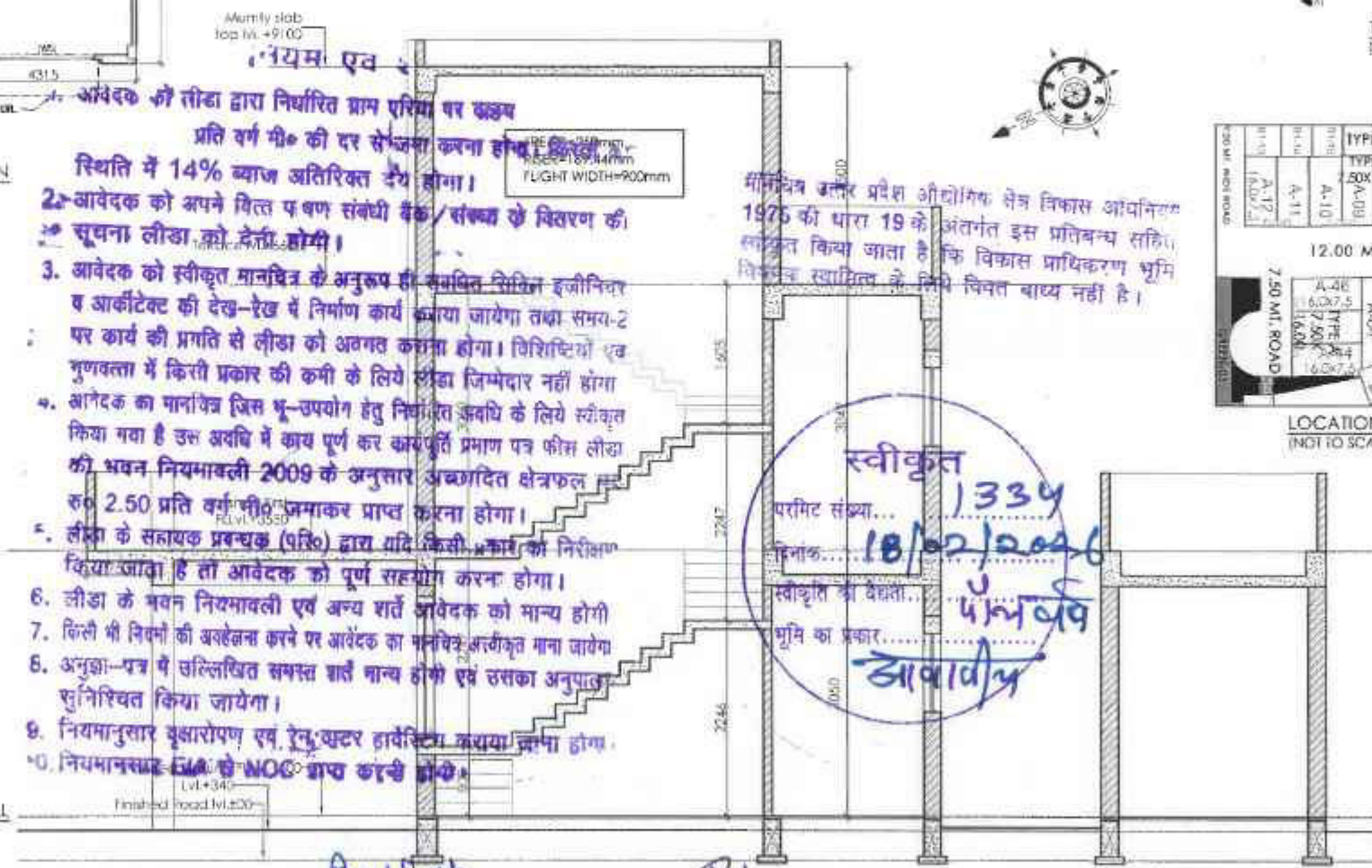
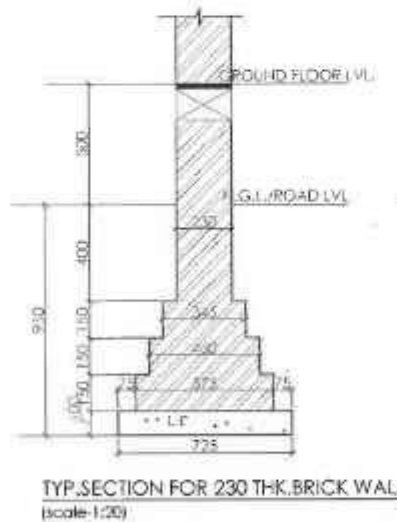
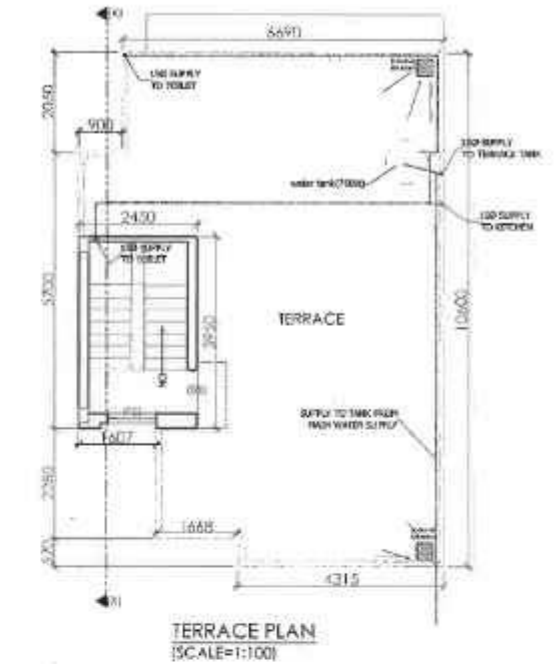
MINI TOWNSHIP AT KHASRA NO.1703 & 1700, NATKUR, PARGANA BIJNOUR, LUCKNOW
PLOT NO. A-03
Developer:
GREEN APPLE INFRA TECH PRIVATE LIMITED
NOTES:
1. Architect shall not be responsible for any deviation at site by the developer.
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE SUBMISSION.
3. Layout approved vide permit no.1014, dated 05.12.2025.

DOOR/ WINDOW SCHEDULE :		
S.NO.	TYPE	SIZE
1.	D1	1000x2400
2.	D2	950x2100
3.	D3	755x2100
4.	D4	800x2100
5.	D5	1000x2100
6.	DW1	2400x2100
7.	DW2	2255x2400
8.	W1	500x1050
9.	W2	1155x1500
10.	W3	1000x1200
11.	W4	1595x1200
12.	V1	500x400
13.	W5	2255x1500
14.	D6	900x2100

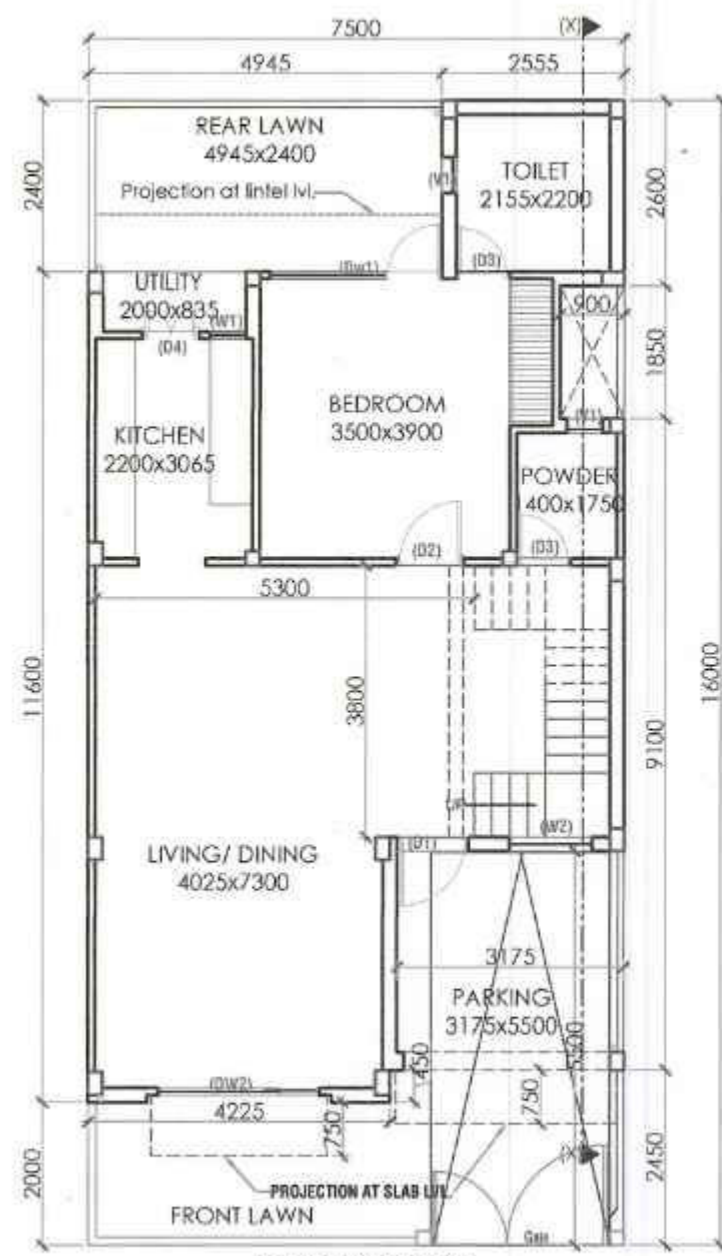
AREA STATEMENT :		SQ. MT.
1.) TOTAL PLOT AREA		127.28sq.mt.
2.) COVERED AREA ON GROUND FLOOR		81.88sq.mt.
3.) COVERED AREA ON FIRST FLOOR		72.12sq.mt.
4.) OPEN AREA		45.40sq.mt.
5.) MUMTY AREA		9.68sq.mt.
6.) PROJECTION AREA (half area to be included in F.A.R.)		15.87sq.mt.
7.) TOTAL BUILT-UP AREA (2x3+5+half of 6) FOR F.A.R.		171.62sq.mt.
8.) GROUND COVERAGE ACHIEVED (permissible-75%)		64.33%
9.) F.A.R. ACHIEVED (permissible-1.80)		1.346

DEVELOPER
Green Apple Infotech Pvt. Ltd.
ARCHITECT
At Ranjay Kumar Gupta
108/5, First Floor, Ganga Nagar,
Village Khasra, District Meerut,
Lucknow-226012
Ph. No. 930909, 930911, 930912
Email: greenappleinfotech@gmail.com

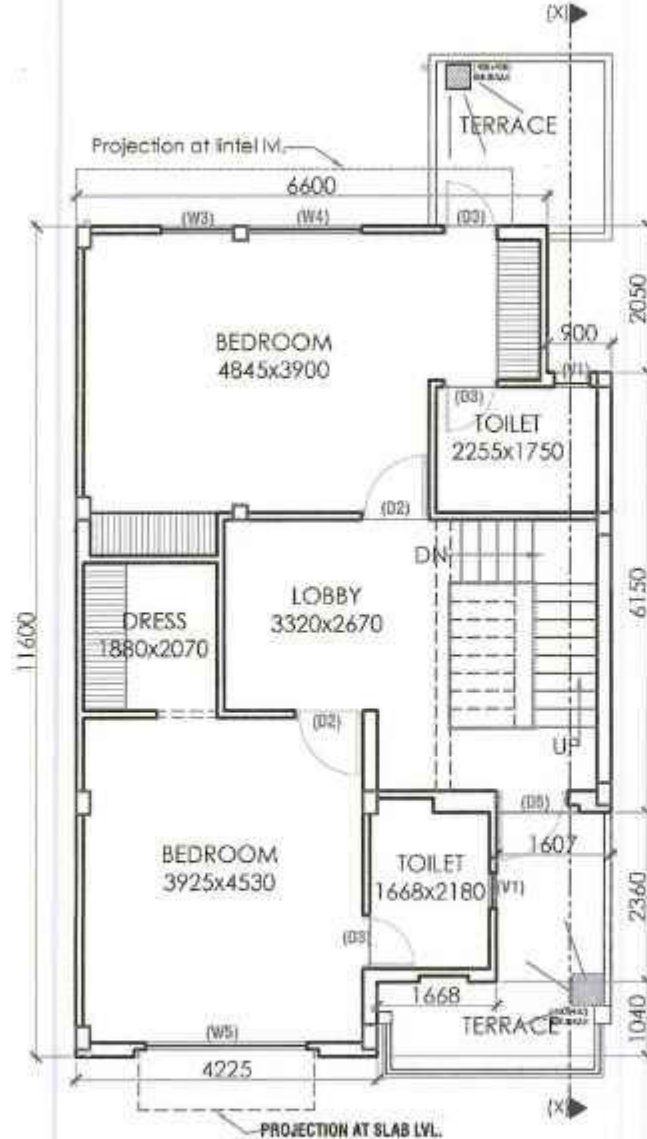
SPECIFICATIONS:	
Foundation	-Stepped brick footing in 1:3 c.m. as per structural design with R.C.C. columns as per design.
Superstructure	-Composite structure with brick work & R.C.C. columns as per structural design (earthquake resistant)
Slab	-R.C.C. slab as per structural design in M25 grade conc.
Joinery	-Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
Flooring	-Vitrified tiles/marble/kola/c.c.
Painting	-O.B.D. inside & cement based waterproofing paint outside.
Plaster	-12mm plaster in 1:6 c.m.
Plumbing & sanitary fitting	-All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
Electrical work	-Conducting wiring & M.C.B. with I.S.I. marked material.



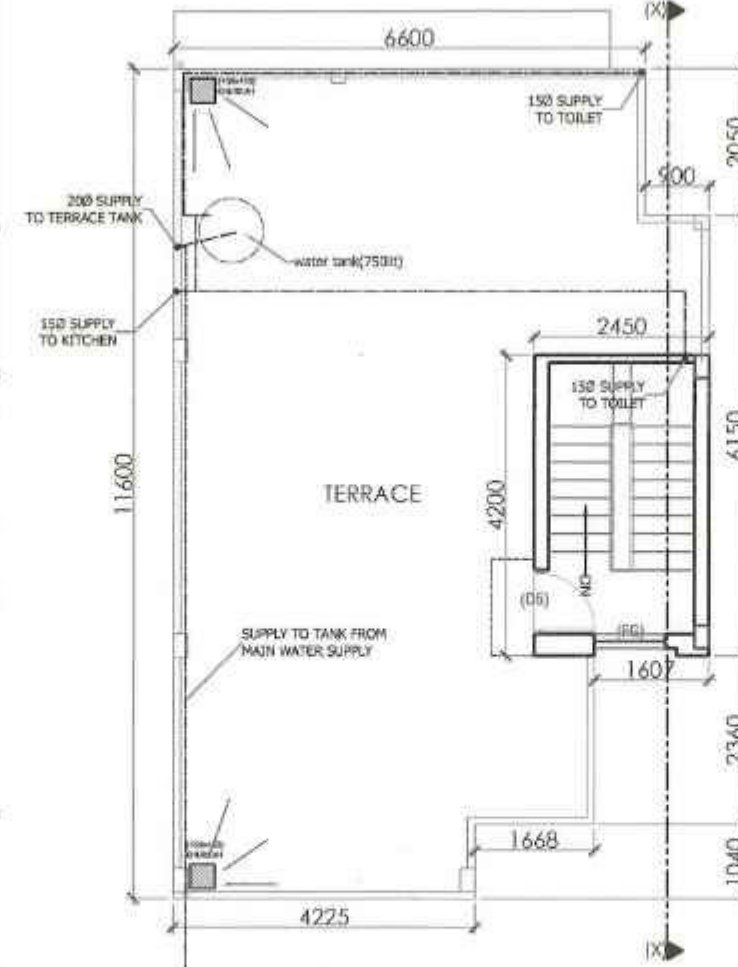
SPECIFICATIONS:	
Foundation	- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
Superstructure	- Composite structure with brick work & R.C.C. columns as per structural design.(earthquake resistant)
Slab	- R.C.C. slab as per structural design in M25 grade conc.
Joinery	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium ALPVC.
Flooring	- Vitrified tiles/marble/slate/c.c.
Painting	- O.B.D. inside & cement based waterproofing paint outside.
Plaster	- 12mm plaster in 1:6 c.m.
Plumbing & sanitary fitting	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixture.
Electrical work	- Conduiting wiring & M.C.B. with I.S.I. marked material.



GROUND FLOOR PLAN
(SCALE=1:100)



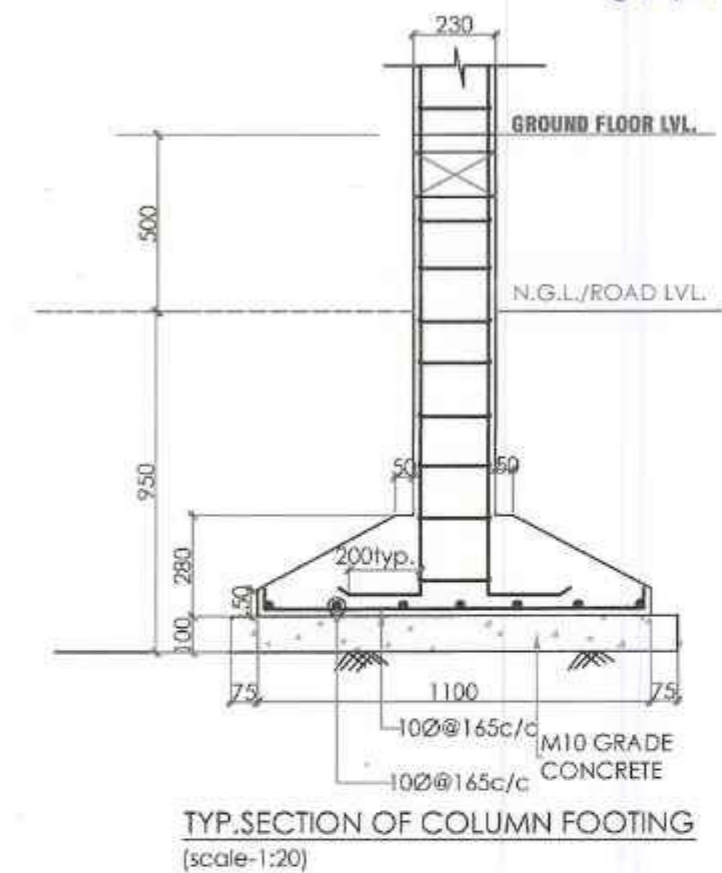
FIRST FLOOR PLAN
(SCALE=1:100)



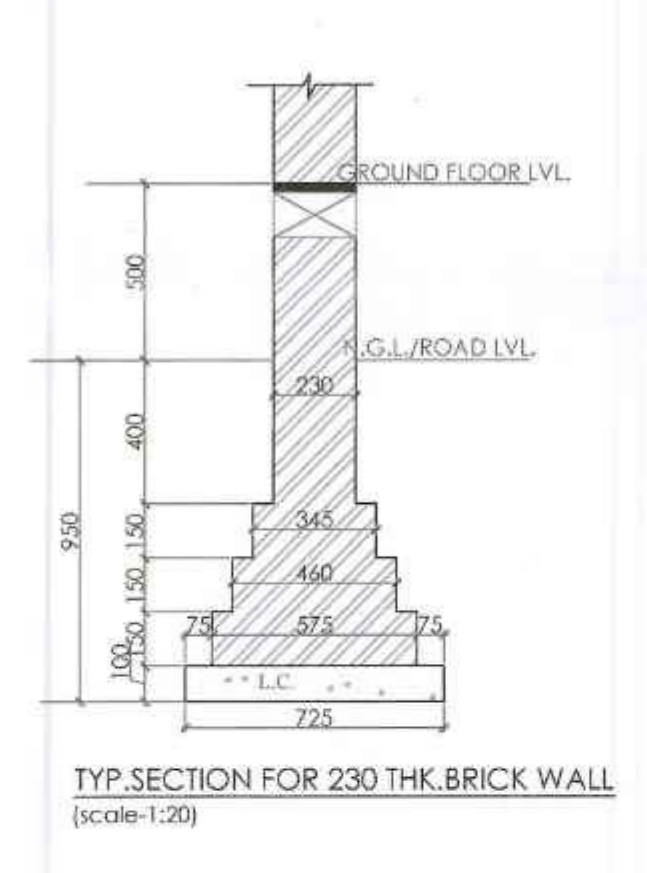
TERRACE PLAN
(SCALE=1:100)



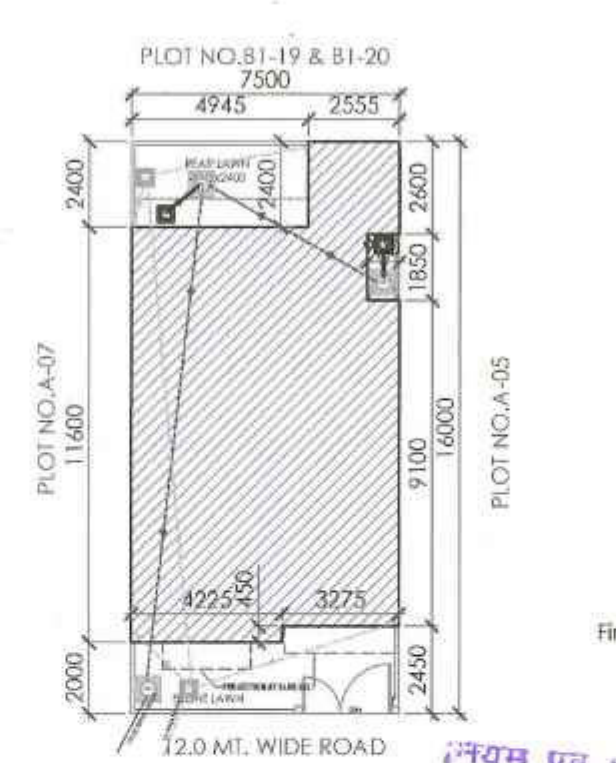
LOCATION PLAN
(NOT TO SCALE)



TYP. SECTION OF COLUMN FOOTING
(scale=1:20)



TYP. SECTION FOR 230 THK. BRICK WALL
(scale=1:20)



SITE PLAN
(SCALE=1:200)



FRONT ELEVATION
(SCALE=1:100)

- नियम एवं शर्त**
- स्थिति में 14% व्याज अतिरिक्त दिये लेंगे।
 - आवेदक को अपने दित प वन संबंधी बैंक/संस्था से निवृत्ति की सूचना लीड को देनी होगी।
 - आवेदक को हरियाणा राजस्व विभाग के अधीन 'सर्वे' इन्फोर्मेशन एंड आर्किटेक्चर के तहत 'रेड' में निर्माण कार्य करना होगा। निर्माण कार्य पर कार्य की प्रगति के लीड को अवगत कराया जाएगा। निर्माण कार्य गुणवत्ता में कि-0 प्रकर की कमी के लिये लीड को दंडित किया जाएगा।
 - आवेदक का मान में कि-0 प्रकरण हेतु निर्माण कार्य में कि-0 प्रकरण किया जाता है पर प्रकरण में कार्य पूर्ण कर कार्यवाही प्रमाण पत्र को लीड को प्रदान किया जाएगा।
 - लीड के सहयोग प्रकरण (परि-0) द्वारा यदि किसी प्रकार का निरीक्षण किया जाता है तो आवेदक को पूर्ण सहयोग करना होगा।
 - कि-0 नियमों को अवगत करनी एवं अन्य शर्त आवेदक को मान्य होगी।
 - अनुमान-पत्र में उल्लिखित संकट शर्त मान्य होगी एवं संकट अनुपालन सुनिश्चित किया जाएगा।
 - नियमानुसार वृक्षारोपण एवं हेतु कार्य प्रवेष्टित करना होगा।
 - नियमानुसार EIA से NOC प्राप्त करने होगा।



SECTION X-X
(SCALE=1:50)

SPECIFICATIONS:

Foundation	- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
Superstructure	- Composite structure with brick work & R.C.C. columns as per structural design (earthquake resistant).
Slab	- R.C.C. slab as per structural design in M:25 grade conc.
Joinery	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
Flooring	- Vitrified tiles/marble/kota/c.c.
Painting	- O.B.D. inside & cement based waterproofing paint outside.
Plaster	- 12mm plaster in 1:6 c.m.
Plumbing & sanitary fitting	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
Electrical work	- Conducting wiring & M.C.B. with I.S.I. marked material.

MINI TOWNSHIP AT KHASRA NO.1703 & 1700, NATKUR, PARGANA BIJNOUR, LUCKNOW

PLOT NO. A-06

Developer:
GREEN APPLE INFRA TECH PRIVATE LIMITED

- NOTES:**
1. Architect shall not be responsible for any deviation at site by the developer.
 2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE SUBMISSION.
 3. Layout approved vide permit no.1014, dated 05.12.2025.

DOOR/ WINDOW SCHEDULE :

S.NO.	TYPE	SIZE
1.	D1	1000x2400
2.	D2	950x2100
3.	D3	755x2100
4.	D4	800x2100
5.	D5	1000x2100
6.	DW1	2400x2100
7.	DW2	2255x2400
8.	W1	500x1050
9.	W2	1155x1500
10.	W3	1020x1200
11.	W4	1595x1200
12.	V1	500x600
13.	W5	2255x1500
14.	D6	900x2100

AREA STATEMENT :

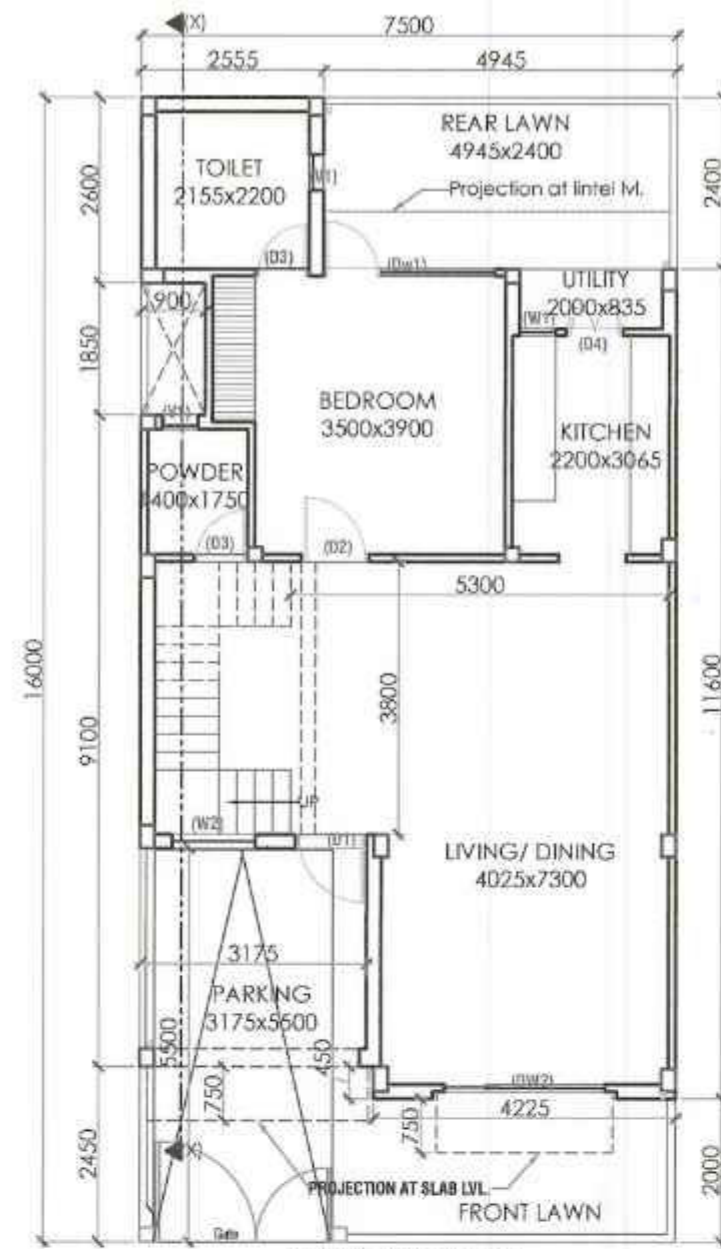
	SQ. MT.
1.) TOTAL PLOT AREA	120.00sq.mt.
2.) COVERED AREA ON GROUND FLOOR	89.99sq.mt.
3.) COVERED AREA ON FIRST FLOOR	77.96sq.mt.
4.) OPEN AREA	29.91sq.mt.
5.) MUMTY AREA	10.29sq.mt.
6.) PROJECTION AREA (half area to be included in F.A.R.)	16.75sq.mt.
7.) TOTAL BUILT-UP AREA (2+3+5+half of 6) -FOR F.A.R.	186.62sq.mt.
8.) GROUND COVERAGE ACHIEVED (permissible-75%)	74.99%
9.) F.A.R. ACHIEVED (permissible-1.80)	1.555

DEVELOPER

Green Apple Infotech Pvt. Ltd.
Director

ARCHITECT

espaces
Ar. Sanjay Kumar Gupta
108/F, Floor, Corporate Chamber-1,
Vishnu Khanda, Gomti Nagar,
Lucknow-226010
PH: No. 9088688, 9415114589
email-espaces.aron@gmail.com



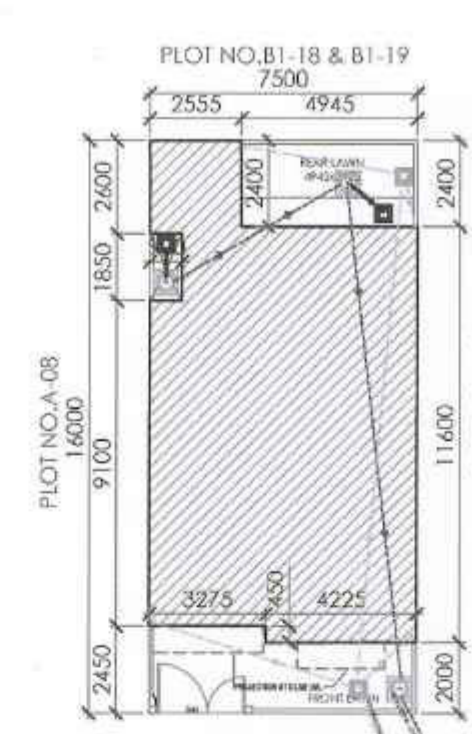
GROUND FLOOR PLAN
(SCALE=1:100)



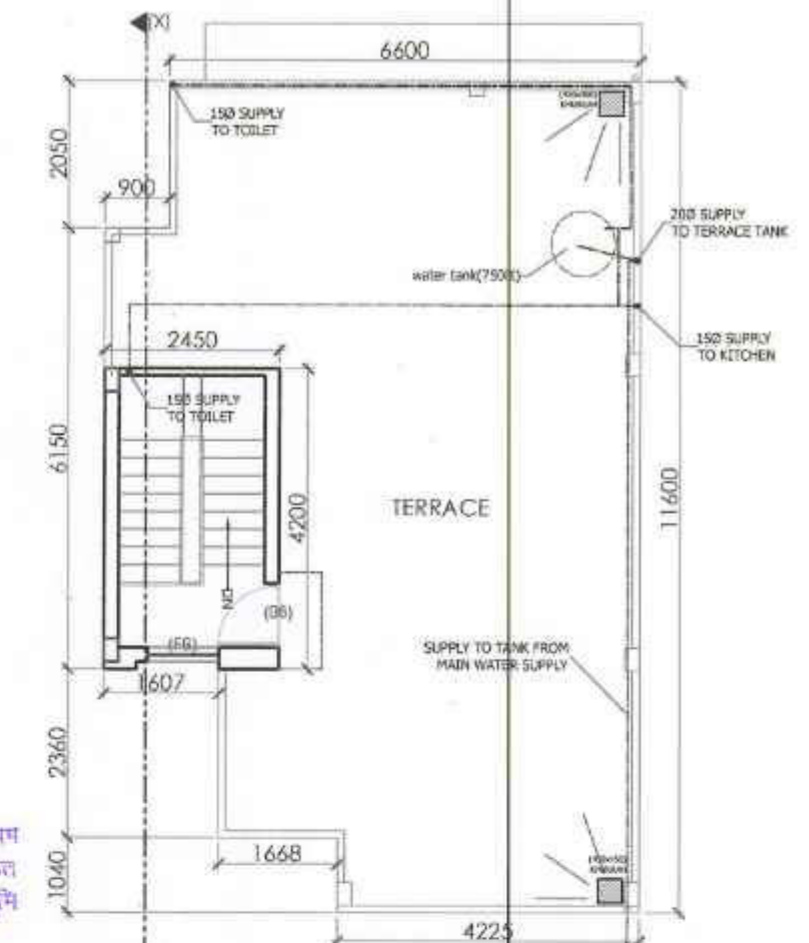
FIRST FLOOR PLAN
(SCALE=1:100)



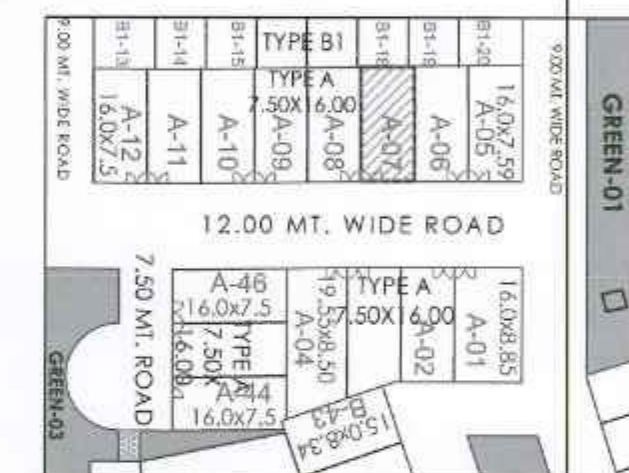
FRONT ELEVATION
(SCALE=1:100)



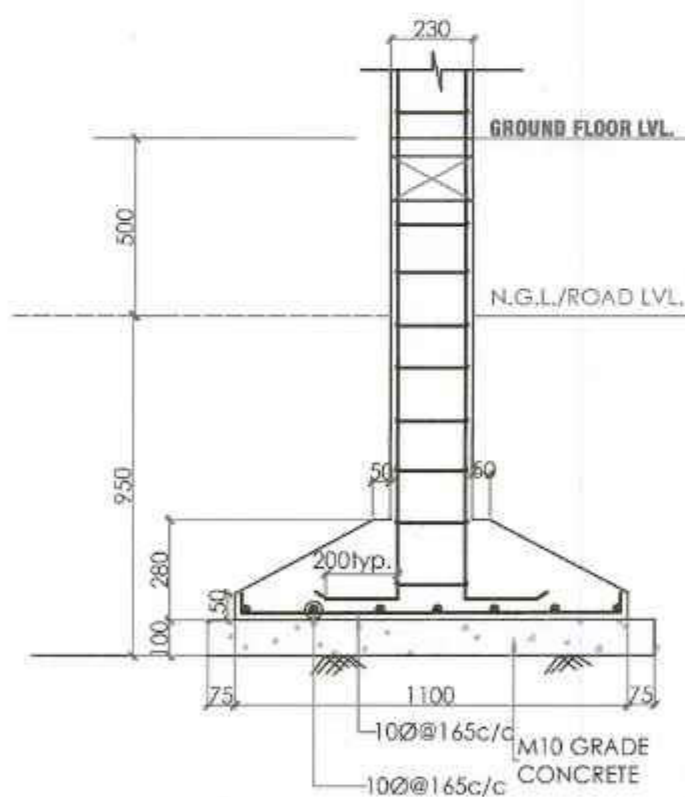
SITE PLAN
(SCALE=1:200)



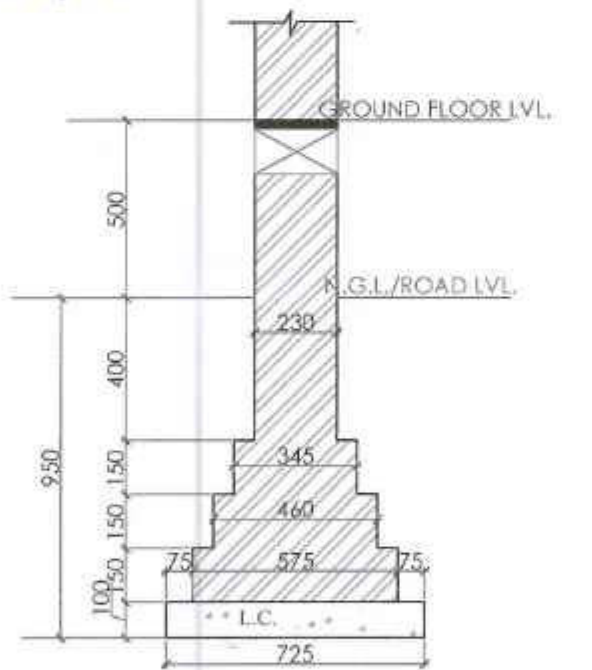
TERRACE PLAN
(SCALE=1:100)



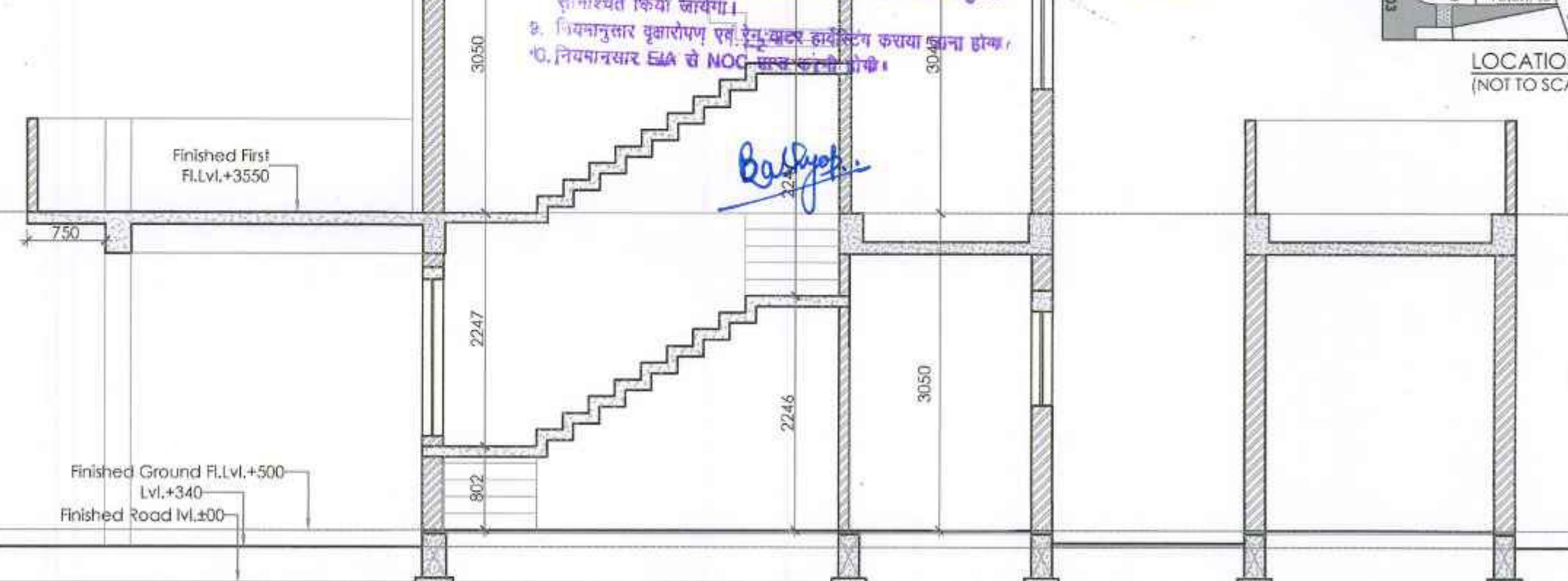
LOCATION PLAN
(NOT TO SCALE)



TYP. SECTION OF COLUMN FOOTING
(scale=1:20)



TYP. SECTION FOR 230 THK. BRICK WALL
(scale=1:20)



SECTION X-X
(SCALE=1:50)

MINI TOWNSHIP AT KHASRA NO.1703 &1700,NATKUR, PARGANA BIJNOUR,LUCKNOW

PLOT NO. A-07

Developer:
GREEN APPLE INFRATECH PRIVATE LIMITED

NOTES:
1. Architect shall not be responsible for any deviation at site by the developer.
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE SUBMISSION.
3. Layout approved vide permit no.1014, dated 05.12.2025.

DOOR/ WINDOW SCHEDULE :		
S.NO.	TYPE	SIZE
1.	D1	1000x2400
2.	D2	950x2100
3.	D3	755x2100
4.	D4	800x2100
5.	D5	1000x2100
6.	DW1	2400x2100
7.	DW2	2255x2400
8.	W1	500x1050
9.	W2	1155x1500
10.	W3	1020x1200
11.	W4	1595x1200
12.	V1	500x600
13.	W5	2255x1500
14.	D6	900x2100

AREA STATEMENT :

	SQ. MT.
1.) TOTAL PLOT AREA	120.00sq.mt.
2.) COVERED AREA ON GROUND FLOOR	89.99sq.mt.
3.) COVERED AREA ON FIRST FLOOR	77.96sq.mt.
4.) OPEN AREA	29.91sq.mt.
5.) MUMTY AREA	10.29sq.mt.
6.) PROJECTION AREA(half area to be included in F.A.R.)	16.75sq.mt.
7.) TOTAL BUILT-UP AREA(2+3+5+half of 6)-FOR F.A.R.	186.62sq.mt.
8.) GROUND COVERAGE ACHIEVED(permissible-75%)	74.99%
9.) F.A.R. ACHIEVED(permissible-1.80)	1.555

DEVELOPER

Green Apple Infratech Pvt. Ltd.

ARCHITECT

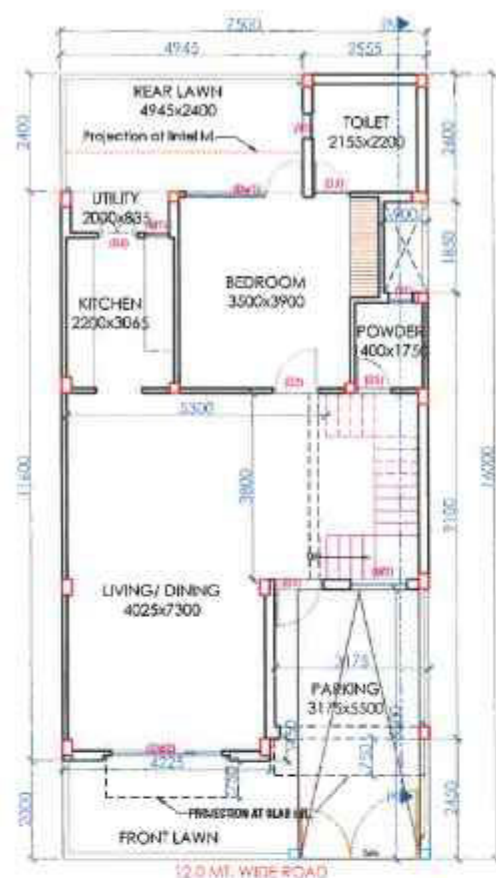
espaces

Ar.Sanjay Kumar Gupta
108/F, Floor, Corporate Chamber-1,
Vishnu Khari, Ganga Nagar,
Lucknow-226010
Ph.No-4965888/8415114889
email-espaces.arch@gmail.com

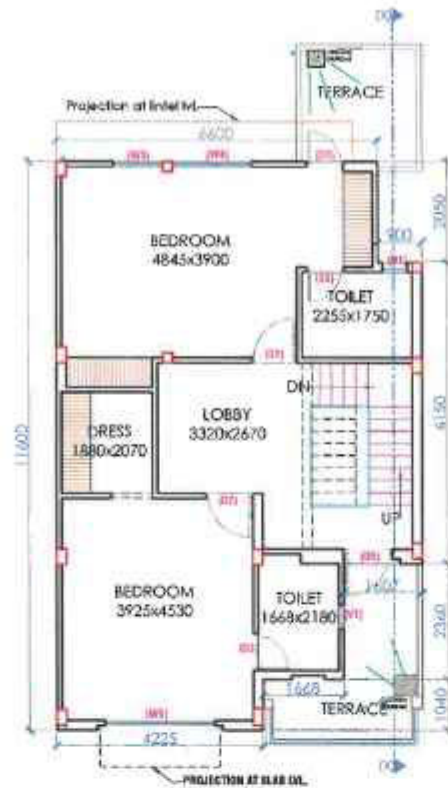
Director

SPECIFICATIONS:

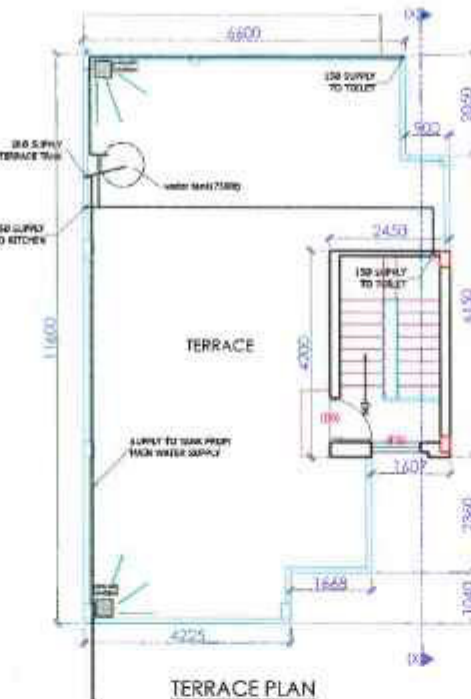
Foundation	- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
Superstructure	- Composite structure with brick work & R.C.C. columns as per structural design.(earthquake resistant)
Slab	- R.C.C. slab as per structural design in M.25 grade conc.
Joinery	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
Flooring	- Vitrified tiles/marble/kota/c.c.
Painting	- O.B.D. inside & cement based waterproofing paint outside.
Plaster	- 12mm plaster in 1:6 c.m.
Plumbing & sanitary fitting	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
Electrical work	- Conduiting wiring & M.C.B. with I.S.I. marked material.



GROUND FLOOR PLAN
(SCALE=1:100)



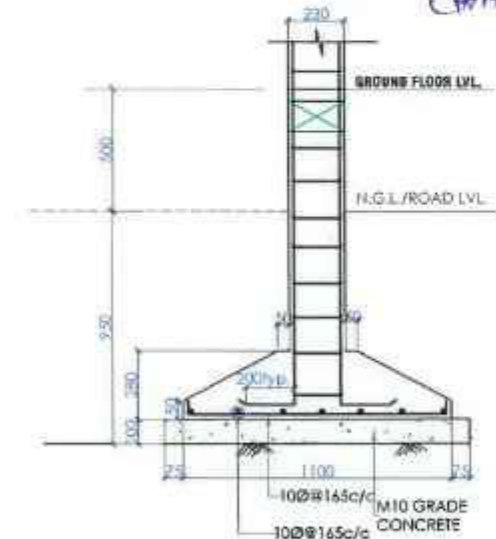
FIRST FLOOR PLAN
(SCALE=1:100)



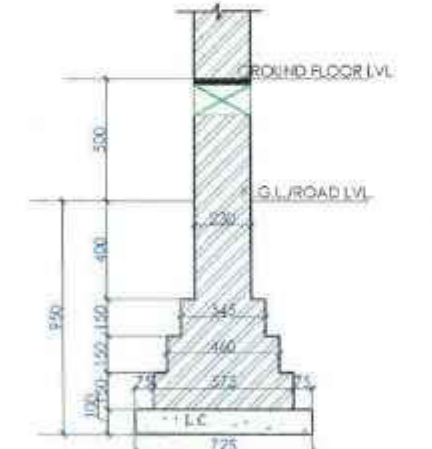
TERRACE PLAN
(SCALE=1:100)



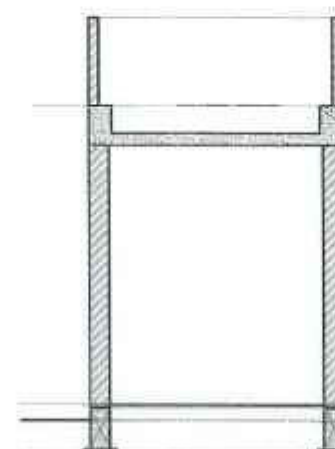
LOCATION PLAN
(NOT TO SCALE)



TYP. SECTION OF COLUMN FOOTING
(scale=1:20)



TYP. SECTION FOR 230 THK. BRICK WALL
(scale=1:20)



SECTION X-X
(SCALE=1:50)



FRONT ELEVATION
(SCALE=1:100)

MINI TOWNSHIP AT KHASRA NO.1703 & 1700, NATKUR, PARGANA BIJNOUR, LUCKNOW

PLOT NO. A-08

Developer:
GREEN APPLE INFRA TECH PRIVATE LIMITED

NOTES:

1. Architect shall not be responsible for any deviation at site by the developer.
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE SUBMISSION.
3. Layout approved vide permit no.1014, dated 05.12.2025.

DOOR/ WINDOW SCHEDULE :

S.NO.	TYPE	SIZE
1.	D1	1000x2400
2.	D2	950x2100
3.	D3	750x2100
4.	D4	800x2100
5.	D5	1000x2100
6.	DW1	2400x2100
7.	DW2	2250x2400
8.	W1	500x1050
9.	W2	1150x1500
10.	W3	1020x1200
11.	W4	1590x1200
12.	V1	500x600
13.	W5	2250x1500
14.	D6	900x2100

AREA STATEMENT :

	SQ. MT.
1.) TOTAL PLOT AREA	120.00sq.mt.
2.) COVERED AREA ON GROUND FLOOR	89.99sq.mt.
3.) COVERED AREA ON FIRST FLOOR	77.96sq.mt.
4.) OPEN AREA	29.91sq.mt.
5.) MUMTY AREA	10.29sq.mt.
6.) PROJECTION AREA(half area to be included in F.A.R.)	16.75sq.mt.
7.) TOTAL BUILT-UP AREA(2+3+5+half of 6)-FOR F.A.R.	186.62sq.mt.
8.) GROUND COVERAGE ACHIEVED(permissible-75%)	74.99%
9.) F.A.R. ACHIEVED(permissible-1.80)	1.555

DEVELOPER

Green Apple Infra Tech Pvt. Ltd.
Director

ARCHITECT

espresso
Ar. Sanjay Kumar Gupta
100/F, Floor Corporate Chandra T.
Vishal World, Sector 14, Gurgaon-122009
Ph: 9810022009, 9810022009
e-mail: espressosoft@gmail.com

SPECIFICATIONS:

Foundation	-Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
Superstructure	-Composite structure with brick work & R.C.C. columns as per structural design.(earthquake resistant)
Slab	-R.C.C. slab as per structural design in M-25 grade conc.
Joinery	-Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
Flooring	-Vitrified tiles/marble/kota/c.c.
Painting	-O.B.D. inside & cement based waterproofing paint outside.
Plaster	-12mm plaster in 1:6 c.m.
Plumbing & sanitary fitting	-All plumbing work using ISI marked UPVC pipes with standard fittings & fixtures.
Electrical work	-Conduiting, wiring & M.C.B. with ISI marked material.

1. आवेदनकर्ता द्वारा निर्धारित ग्राम एरिया पर बाइक प्रति वर्ग मी० की दर से खड़ा करना होगा। किसी भी स्थिति में 14% व्याज अतिरिक्त देय होगा।
2. आवेदक को अपने वित्त पट्टन संबंधी बैंक/संस्थान के विवरण को आवेदन पत्र में देना होगा।
3. आवेदक को स्वीकृत मानचित्र के अनुरूप ही संबंधित सिविल इंजीनियर प्लॉट कोटिंग को देख-रेख में निर्माण कार्य कराएंगे।
4. आवेदक को प्रकृति से प्लॉट को अलग करने होगा। विविधताओं एवं गुणवत्ता में किसी प्रकार की कमी के लिये प्लॉट जिम्मेदार नहीं होगा।
5. आवेदक का मानचित्र जिस भू-उपयोग हेतु तैयार किया गया है उसे स्वीकृत किया गया है। आवेदक को पूर्ण रूप से कार्य पूर्ण होने पर प्लॉट को अपने नियमावली 2009 के अनुसार अस्थापित क्षेत्रफल पर कम 2.50 प्रति वर्ग मी० जमाकर प्राप्त करना होगा।
6. प्लॉट के सहायक प्रबंधक (परि०) द्वारा यदि किसी प्रकार का निरीक्षण किया जाता है तो आवेदक को पूर्ण सहयोग करना होगा।
7. किसी भी नियमों की अवहेलना करने पर आवेदक को प्लॉट स्वीकृत न माना जायेगा।
8. अनुज्ञापत्र में उल्लिखित संपत्ति शर्तें मान्य होंगी। इसका अनुपालन अनिवार्य किया जायेगा।
9. नियमावली के अनुसार प्लॉट में बाइक हार्डस्टिंग कराया जाना होगा।
10. नियमावली के अनुसार प्लॉट में बाइक हार्डस्टिंग कराया जाना होगा।

मानचित्र उत्तर प्रदेश औद्योगिक क्षेत्र विकास अधिनियम 1976 की धारा 19 के अंतर्गत इस प्रतिबन्ध सहित स्वीकृत किया जाता है कि विकास प्राधिकरण भूमि विधायक स्वामित्व के लिये धिक्त बाध्य नहीं है।

स्वीकृत
परमिट संख्या... 1323
दिनांक... 18.02.2020
स्वीकृति की वैधता... पांच वर्ष
भूमि का प्रकार... पंचायती राज



GROUND FLOOR PLAN
(SCALE=1:100)



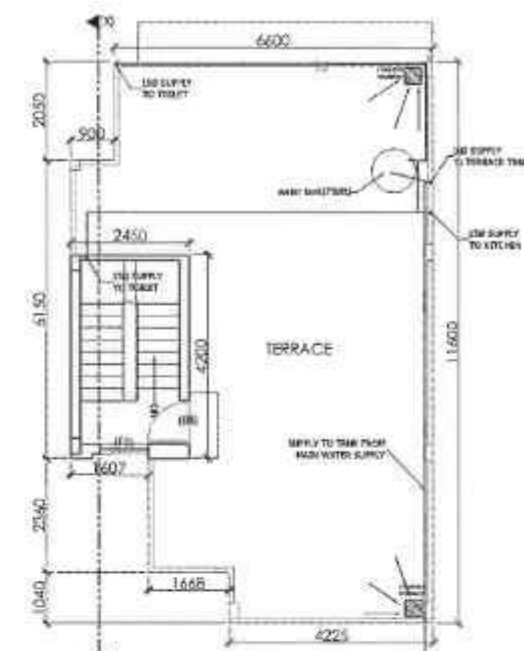
FIRST FLOOR PLAN
(SCALE=1:100)



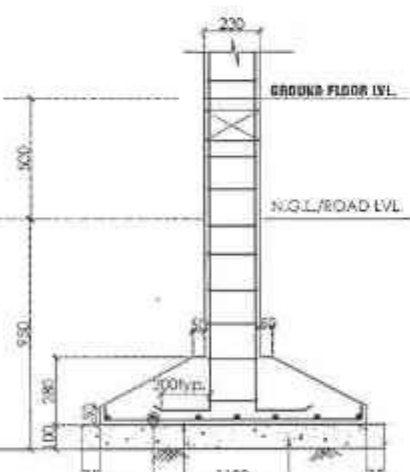
FRONT ELEVATION
(SCALE=1:100)



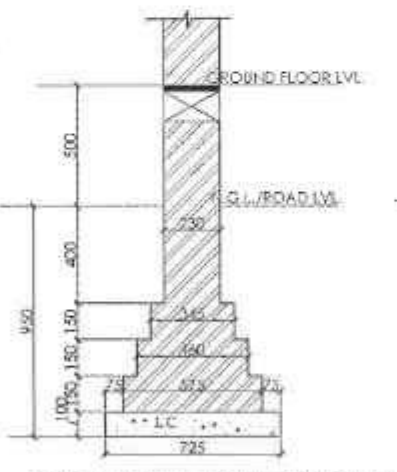
SITE PLAN
(SCALE=1:200)



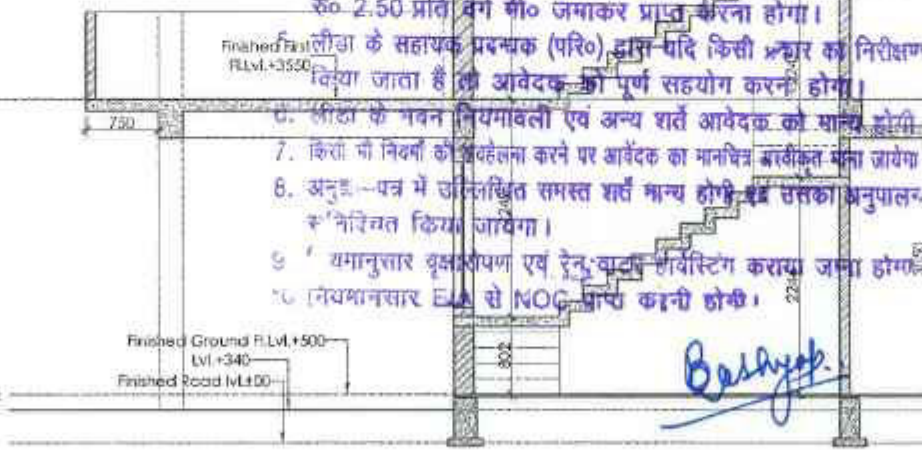
TERRACE PLAN
(SCALE=1:100)



TYP. SECTION OF COLUMN FOOTING
(SCALE=1:20)



TYP. SECTION FOR 230 THK. BRICK WALL
(SCALE=1:20)



SECTION X-X
(SCALE=1:50)

नियम एवं शर्तें

- आवेदक को लीड द्वारा निर्धारित नियमों का पालन करना होगा।
- स्थिति में 14% व्याज (अतिरिक्त) देना होगा।
- आवेदक को अपने वित्त पर निर्भरता को ध्यान में रखकर निर्माण कार्य कराया जायेगा।
- सूचना लीड को देनी होगी।
- आवेदक को स्वयंसेवक के अनुरूप ही सवधि सविल (सिटीनर) ब अर्कोटेक्ट की देख-रेख में निर्माण कार्य कराया जायेगा।
- पर कार्य की प्रगति से लीड को अवगत कराना होगा।
- विशेष रूप से गुणवत्ता में किसी प्रकार की कमी के लिये लीड जिम्मेदार नहीं होगा।
- आवेदक का मानचित्र जिस भू-उपयोग हेतु निर्धारित अवधि के लिये स्वीकृत किया गया है उसे अवधि में कार्य पूर्ण कर कार्यपति प्रमाण पत्र प्राप्त लीड की भवन नियमावली 2009 के अनुसार अस्वीकृत क्षेत्रफल पर रु० 2.50 प्रति वर्ग मी० जमाकर प्राप्त करना होगा।
- लीड के सहायक प्रदर्शक (परि०) द्वारा यदि किसी प्रकार का निरीक्षण किया जाता है तो आवेदक को पूर्ण सहयोग करना होगा।
- लीड के भवन नियमावली एवं अन्य शर्तें आवेदक को मान्य होगी।
- किसी भी निर्माण कार्य के लिये आवेदक का मानचित्र स्वीकृत करना होगा।
- अनुदान-पत्र में उल्लिखित समस्त शर्तें मान्य होगी। इसका अनुपालन स्वीकृत किया जायेगा।
- यमानुसार वृद्धि/कटौती एवं हेतु/बाधा सर्वेस्टिंग कराया जमा होगा।
- नियमानुसार E.A. से NOC प्राप्त करनी होगी।

मानचित्र उत्तर प्रदेश औद्योगिक क्षेत्र विकास अधिनियम 1976 की धारा 19 के अंतर्गत इस प्रतिबंधित क्षेत्र में स्वीकृत किया जाता है कि विकास प्राधिकरण द्वारा निर्धारित नियमों के लिये विधित बाध्य नहीं है।



LOCATION PLAN
(NOT TO SCALE)

स्वीकृत
परमिट संख्या... 13.2.6.....
दिनांक... 18.02.2024
स्वीकृति को देयता... मानचित्र
भूमि का प्रकार... औद्योगिक

MINI TOWNSHIP AT KHASRA NO.1703 & 1700, NATKUR, PARGANA BIJNOUR, LUCKNOW

PLOT NO. A-09

Developer:
GREEN APPLE INFRASTRUCTURE PRIVATE LIMITED

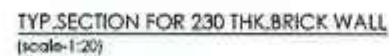
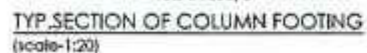
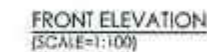
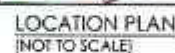
NOTES:
1. Architect shall not be responsible for any deviation at site by the developer.
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE SUBMISSION.
3. Layout approved vide permit no.101/4, dated 05.12.2023.

DOOR/WINDOW SCHEDULE :		
S.NO.	TYPE	SIZE
1.	D1	1000x2400
2.	D2	950x2100
3.	D3	755x2100
4.	D4	800x2100
5.	D5	1000x2100
6.	DW1	2400x2100
7.	DW2	2255x2400
8.	W1	500x1050
9.	W2	1155x1800
10.	W3	1020x1200
11.	W4	595x1200
12.	V1	500x600
13.	W5	2255x1500
14.	D6	900x2100

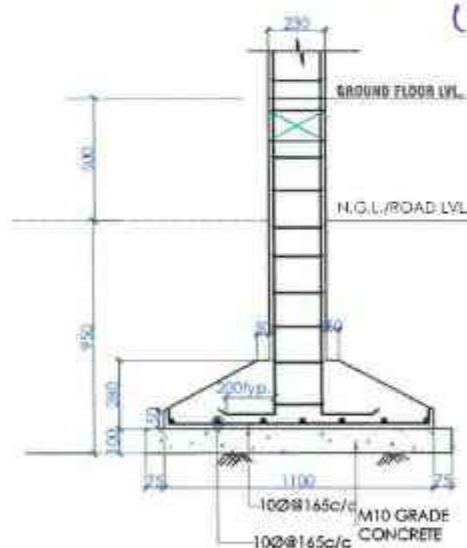
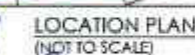
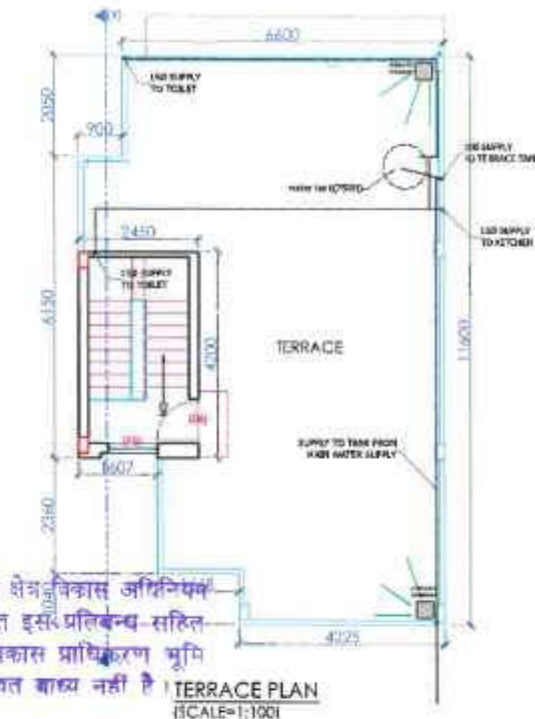
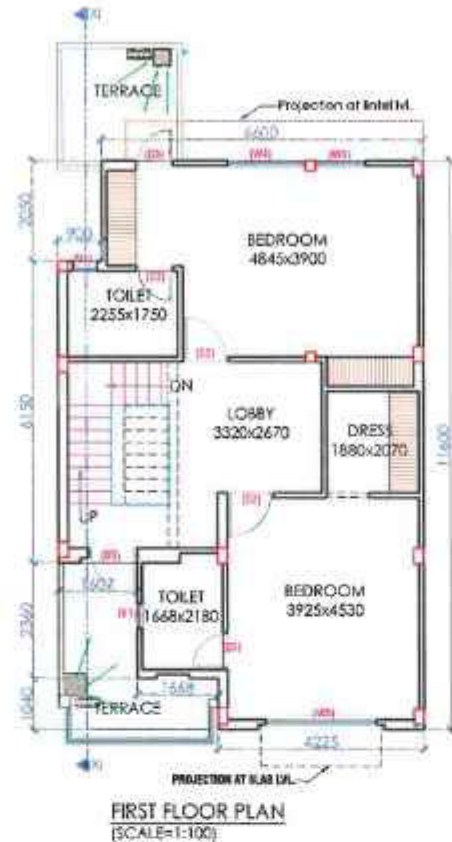
AREA STATEMENT :		SQ. MT.
1.) TOTAL PLOT AREA:		120.00sq.mt.
2.) COVERED AREA ON GROUND FLOOR		89.59sq.mt.
3.) COVERED AREA ON FIRST FLOOR		77.96sq.mt.
4.) OPEN AREA		29.91sq.mt.
5.) MUMTY AREA		10.29sq.mt.
6.) PROJECTION AREA(half area to be included in F.A.R.)		16.75sq.mt.
7.) TOTAL BUILT-UP AREA(2+3+5+half of 6)-FOR F.A.R.		186.62sq.mt.
8.) GROUND COVERAGE ACHIEVED(permissible-75%)		74.99%
9.) F.A.R. ACHIEVED(permissible-1.80)		1.55

DEVELOPER	ARCHITECT
Green Apple Infrastruct Pvt. Ltd.	At Sanjay Kumar Gupta 106/7, First Floor, Chandra-1, Main Road, Ganga Nagar, Lucknow-226015 Ph No. 420000, 441114, 441140 Email: spaces.09@gmail.com
Director	

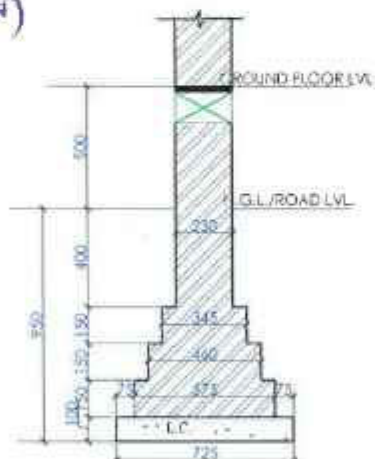
SPECIFICATIONS	
Foundation	-Stepped brick footing in 1:3 c.m. as per structural design with c.c. columns as per design.
Superstructure	-Composite structure with brick work & R.C.C. columns as per structural design, (earthquake resistant)
Slab	-R.C.C. slab as per structural design in M25 grade conc.
Joinery	-Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
Flooring	-Vitrified tiles/marble/kata/c.c.
Painting	-O.B.D. inside & cement based waterproofing paint outside.
Plaster	-12mm plaster in 1:3 c.m.
Plumbing & sanitary fitting	-All plumbing work using ISI marked UPVC pipes with standard fittings & fixtures.
Electrical work	-Conduiting, wiring & M.C.B. with ISI marked material.



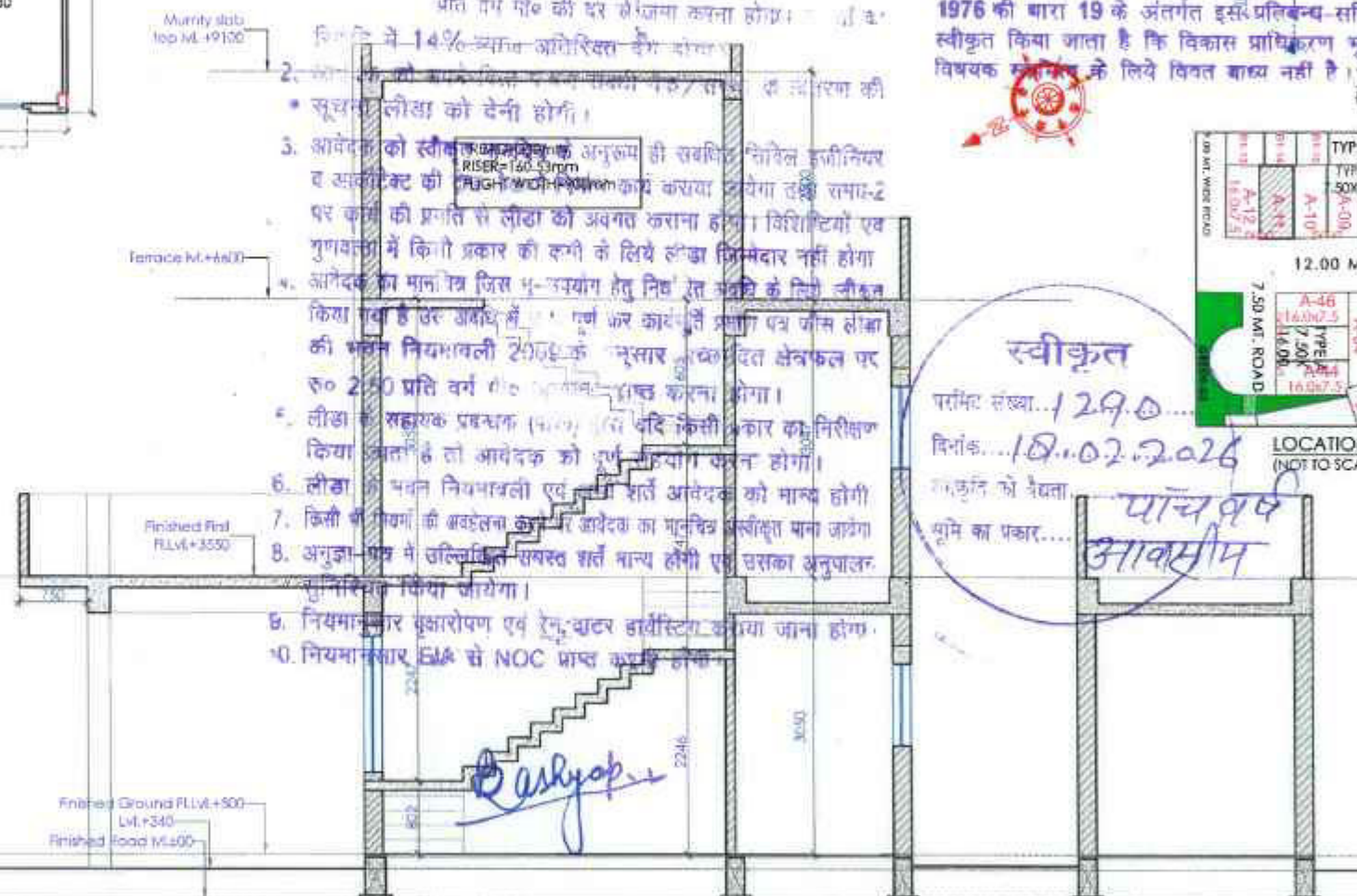
<u>SPECIFICATIONS:</u>	
Foundation	- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
Superstructure	- Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
Slab	- R.C.C. slab as per structural design in M25 grade conc.
Joinery	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
Flooring	- Vitrified tiles/marble/kota/c.c.
Painting	- O.S.D. inside & cement based waterproofing paint outside.
Plaster	- 12mm plaster in 1:6 c.m.
Plumbing & sanitary fitting	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
Electrical work	- Cabling, wiring & M.C.B. with I.S.I. marked material.



TYP. SECTION OF COLUMN FOOTING
(scale-1/20)

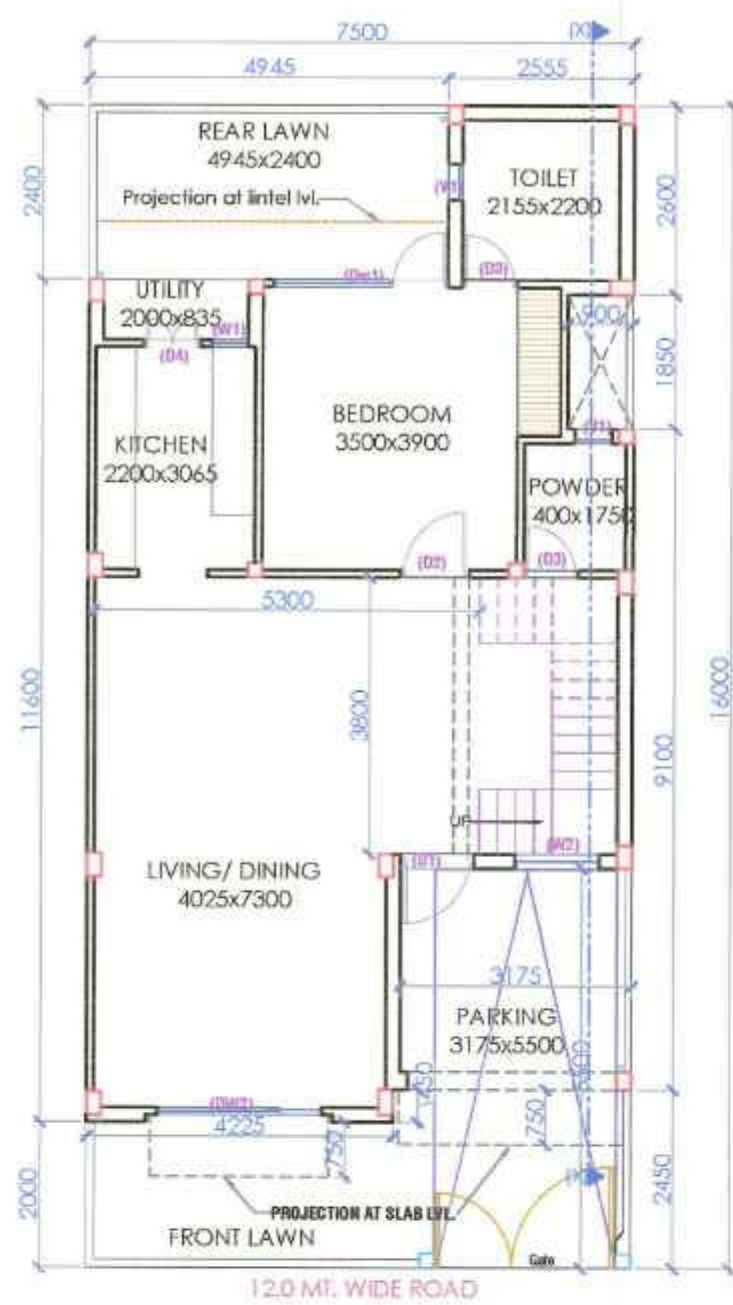


TYP. SECTION FOR 230 THK. BRICK WALL
[scale: 1:20]

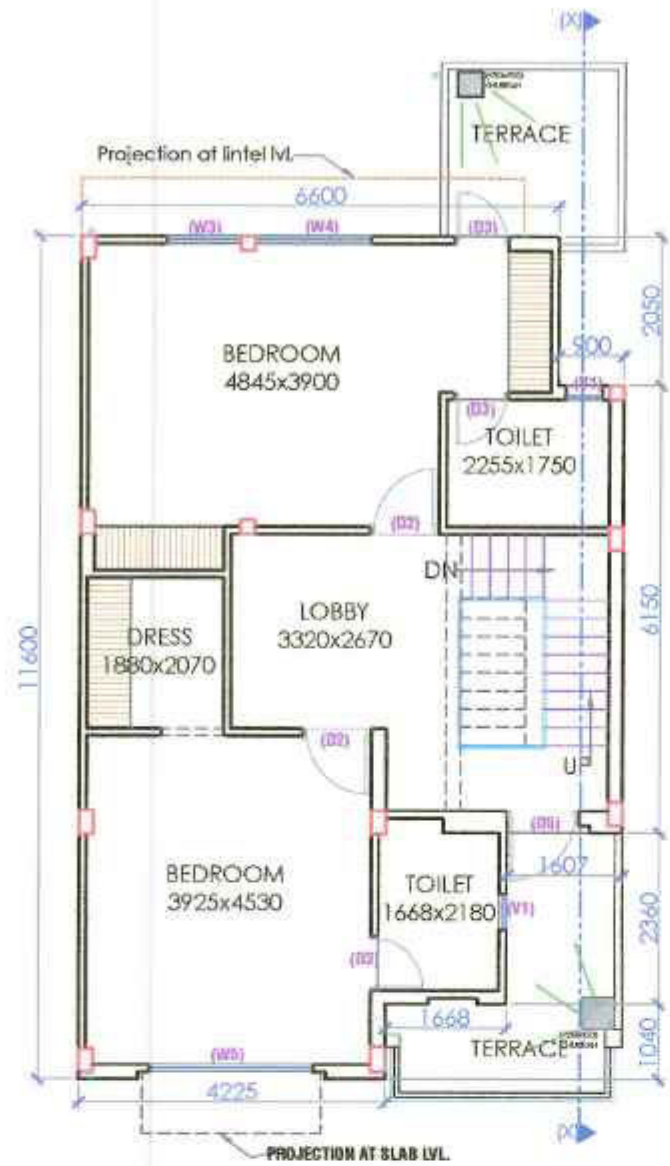


SECTION X-X
(SCALE=1:50)

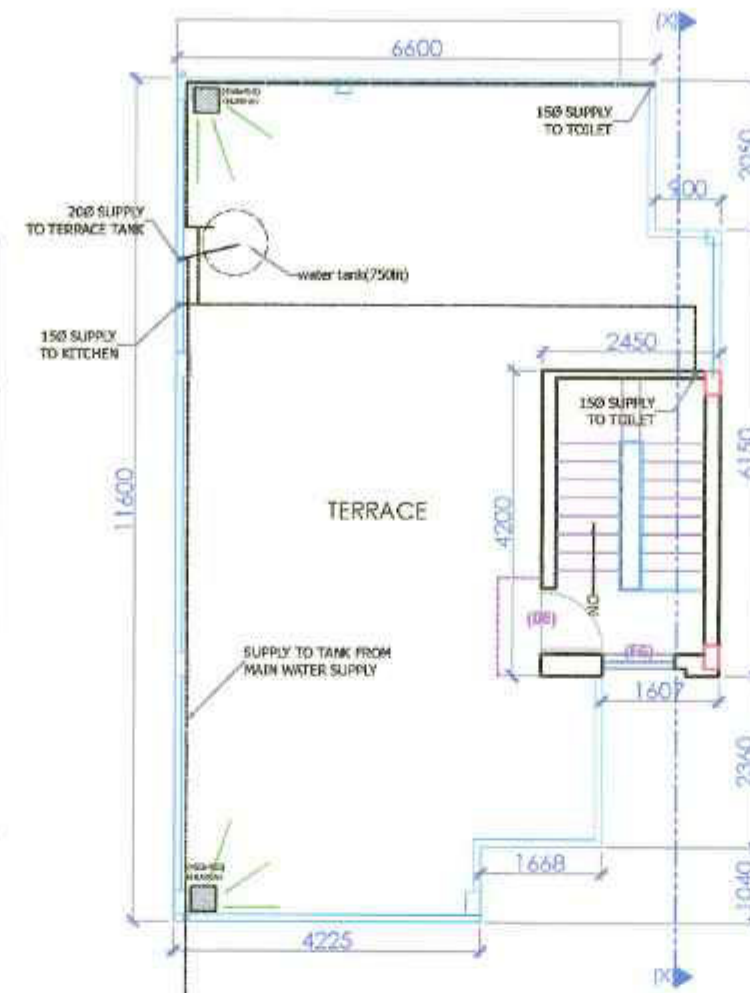
<u>SPECIFICATIONS:</u>	
Foundation	- Stepped brick footing in 1:4 c.m. as per structural design with r.c.c. columns as per design.
Superstructure	- Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
Slab	- R.C.C. slab as per structural design in M25 grade conc.
Joinery	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /PVC.
Flooring	- Vitrified tiles/marble/ Kota/c.c.
Painting	- O.S.D. inside & cement based waterproofing paint outside.
Plaster	- 12mm plaster in 1:4 c.m.
Plumbing & sanitary fitting	- All plumbing work using 1/2" marked UPVC pipes with standard fittings & fixtures.
Electrical work	- Conducting wiring & M.C.B. with 1/2" marked material.



GROUND FLOOR PLAN
(SCALE=1:100)



FIRST FLOOR PLAN
(SCALE=1:100)



TERRACE PLAN
(SCALE=1:100)



LOCATION PLAN
(NOT TO SCALE)

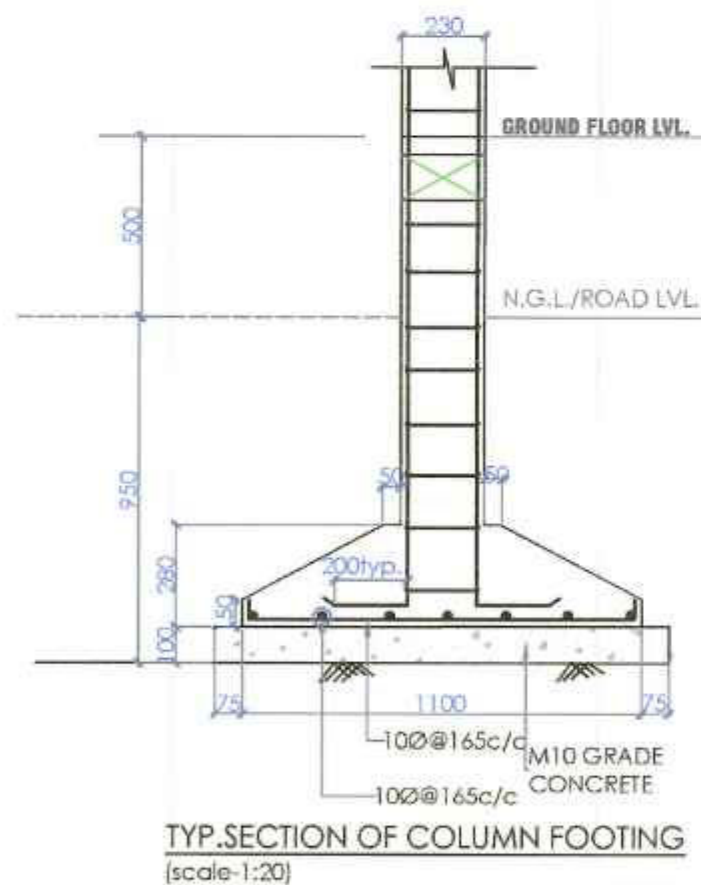


SITE PLAN
(SCALE=1:200)

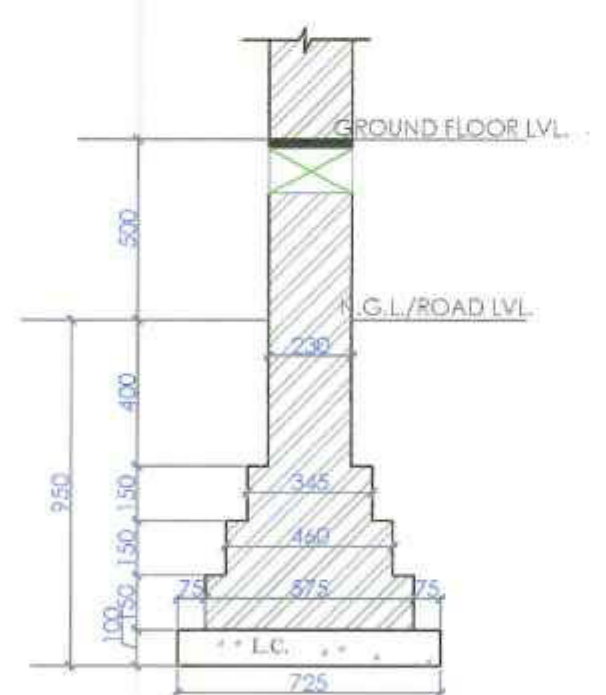


1. The plot is situated in the vicinity of the main road and is accessible from the main road.
2. The plot is situated in the vicinity of the main road and is accessible from the main road.
3. The plot is situated in the vicinity of the main road and is accessible from the main road.
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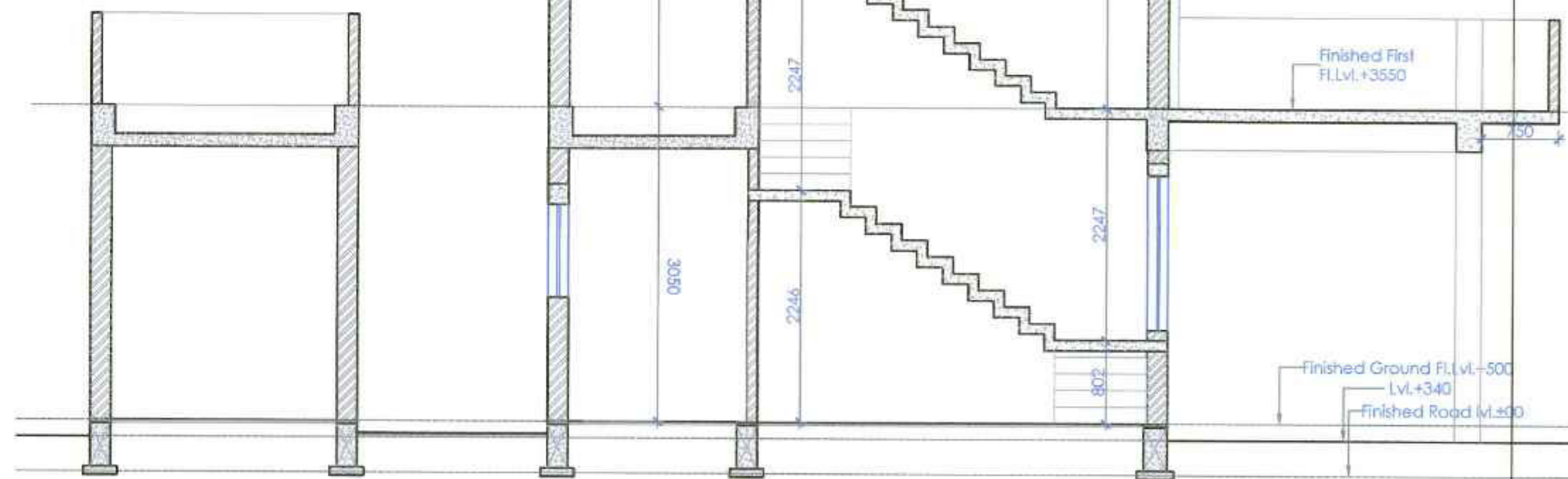
1. The plot is situated in the vicinity of the main road and is accessible from the main road.
2. The plot is situated in the vicinity of the main road and is accessible from the main road.
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9. The plot is situated in the vicinity of the main road and is accessible from the main road.
10. The plot is situated in the vicinity of the main road and is accessible from the main road.



TYP. SECTION OF COLUMN FOOTING
(scale=1:20)



TYP. SECTION FOR 230 THK. BRICK WALL
(scale=1:20)



SECTION X-X
(SCALE=1:50)

MINI TOWNSHIP AT KHASRA NO.1703 &1700,NATKUR, PARGANA BIJNOUR,LUCKNOW

PLOT NO. A-12

Developer:
GREEN APPLE INFRA TECH PRIVATE LIMITED

NOTES:
1. Architect shall not be responsible for any deviation at site by the developer.
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE SUBMISSION.
3. Layout approved vide permit no.1014, dated 05.12.2025.

S.NO.	TYPE	SIZE
1.	D1	1000x2400
2.	D2	950x2100
3.	D3	755x2100
4.	D4	800x2100
5.	D5	1000x2100
6.	DW1	2400x2100
7.	DW2	2255x2400
8.	W1	500x1050
9.	W2	1155x1500
10.	W3	1020x1200
11.	W4	1595x1200
12.	V1	500x600
13.	W5	2255x1500
14.	D6	900x2100

AREA STATEMENT :

	SQ. MT.
1.) TOTAL PLOT AREA	120.00sq.mt.
2.) COVERED AREA ON GROUND FLOOR	89.99sq.mt.
3.) COVERED AREA ON FIRST FLOOR	77.96sq.mt.
4.) OPEN AREA	29.91sq.mt.
5.) MUMTY AREA	10.29sq.mt.
6.) PROJECTION AREA(half area to be included in F.A.R.)	16.75sq.mt.
7.) TOTAL BUILT-UP AREA(2*3+5+half of 6)-FOR F.A.R.	186.62sq.mt.
8.) GROUND COVERAGE ACHIEVED(permissible-75%)	74.99%
9.) F.A.R. ACHIEVED(permissible-1.80)	1.555

DEVELOPER

Green Apple Infotech Pvt. Ltd.

ARCHITECT

espaces
Ar. Sanjay Kumar Gupta
108 F. Floor, Corporate Chamber-1,
Vibhuti Khand, Gomti Nagar,
Lucknow-226010
Ph.No.4069668,9415114589
email-espaces.arch@gmail.com

Director

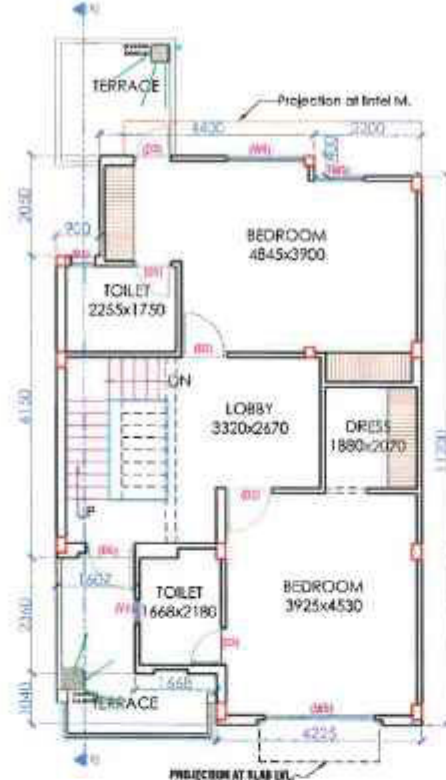
Director

SPECIFICATIONS:

Foundation	-Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
Superstructure	-Composite structure with brick work & R.C.C. columns as per structural design.(earthquake resistant)
Slab	-R.C.C. slab as per structural design in M-25 grade conc.
Joinery	-Door frames in sal wood with 32mm commercial board shutter, Windows in aluminium /UPVC.
Flooring	-Vitrified tiles/marble/kota/c.c.
Painting	-O.B.D. inside & cement based waterproofing paint outside.
Plaster	-12mm plaster in 1:6 c.m.
Plumbing & sanitary fitting	-All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
Electrical work	-Conduiting,wiring & M.C.B. with I.S.I. marked material.



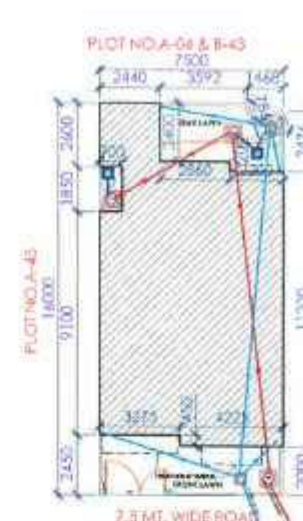
GROUND FLOOR PLAN
(SCALE=1:100)



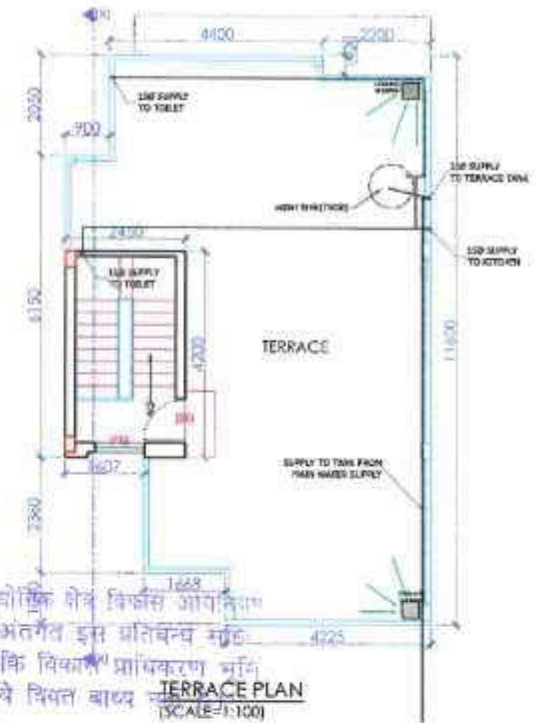
FIRST FLOOR PLAN
(SCALE=1:100)



FRONT ELEVATION
(SCALE=1:100)



SITE PLAN
(SCALE=1:200)



TERRACE PLAN
(SCALE=1:100)

1. प्लॉट को सी. द्वारा निर्धारित नाम प्ररिया वर वाह्य प्रति गर्ग मी. की दर से खाना करना होगा। किस्ता व विलयि में 14% व्याज अतिरिक्त देय होगा।
2. आवेदक को अपने विल-पत्र को सही रूप / रकम के वितरण की प्रमाणित प्रतियाँ को देनी होगी।
3. आवेदक को स्वीकृत मानचित्र के अनुरूप ही संचालित सिविल इंजीनियर व आर्किटेक्ट द्वारा निर्धारित कार्य कराया जायेगा तथा समय-2 पर कार्य पूरा करने का अवगत करना होगा। विशेषियों एवं गुणवत्ता में कि-प्रकार को कम्पे के लिये जिम्मा जिम्मेदार नहीं होगा।
4. आवेदक का माना कि वह भू-संपर्क हेतु निर्धारित अवधि के लिये स्वीकृत किया गया है उस अवधि में कार्य पूरा करे अन्यथा प्रस्ताव पत्र फीस लौटा दी जायेगी।
5. आवेदक को 20/05 के अनुसार अध्यादेश के तहत पद 500 2.50 प्रति वर्ग मी. का भू-संपर्क करना होगा।
6. नोडा के सहायक प्रबंधक (जो-2) द्वारा यदि किसी प्रकार का निरीक्षण किया जाता है तो आवेदक को पूर्ण सहयोग करना होगा।
7. किसी भी नियमों की अवहेलना करने पर आवेदक का मानचित्र अस्वीकृत माना जायेगा।
8. अनुज्ञा-पत्र में उल्लिखित समस्त शर्तें मान्य होगी एवं उसका अनुपालन निश्चित किया जायेगा।
9. भूमिपुनर्र वृद्धारोपण एवं पुनः खोले हावेली का किया जाना होगा।
10. पर्याप्तमानसार EIA से NOC प्राप्त करनी होगी।

गणेश जलार प्रदेस औद्योगिक क्षेत्र विस्तार योजना 1976 की धारा 19 के अंतर्गत इस प्रतिबन्ध स्वीकृत किया जाता है कि विकास प्राधिकरण भूमि विषयक स्वामित्व के लिये विधित बाधर

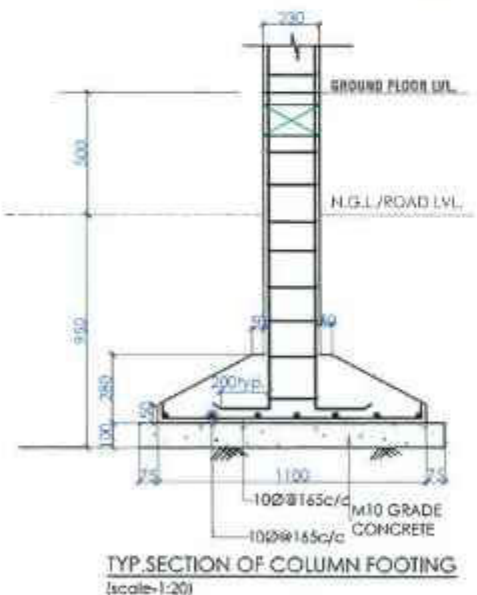


स्वीकृत

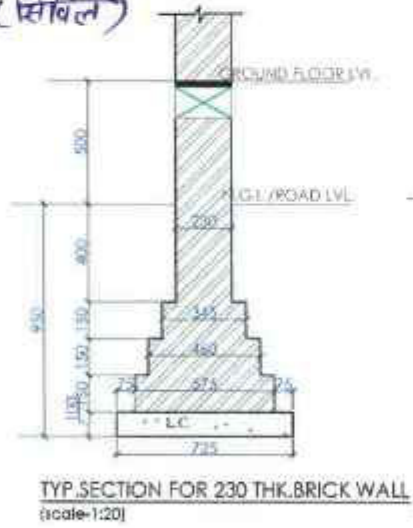
परमिट संख्या... 1291
दिनांक... 18.02.26
स्वीकृति को वैधता... पांच वर्ष
भूमि का प्रक... आवासीय



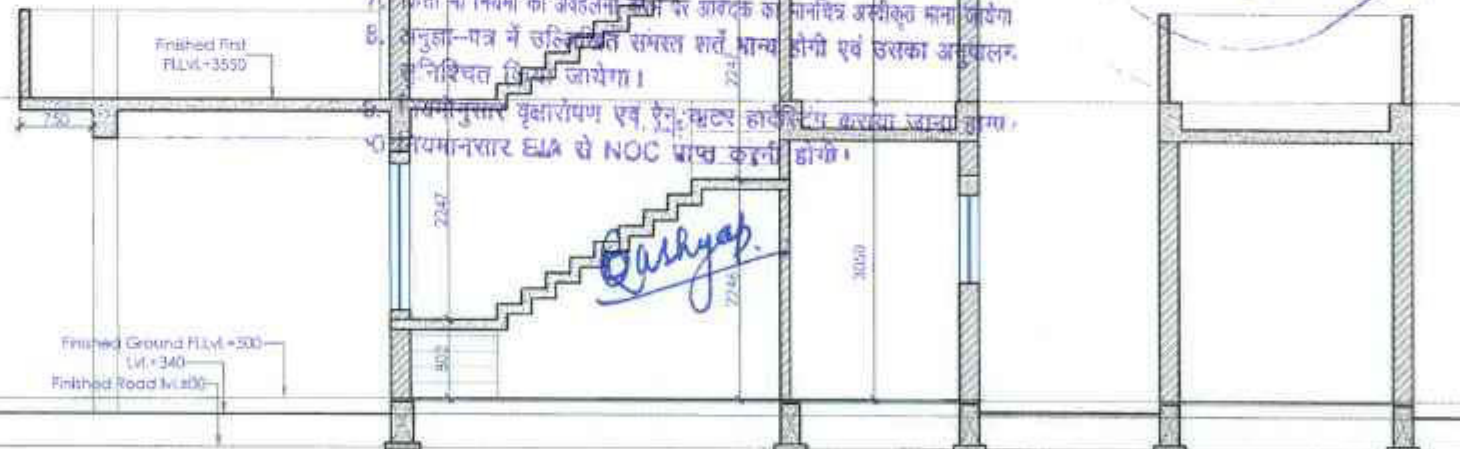
LOCATION PLAN
(NOT TO SCALE)



TYP. SECTION OF COLUMN FOOTING
(scale=1:20)



TYP. SECTION FOR 230 THK. BRICK WALL
(scale=1:20)



SECTION X-X
(SCALE=1:50)

MINI TOWNSHIP AT KHASRA NO.1703 & 1700, NATKUR, PARGANA BIJNOUR, LUCKNOW

PLOT NO. A-44

Developer: GREEN APPLE INFRA TECH PRIVATE LIMITED

NOTES:
1. Architect shall not be responsible for any deviation of site by the developer.
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE SUBMISSION.
3. Layout approved vide permit no.1014, dated 05.12.2025.

DOOR/ WINDOW SCHEDULE :		
S.NO.	TYPE	SIZE
1.	D1	1000x2400
2.	D2	950x2100
3.	D3	755x2100
4.	D4	850x2100
5.	D5	1000x2100
6.	DW1	2400x2100
7.	DW2	2255x2400
8.	W1	500x1050
9.	W2	1155x1500
10.	W3	1025x1300
11.	W4	1575x1200
12.	V1	500x600
13.	W5	2255x1300
14.	D6	950x2100

AREA STATEMENT :		SQ. MT.
1.)	TOTAL PLOT AREA	118.46sq.mt.
2.)	COVERED AREA ON GROUND FLOOR	88.83sq.mt.
3.)	COVERED AREA ON FIRST FLOOR	77.08sq.mt.
4.)	OPEN AREA	29.63sq.mt.
5.)	MUMTY AREA	10.29sq.mt.
6.)	PROJECTION AREA(half area to be included in F.A.R.)	16.40sq.mt.
7.)	TOTAL BUILT-UP AREA(2+3+5+half of 6)-FOR F.A.R.	184.40sq.mt.
8.)	GROUND COVERAGE ACHIEVED(permissible-75%)	74.99%
9.)	F.A.R. ACHIEVED(permissible-1.80)	1.557

DEVELOPER	ARCHITECT
	spaces Ar. Sanjay Kumar Gupta 158/F. Plaza Corporate Cluster 1, Mukul Dey, Gurgaon, Haryana 122010 Ph No. 9999999999 Email: spaces.arch@gmail.com

SPECIFICATIONS:	
Foundation	- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
Superstructure	- Composite structure with brick work & R.C.C. columns as per structural design (earthquake resistant)
Slab	- R.C.C. slab as per structural design in M25 grade conc.
Joinery	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
Flooring	- Vitrified tiles/marble/cotta/c.c.
Painting	- O.S.D. inside & cement based waterproofing paint outside.
Plaster	- 12mm plaster in 1:4 c.m.
Plumbing & sanitary fitting	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
Electrical work	- Conducting, wiring & M.C.B. with I.S.I. marked material.



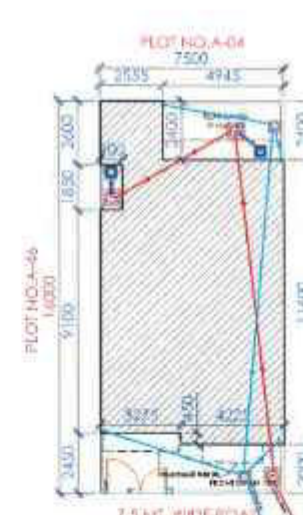
GROUND FLOOR PLAN
(SCALE=1:100)



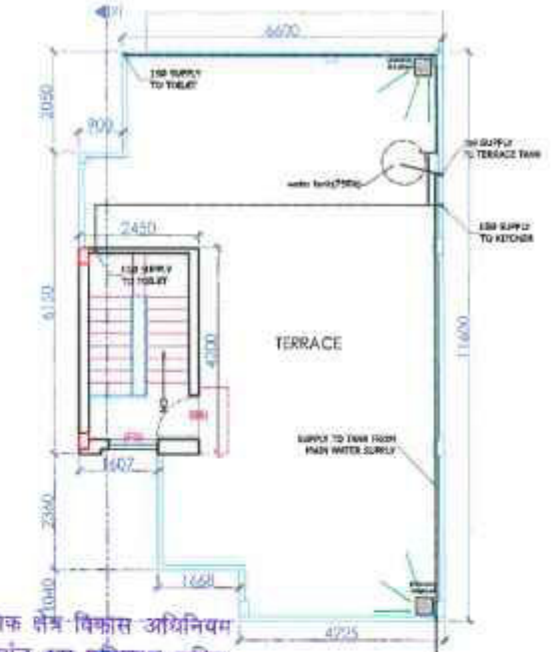
FIRST FLOOR PLAN
(SCALE=1:100)



FRONT ELEVATION
(SCALE=1:100)



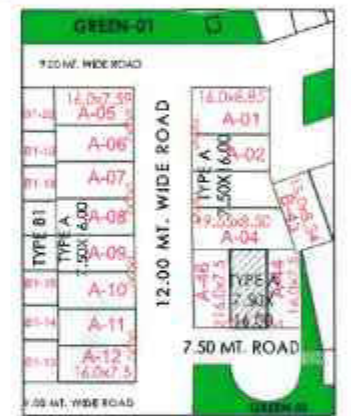
SITE PLAN
(SCALE=1:200)



TERRACE PLAN
(SCALE=1:100)

- नियम एवं शर्तें**
- आवेदक को सीढ़ा द्वारा निर्धारित ग्राम एरिया पर कब्जा प्रति वर्ग मी० की दर से अधिक करना होगा। किसी भी स्थिति में 14% व्याज अतिरिक्त देय होगा।
 - आवेदक को अपने अधिकार गण संकेपी पैक / संस्था से विवरण की सूचना सीढ़ा को देनी होगी।
 - आवेदक को स्वीकृत मानचित्र के अनुरूप ही समुचित सिविल इंजीनियर व आर्किटेक्ट की देख-रेख में निर्माण कार्य कराया जायेगा तथा कार्य-2 पर कार्य की प्रगति से सीढ़ा को अवगत कराना होगा। निर्माण कार्य प्रगति में किसी प्रकार की कमी के लिये सीढ़ा जिम्मेदार नहीं होगा।
 - आवेदक का मानचित्र जिस में उपयोग हेतु निर्धारित अधि के लिये समुचित किया गया है उस अधि में कार्य पूर्ण कर कार्य पूर्ण प्रमाण पत्र प्राप्त सीढ़ा को भवन नियमावली 2009 के अनुसार सच्चाई से क्षेत्रफल पर 2.50 प्रति वर्ग मी० जमाकर प्राप्त करना होगा।
 - सीढ़ा के सहायक प्रबंधक (प्रिं) द्वारा यदि किसी प्रकार का निर्माण किया जाता है तो आवेदक को पूर्ण सहयोग करना होगा।
 - सीढ़ा के भवन नियमावली एवं अन्य शर्तें आवेदक को मान्य होंगी।
 - किसी भी नियमों की अवहेलना करने पर आवेदक का भवन बंदी कर दिया जायेगा।
 - अनुमान-पत्र में उल्लिखित समस्त शर्तें मान्य होंगी एवं उसका अनुपालन सुनिश्चित किया जायेगा।
 - नियमानुसार भूस्वामि अधिकार हाईसिडिंग कराया जाना होगा।
 - नियमानुसार EIA, EIA/OC प्राप्त करनी होगी।

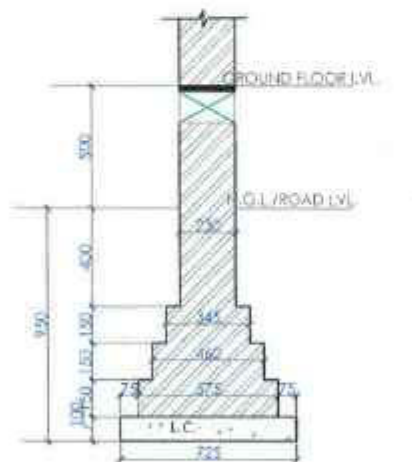
मानचित्र उत्तर प्रदेश औद्योगिक क्षेत्र विकास अधिनियम 1976 की धारा 19 के अंतर्गत इस प्रमाणपत्र सहित स्वीकृत किया जाता है कि विकास प्राधिकरण विषयक स्वामित्व से निम्न विवरण बाध्य नहीं है।



LOCATION PLAN
(NOT TO SCALE)



TYP. SECTION OF COLUMN FOOTING
(scale=1:20)



TYP. SECTION FOR 230 THK. BRICK WALL
(scale=1:20)



SECTION X-X
(SCALE=1:50)

स्वीकृत
परमिट संख्या... 1325...
दिनांक... 18.02.2026
स्वीकृति की शर्तें... पांचवर्षीय
भूमि का प्रकार... आवासीय

अंकित दिशा निर्दिष्ट (मिनि)

MINI TOWNSHIP AT KHASRA NO.1703 &1700,NATKUR, PARGANA BIJNOUR,LUCKNOW

PLOT NO. A-45
Developer:
GREEN APPLE INFRA TECH PRIVATE LIMITED

NOTES:
1. Architect shall not be responsible for any deviation at site by the developer.
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE SUBMISSION.
3. Layout approved vide permit no.1014, dated 05.12.2025.

DOOR/ WINDOW SCHEDULE :			
S.NO.	TYPE	SIZE	
1.	D1	1000x2400	
2.	D2	950x2100	
3.	D3	755x2100	
4.	D4	800x2100	
5.	D5	1000x2100	
6.	DW1	2400x2100	
7.	DW2	2255x2400	
8.	W1	500x1050	
9.	W2	1155x1300	
10.	W3	1030x1200	
11.	W4	1595x1200	
12.	V1	500x600	
13.	W5	2255x1500	
14.	D6	900x2100	

AREA STATEMENT :		SQ. MT.
1.) TOTAL PLOT AREA		120.00sq.mt.
2.) COVERED AREA ON GROUND FLOOR		89.99sq.mt.
3.) COVERED AREA ON FIRST FLOOR		77.96sq.mt.
4.) OPEN AREA		29.91sq.mt.
5.) MUMFY AREA		10.29sq.mt.
6.) PROJECTION AREA(half area to be included in F.A.R.)		16.75sq.mt.
7.) TOTAL BUILT-UP AREA(2+3+5+half of 6)-FOR F.A.R.		186.62sq.mt.
8.) GROUND COVERAGE ACHIEVED(permissible-75%)		74.99%
9.) F.A.R. ACHIEVED(permissible-1.80)		1.555

DEVELOPER	ARCHITECT
Green Apple Infra Tech Pvt. Ltd.	Ar. Sangeet Kumar Gupta 1st F. Floor Corporate Chamber-1, Vardaan Atrium, Canal Marg, Lucknow-226013 Ph.No. 980990, 981051, 9801 sangeetgupta.arch@gmail.com

SPECIFICATIONS:	
Foundation	- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
Superstructure	- Composite structure with brick work & R.C.C. columns as per structural design.(earthquake resistant)
Slab	- R.C.C. slab as per structural design in M25 grade conc.
Joinery	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
Flooring	- Vitrified tiles/marble/kota/c.o.
Painting	- O.S.D. inside & cement based waterproofing paint outside
Plaster	- 12mm plaster in 1:6 c.m.
Plumbing & sanitary fitting	- All plumbing work using ISI marked UPVC pipes with standard fittings & fixtures.
Electrical work	- Conduiting, wiring & M.C.B. with ISI marked material.



मानचित्र उत्तर प्रदेश औद्योगिक क्षेत्र विकास आयोग
1976 की धारा 19 के अंतर्गत इस प्रतिबन्ध सम्बन्धी स्वीकृत किया जाता है कि विकास प्राधिकरण द्वारा विषयक स्वामित्व के लिये निम्नलिखित बाध्य नहीं है।



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Plumbing & sanitary fitting	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
Electrical work	- Conduiting, wiring & M.C.B. with I.S.I. marked material.

Director

