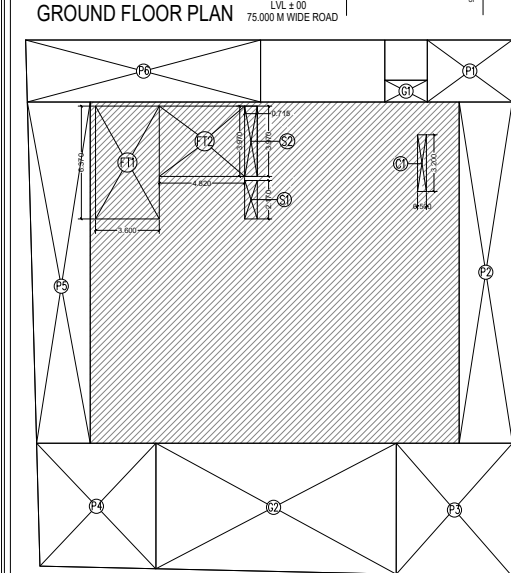
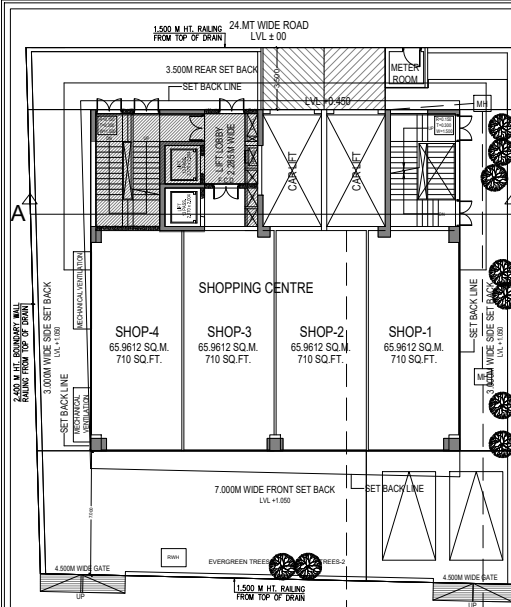




Required Parking Calculation

ACHIEVED F.A.R. AREA = 1625.66 SQ.M.
PARKING REQUIRED = 1625.66/50 = 32.513 OF CARS = 32 E.C.S
PROPOSED NO. OF CAR PARKING AT BASEMENT-1 = 278.355/30 = 09 E.C.S
PROPOSED NO. OF CAR PARKING AT BASEMENT-2 = 278.355/30 = 09 E.C.S
PROPOSED NO. OF CAR PARKING AT SURFACE = 280.004/20 = 14 E.C.S
TOTAL NO. OF PROPOSED CAR PARKING = 09 + 09 + 14 = 32 E.C.S

BASEMENT 01 & 02 PARKING CALCULATION				
ADDITIONAL AREA				
S.NO.	X	Y	NOS.	AREA
A	20.835	20.260	1	422.117
TOTAL AREA				422.117
DEDUCTION AREA				
S.NO.	X	Y	NOS.	AREA
CA1	20.835	6.900	1	143.762
TOTAL AREA				143.762
LANDSCAPE AREA CALCULATION				
S.NO.	X	Y	NOS.	AREA
G1	AS/POLYLINE		1	3.371
G2	AS/POLYLINE		1	98.223
TOTAL AREA				101.594
SURFACE PARKING AREA CALCULATION				
S.NO.	X	Y	NOS.	AREA
P1	AS/POLYLINE		1	16.799
P2	AS/POLYLINE		1	57.921
P3	AS/POLYLINE		1	49.047
P4	AS/POLYLINE		1	46.579
P5	AS/POLYLINE		1	63.379
P6	AS/POLYLINE		1	46.279
TOTAL AREA				280.004

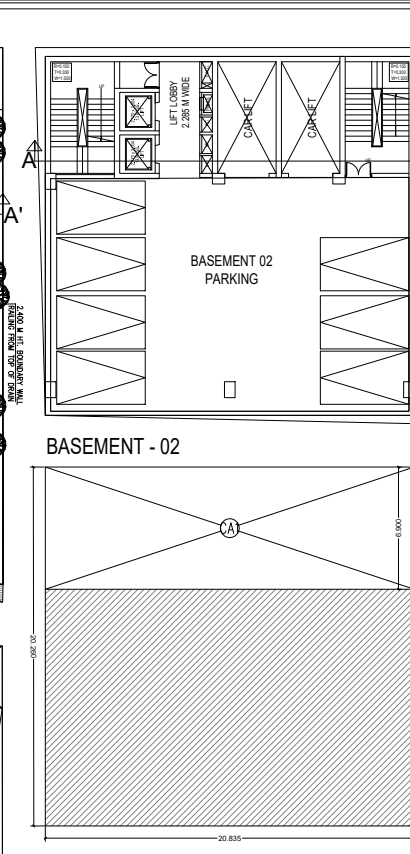
BASEMENT-01 & 02 PARKING CALCULATION
TOTAL PARKING AREA = TOTAL ADDITIONAL AREA - DEDUCTION AREA
= 422.117 - 143.762
= 278.355 SQ.M.
TOTAL NO. OF CARS = 278.355 / 30 = 9.278 = 9 X 2 = 18 CARS

GROUND FLOOR AREA CALCULATION :-

GROUND FLOOR ENVELOPE AREA = 401.282 Sq.m.
TOTAL DEDUCTION = 46.458 Sq.m.
GROUND FLOOR F.A.R. AREA = ENVELOPE AREA - TOTAL DEDUCTION
= 401.282 - 46.458 = 354.824 SQ.M.
TOTAL 15% F.A.R. AREA ON GROUND FLOOR = FIRE TOWER + SERVICE SHAFT
= 354.824 + 46.457 + 5.063 = 406.344 SQ.M.

TYPICAL FLOOR AREA CALCULATION :-

TYPICAL FLOOR ENVELOPE AREA = 401.282 Sq.m.
TOTAL DEDUCTION = 48.058 Sq.m.
TYPICAL FLOOR F.A.R. AREA = ENVELOPE AREA - TOTAL DEDUCTION
= 401.282 - 48.058 = 353.224 SQ.M.
TOTAL 15% F.A.R. AREA ON TYPICAL FLOOR = FIRE TOWER + SERVICE SHAFT
= 42.067 + 4.390 = 46.457 SQ.M.



BASEMENT - 02
BASEMENT - 01

BASEMENT PARKING ENVELOPE PLAN
BASEMENT 01 & 02 ENVELOPE PLAN

TYPICAL BASEMENT 01&02 AREA CALCULATION :-

BASEMENT FLOOR NON F.A.R. AREA = ENVELOPE AREA
= 422.117 Sq.m.

THIRD FLOOR AREA CALCULATION :-

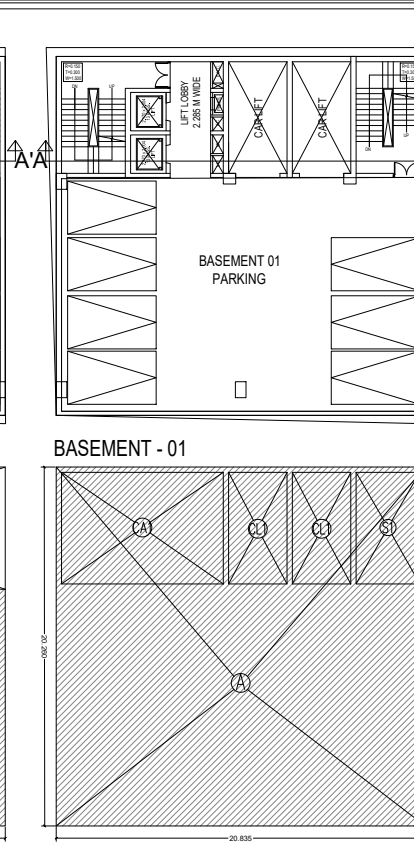
THIRD FLOOR ENVELOPE AREA = 401.282 Sq.m.
TOTAL DEDUCTION = 49.236 Sq.m.
THIRD FLOOR F.A.R. AREA = ENVELOPE AREA - TOTAL DEDUCTION
= 401.282 - 49.236 = 352.046 Sq.m.
TOTAL 15% F.A.R. AREA ON THIRD FLOOR = FIRE TOWER + SERVICE SHAFT
= 42.067 + 4.390 = 46.457 Sq.m.

FOURTH FLOOR AREA CALCULATION :-

FOURTH FLOOR ENVELOPE AREA = 225.687 Sq.m.
TOTAL DEDUCTION = 49.236 Sq.m.
FOURTH FLOOR F.A.R. AREA = ENVELOPE AREA - TOTAL DEDUCTION
= 225.687 - 49.236 = 176.451 Sq.m.
TOTAL 15% F.A.R. AREA ON FOURTH FLOOR = FIRE TOWER + SERVICE SHAFT
= 42.067 + 4.390 = 46.457 Sq.m.

GROUND FLOOR DEDUCTION AREA				
ADDITIONAL AREA				
S.NO.	X	Y	NOS.	AREA
A	20.835	19.260	1	401.282
TOTAL AREA				401.282
FIRE TOWER (15%)				
S.NO.	X	Y	NOS.	AREA
FT1	3.600	6.370	1	22.932
FT2	4.820	3.970	1	19.135
TOTAL AREA				42.067
SERVICE SHAFT (15%)				
S1	0.715	2.170	1	1.552
S2	0.715	3.970	1	2.839
TOTAL AREA				4.390
TOTAL DEDUCTION AREA				46.458

TYPICAL FLOOR DEDUCTION AREA				
ADDITIONAL AREA				
S.NO.	X	Y	NOS.	AREA
A	20.835	19.260	1	401.282
TOTAL AREA				401.282
FIRE TOWER (15%)				
S.NO.	X	Y	NOS.	AREA
FT1	3.600	6.370	1	22.932
FT2	4.820	3.970	1	19.135
TOTAL AREA				42.067
SERVICE SHAFT (15%)				
S1	0.715	2.170	1	1.552
S2	0.715	3.970	1	2.839
TOTAL AREA				4.390
CUT-OUT AREA				
S.NO.	X	Y	NOS.	AREA
C1	0.500	3.200	1	1.600
TOTAL AREA				1.600
TOTAL DEDUCTION AREA				48.058



BASEMENT - 01
BASEMENT - 02

BASEMENT PARKING ENVELOPE PLAN
BASEMENT 01 & 02 ENVELOPE PLAN

TYPICAL BASEMENT 01&02 AREA CALCULATION :-

BASEMENT FLOOR NON F.A.R. AREA = ENVELOPE AREA
= 422.117 Sq.m.

THIRD FLOOR AREA CALCULATION :-

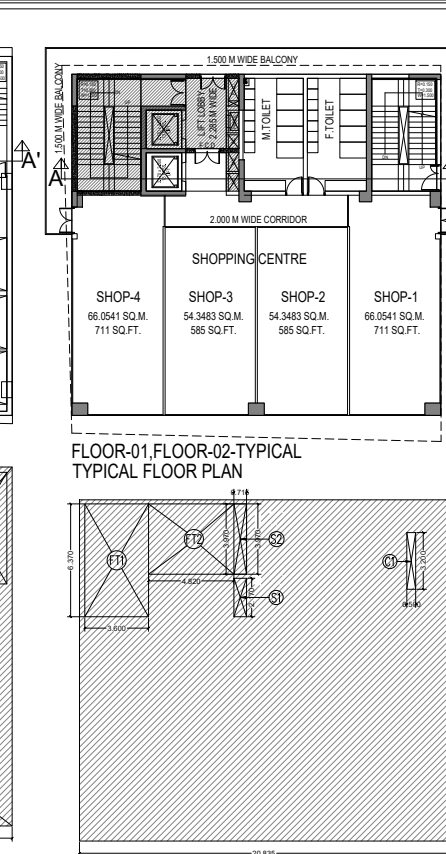
THIRD FLOOR ENVELOPE AREA = 401.282 Sq.m.
TOTAL DEDUCTION = 49.236 Sq.m.
THIRD FLOOR F.A.R. AREA = ENVELOPE AREA - TOTAL DEDUCTION
= 401.282 - 49.236 = 352.046 Sq.m.
TOTAL 15% F.A.R. AREA ON THIRD FLOOR = FIRE TOWER + SERVICE SHAFT
= 42.067 + 4.390 = 46.457 Sq.m.

FOURTH FLOOR AREA CALCULATION :-

FOURTH FLOOR ENVELOPE AREA = 225.687 Sq.m.
TOTAL DEDUCTION = 49.236 Sq.m.
FOURTH FLOOR F.A.R. AREA = ENVELOPE AREA - TOTAL DEDUCTION
= 225.687 - 49.236 = 176.451 Sq.m.
TOTAL 15% F.A.R. AREA ON FOURTH FLOOR = FIRE TOWER + SERVICE SHAFT
= 42.067 + 4.390 = 46.457 Sq.m.

FOURTH FLOOR DEDUCTION AREA				
ADDITIONAL AREA				
S.NO.	X	Y	NOS.	AREA
A	20.835	10.832	1	225.687
TOTAL AREA				225.687
FIRE TOWER (15%)				
S.NO.	X	Y	NOS.	AREA
FT1	3.600	6.370	1	22.932
FT2	4.820	3.970	1	19.135
TOTAL AREA				42.067
SERVICE SHAFT (15%)				
S1	0.715	2.170	1	1.552
S2	0.715	3.970	1	2.839
TOTAL AREA				4.390
TOTAL DEDUCTION AREA				49.236

TYPICAL FLOOR DEDUCTION AREA				
ADDITIONAL AREA				
S.NO.	X	Y	NOS.	AREA
A	20.835	19.260	1	401.282
TOTAL AREA				401.282
FIRE TOWER (15%)				
S.NO.	X	Y	NOS.	AREA
FT1	3.600	6.370	1	22.932
FT2	4.820	3.970	1	19.135
TOTAL AREA				42.067
SERVICE SHAFT (15%)				
S1	0.715	2.170	1	1.552
S2	0.715	3.970	1	2.839
TOTAL AREA				4.390
CUT-OUT AREA				
S.NO.	X	Y	NOS.	AREA
C1	0.500	3.200	1	1.600
TOTAL AREA				1.600
TOTAL DEDUCTION AREA				48.058



FLOOR-01, FLOOR-02-TYPICAL
TYPICAL FLOOR PLAN

BASEMENT PARKING ENVELOPE PLAN
BASEMENT 01 & 02 ENVELOPE PLAN

TYPICAL BASEMENT 01&02 AREA CALCULATION :-

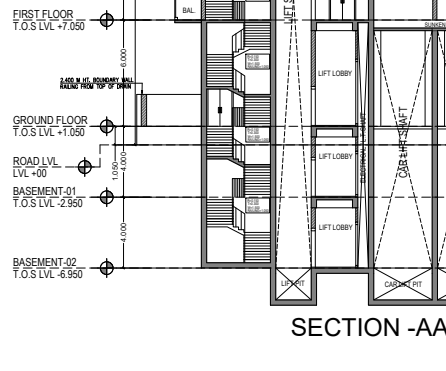
BASEMENT FLOOR NON F.A.R. AREA = ENVELOPE AREA
= 422.117 Sq.m.

THIRD FLOOR AREA CALCULATION :-

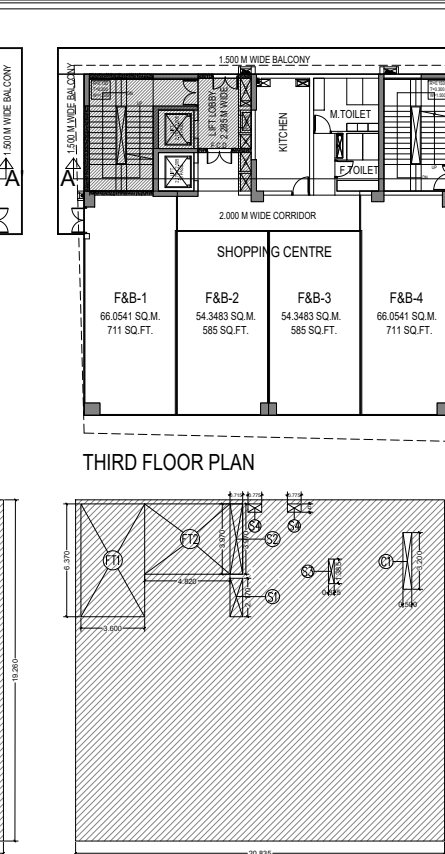
THIRD FLOOR ENVELOPE AREA = 401.282 Sq.m.
TOTAL DEDUCTION = 49.236 Sq.m.
THIRD FLOOR F.A.R. AREA = ENVELOPE AREA - TOTAL DEDUCTION
= 401.282 - 49.236 = 352.046 Sq.m.
TOTAL 15% F.A.R. AREA ON THIRD FLOOR = FIRE TOWER + SERVICE SHAFT
= 42.067 + 4.390 = 46.457 Sq.m.

FOURTH FLOOR AREA CALCULATION :-

FOURTH FLOOR ENVELOPE AREA = 225.687 Sq.m.
TOTAL DEDUCTION = 49.236 Sq.m.
FOURTH FLOOR F.A.R. AREA = ENVELOPE AREA - TOTAL DEDUCTION
= 225.687 - 49.236 = 176.451 Sq.m.
TOTAL 15% F.A.R. AREA ON FOURTH FLOOR = FIRE TOWER + SERVICE SHAFT
= 42.067 + 4.390 = 46.457 Sq.m.



SECTION -AA'



THIRD FLOOR PLAN

BASEMENT PARKING ENVELOPE PLAN
BASEMENT 01 & 02 ENVELOPE PLAN

TYPICAL BASEMENT 01&02 AREA CALCULATION :-

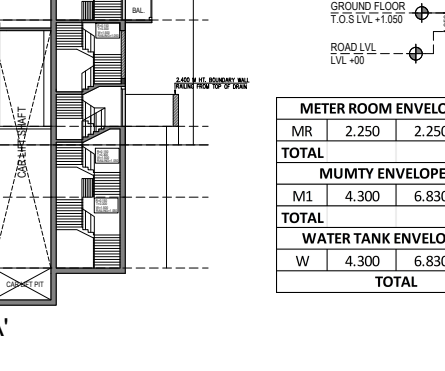
BASEMENT FLOOR NON F.A.R. AREA = ENVELOPE AREA
= 422.117 Sq.m.

THIRD FLOOR AREA CALCULATION :-

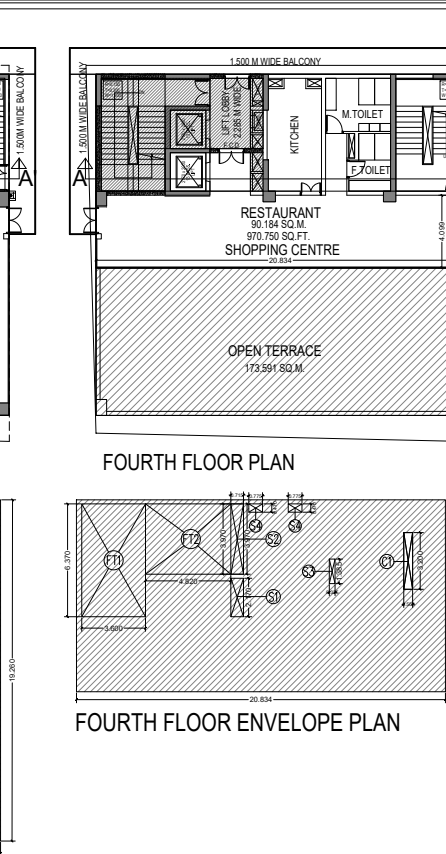
THIRD FLOOR ENVELOPE AREA = 401.282 Sq.m.
TOTAL DEDUCTION = 49.236 Sq.m.
THIRD FLOOR F.A.R. AREA = ENVELOPE AREA - TOTAL DEDUCTION
= 401.282 - 49.236 = 352.046 Sq.m.
TOTAL 15% F.A.R. AREA ON THIRD FLOOR = FIRE TOWER + SERVICE SHAFT
= 42.067 + 4.390 = 46.457 Sq.m.

FOURTH FLOOR AREA CALCULATION :-

FOURTH FLOOR ENVELOPE AREA = 225.687 Sq.m.
TOTAL DEDUCTION = 49.236 Sq.m.
FOURTH FLOOR F.A.R. AREA = ENVELOPE AREA - TOTAL DEDUCTION
= 225.687 - 49.236 = 176.451 Sq.m.
TOTAL 15% F.A.R. AREA ON FOURTH FLOOR = FIRE TOWER + SERVICE SHAFT
= 42.067 + 4.390 = 46.457 Sq.m.



THIRD FLOOR ENVELOPE PLAN



FOURTH FLOOR PLAN

BASEMENT PARKING ENVELOPE PLAN
BASEMENT 01 & 02 ENVELOPE PLAN

TYPICAL BASEMENT 01&02 AREA CALCULATION :-

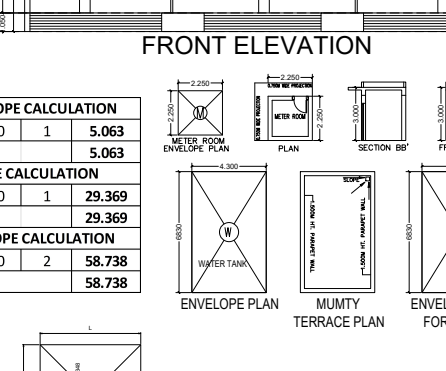
BASEMENT FLOOR NON F.A.R. AREA = ENVELOPE AREA
= 422.117 Sq.m.

THIRD FLOOR AREA CALCULATION :-

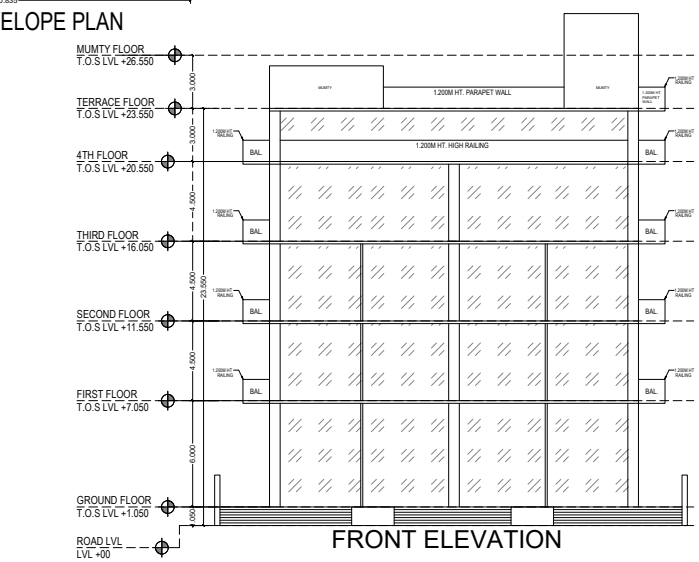
THIRD FLOOR ENVELOPE AREA = 401.282 Sq.m.
TOTAL DEDUCTION = 49.236 Sq.m.
THIRD FLOOR F.A.R. AREA = ENVELOPE AREA - TOTAL DEDUCTION
= 401.282 - 49.236 = 352.046 Sq.m.
TOTAL 15% F.A.R. AREA ON THIRD FLOOR = FIRE TOWER + SERVICE SHAFT
= 42.067 + 4.390 = 46.457 Sq.m.

FOURTH FLOOR AREA CALCULATION :-

FOURTH FLOOR ENVELOPE AREA = 225.687 Sq.m.
TOTAL DEDUCTION = 49.236 Sq.m.
FOURTH FLOOR F.A.R. AREA = ENVELOPE AREA - TOTAL DEDUCTION
= 225.687 - 49.236 = 176.451 Sq.m.
TOTAL 15% F.A.R. AREA ON FOURTH FLOOR = FIRE TOWER + SERVICE SHAFT
= 42.067 + 4.390 = 46.457 Sq.m.

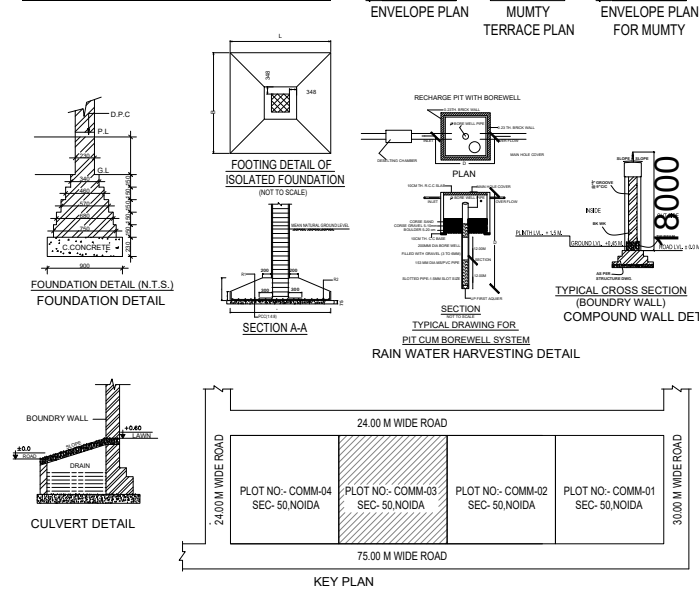


FOURTH FLOOR ENVELOPE PLAN



FRONT ELEVATION

METER ROOM ENVELOPE CALCULATION				
S.NO.	X	Y	NOS.	AREA
MR	2.250	2.250	1	5.063
TOTAL				5.063
MUMTY ENVELOPE CALCULATION				
S.NO.	X	Y	NOS.	AREA
M1	4.300	6.830	1	29.369
TOTAL				29.369
WATER TANK ENVELOPE CALCULATION				
S.NO.	X	Y	NOS.	AREA
W	4.300	6.830	2	58.738
TOTAL				58.738



KEY PLAN

NEW OKHLA INDUSTRIAL DEVELOPMENT AUTHORITY
PROPOSED (SANCTION DRAWING FOR COMMERCIAL BUILDING PLAN) FOR
PLOT NO.- COMM-03, SECTOR-50, NOIDA, G.B. NAGAR.

AREA CALCULATION :-

- TOTAL PLOT AREA = **812.730 SQM**
- PERMISSIBLE F.A.R. @ 2 OF TOTAL PLOT AREA = 812.730X2 = **1625.660 SQM**
- PERMISSIBLE COVERED AREA AT GROUND FLOOR @ 50% OF PLOT AREA = 812.730 X 50/100 = **406.415 SQM**
- TOTAL PROPOSED GROUND COVERAGE =
= BUILDING BLOCK + 15% AT G.F. + METER ROOM
= 354.824 + 46.457 + 5.063 = **406.344 SQM.**
- TOTAL FEES AREA
= F.A.R. + NON F.A.R. AREA + 15% ADDITIONAL AREA
= 1624.201 + 902.972 + 232.285 = **2760.000 SQM.**

PARKING CALCULATION
PERMISSIBLE FAR AREA = 1625.660 SQM.
CAR PARKING REQUIRED = 1625.460/50 = 32.509 Nos of Cars = **32 Nos of Cars**
PROPOSED COVERED CAR PARKING = 278.355 SQM. X 2 = **556.710 SQ.M.**
PROPOSED BASEMENT CAR PARKING = 280.004 SQM. X 2 = **560.008 SQ.M.**
PROPOSED SURFACE CAR PARKING = 280.004/20 = 14.002 Nos of Cars = **14 Nos of Cars**
TOTAL PROPOSED CAR PARKING = 18 + 14 = **32 Nos. of Cars**

LANDSCAPE CALCULATION
TOTAL OPEN AREA = 812.730 - 406.415 = **406.315 SQM.**
REQUIRED GREEN AREA = 25% OF OPEN AREA AT GROUND FLOOR
REQUIRED GREEN AREA = 406.315 @ 25% = **101.578 SQM.**
PROPOSED GREEN AREA = **101.594 SQM.**
MINIMUM NO. OF TREE REQUIRED
= 406.315/100 SQM OF OPEN AREA
= 4.06315 = **4 NOS.**
PROPOSED NUMBER OF TREES = **4 NOS.**
PLUMERIA LABA = **2 NOS**
ALBETZIA LEBBK = **2 NOS**

DOOR AND WINDOW SCHEDULE

S.NO.	TYPE	SIZE	SILL	LINTEL	UNITS
01	D	0.750X2.400	0.000	2.400	49
02	D1	0.900X2.400	0.000	2.400	71
03	D2	1.200X2.400	0.000	2.400	9
04	D3	1.500X2.400	0.000	2.400	10
05	W	2.000X1.500	0.900	2.400	3
06	W1	2.800X1.500	0.900	2.400	22
07	W2	1.500X1.500	0.900	2.400	37
08	W3	5.500X1.500	0.900	2.400	03
09	W4	9.000X2.700	2.100	2.400	02
10	CW	7.000X2.700	2.100	2.400	08
11	V	0.600X0.300	2.100	2.400	41

DRAWING TITLE :

SANCTION DRAWING

CLIENT :-

M/S VERTEX CONSTRUCTION (PARTNERSHIP FIRM)
Comm - 03, Sector-50, Noida

PROJECT NAME:

SQUARE - 50

ARCHITECT'S SIGN: **OWNER'S SIGN:**

ARCHITECT : **S D A**
SHASHANK DIXIT & ASSOCIATES
BUILDING COMPLIANCE | SANCTION | COMPLETION | NOC'S | APPROVALS | ADVISORY
ADDRESS : F-003, 1st FLOOR, GNS PLAZA, SITE IV, OPP. RADISSON BLU HOTEL KASNA ROAD PARI CHOWK, GR.NOIDA, G.B. NAGAR, U.P.
Email Id - sdagnida@gmail.com Mobile No. 7065557773

DWG. NO. **NORTH**

SDA_01/01

SCALE : **NTS.**

DATE : **07.01.2026**

DRG. STATUS: **FINAL**

DEALT BY : **AR. ANINDITA**

CHECKED BY : **AR. DINESH**