

AREA STATEMENT		SANCTION		DOWING	
10% PLAT AREA (AS PER DEED)		SQ.MT.		SQ.MT.	
AREA UNDER ROAD WIDENING		552.57		1332.47	
LAND AREA AFTER ROAD WIDENING		12883.43		17741.54	
OWNERS LAND		2821.66		2453.81	
COMMERCIAL PLOT AREA		375.67		375.25	
NET LAND AREA FOR GROUP HOUSING		9686.35		9912.96	
PERMISSIBLE F.A.R.	2.5	24215.38		24782.43	
PERMISSIBLE GREEN AREA	15%	1452.92		1486.947	
ACHIEVED GREEN AREA	17.17%	1663.56		1661.23	
PERMISSIBLE UNITS (PER HECTARE)	330	319.64	SAY 320	327.12834	SAY 327
ACHIEVED NO. OF UNITS		130		130	
TOTAL PROPOSED F.A.R.	1.045	10070.66		10093.32	1.044
PERMISSIBLE GROUND COVERAGE	40%	3874.36		3862.197	40%
ACHIEVED GROUND COVERAGE	9.32%	903.02		1087	10.97%

PROPOSED AREA FOR F.A.R. ON EACH FLOOR AND TOWER (PHASE -1)					
FLOOR NAME	F.A.R. AREA	FIRE STAIRCASE	COVERED AREA IN SQ.MT.		PROPOSED NO. OF UNITS
			BALCONY	WARDROBE	
			FREE FROM F.A.R.	FREE FROM F.A.R.	
COVERED AREA ON BASEMENT	0	0.00	0	0	2254.89
COVERED AREA ON 1ST FLOOR	95.9	9.45	0	0	953.70
COVERED AREA ON 2ND FLOOR	242.79	11.983	71.33	10.31	825.47
COVERED AREA ON 3RD FLOOR	231.89	11.983	71.33	10.31	825.47
COVERED AREA ON 4TH FLOOR	231.89	11.983	71.33	10.31	825.47
COVERED AREA ON 5TH FLOOR	231.89	11.983	71.33	10.31	825.47
COVERED AREA ON 6TH FLOOR	231.89	11.983	71.33	10.31	825.47
COVERED AREA ON 7TH FLOOR	231.89	11.983	71.33	10.31	825.47
COVERED AREA ON 8TH FLOOR	231.89	11.983	71.33	10.31	825.47
COVERED AREA ON 9TH FLOOR	231.89	11.983	71.33	10.31	825.47
COVERED AREA ON 10TH FLOOR	231.89	11.983	71.33	10.31	825.47
COVERED AREA ON 11TH FLOOR	231.89	11.983	71.33	10.31	825.47
COVERED AREA ON 12TH FLOOR	231.89	11.983	71.33	10.31	825.47
COVERED AREA ON 13TH FLOOR	231.89	11.983	71.33	10.31	825.47
COVERED AREA ON 14TH FLOOR	231.89	11.983	71.33	10.31	825.47
(FOR E.W.S & L.I. UNITS)	731.09	12.983	71.33	10.31	825.47
WARDROBE AREA	10553.32				1486.96
					140

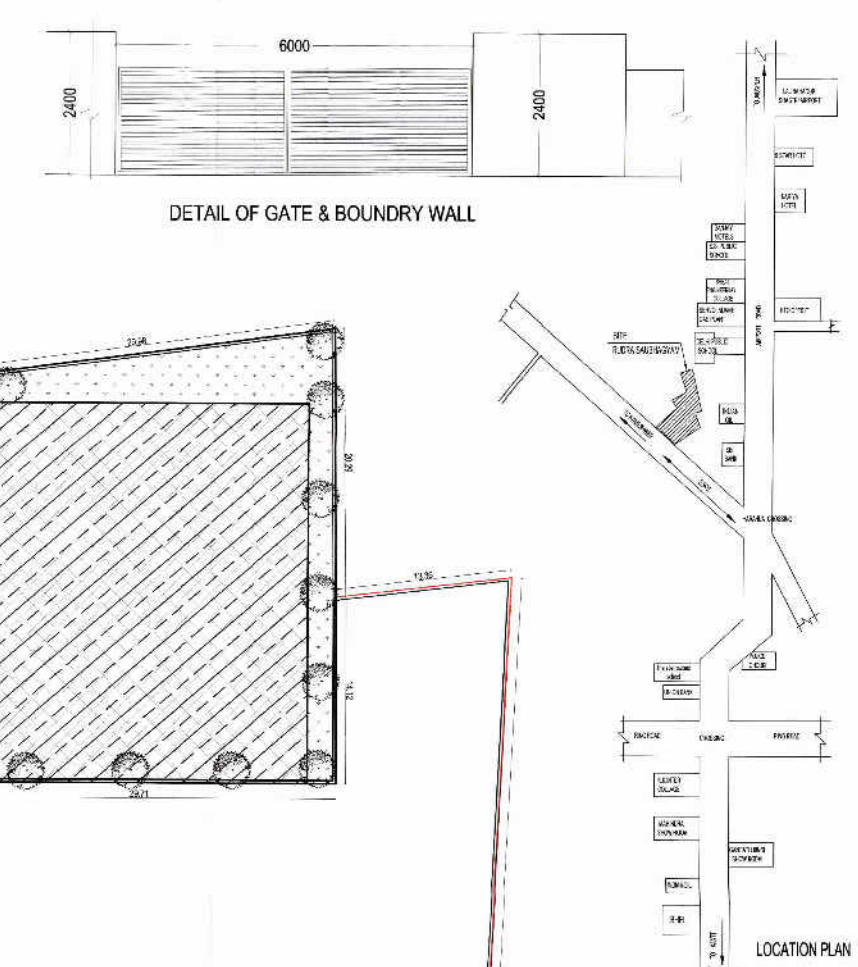
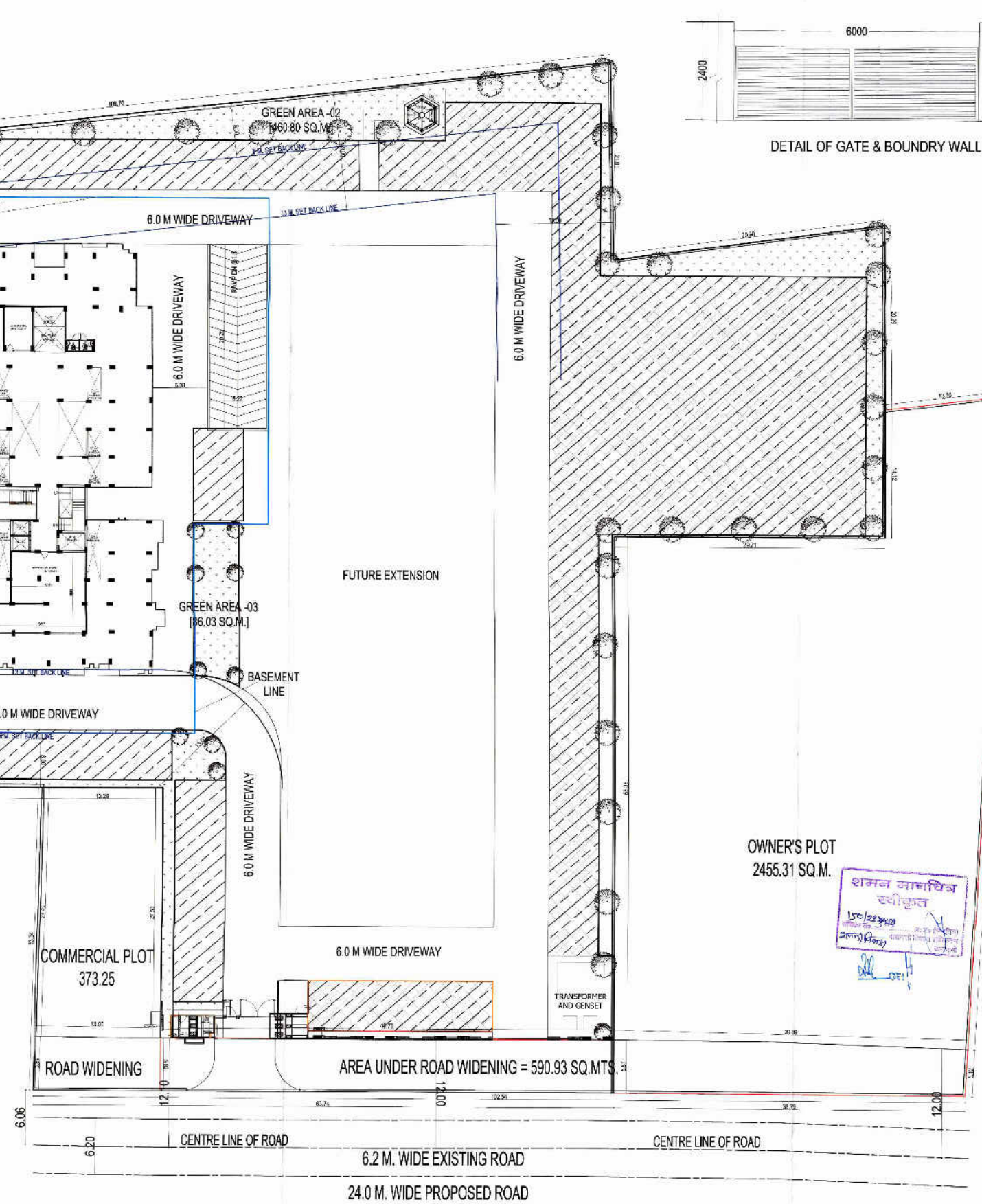
COMMUNITY AREA (2% ADDITIONAL FACILITY) NON F.A.R. AREA			
GROUND FLOOR AREA		121.22	
FIRST FLOOR AREA		118.67	395.56
SECOND FLOOR AREA		118.67	
WARDROBE AREA		37	
STREET FLOOR			
PUBLIC TOILET		4.6	
SHAFT AREA		0.696	
SHAFT AREA (1ST TO 14TH FLOOR)		45.612	
WARDROBE AREA		144.34	
TOTAL AREA		590.81	
GUARD ROOM + TOILET	12.02		12.02
TOTAL COVERED AREA		15275.54	

CAR PARKING STATEMENT			
	TOTAL		TOTAL
E.C.S. REQUIRED FOR UNITS BELOW AREA 50 SQ.MTS	140		140
E.C.S. REQUIRED FOR UNITS IN AREA 50-100 SQ.MTS	140		140
DRIVER'S PARKING			14
TOTAL REQUIRED PARKING			154
TOTAL PROPOSED E.C.S. (GROUND + STILT)			27
PROPOSED PARKING AT BASEMENT FLOOR			23
PROPOSED PARKING AT STILT FLOOR			66
PROPOSED PARKING AT GROUND FLOOR			66
TOTAL PROPOSED PARKING (BASEMENT + GROUND + STILT)			154.00

E.W.S & LIG CALCULATION			
PROPOSED UNIT UP TO 13TH FLOOR [140-10]	NO.	AREA	SQ. M.
REQUIRED E.W.S.	13	35.00	455
REQUIRED L.I.G.	13	41.00	533
TOTAL			988
PROPOSED E.W.S. AND LIG. [14TH FLOOR]			814.06
REMAINING AREA			173.94

REQUIRED TREES = 49 PROPOSED TREES = 78		
GROUND COVERAGE AREA		
TOTAL BUILT UP AREA FOR FIRST FLOOR		836.431
EXTENDED STILT SLAB		117.39
CLUB GROUND FLOOR AREA		121.22
SAURAD ROOM & TOILET		12.02
TOTAL		1087.06
%		11.22

GREEN NOS.	AREA	UNIT
GREEN-01	1114.4	SQ.MT.
GREEN-02	460.8	SQ.MT.
GREEN-03	86.03	SQ.MT.
TOTAL	1661.23	SQ.MT.

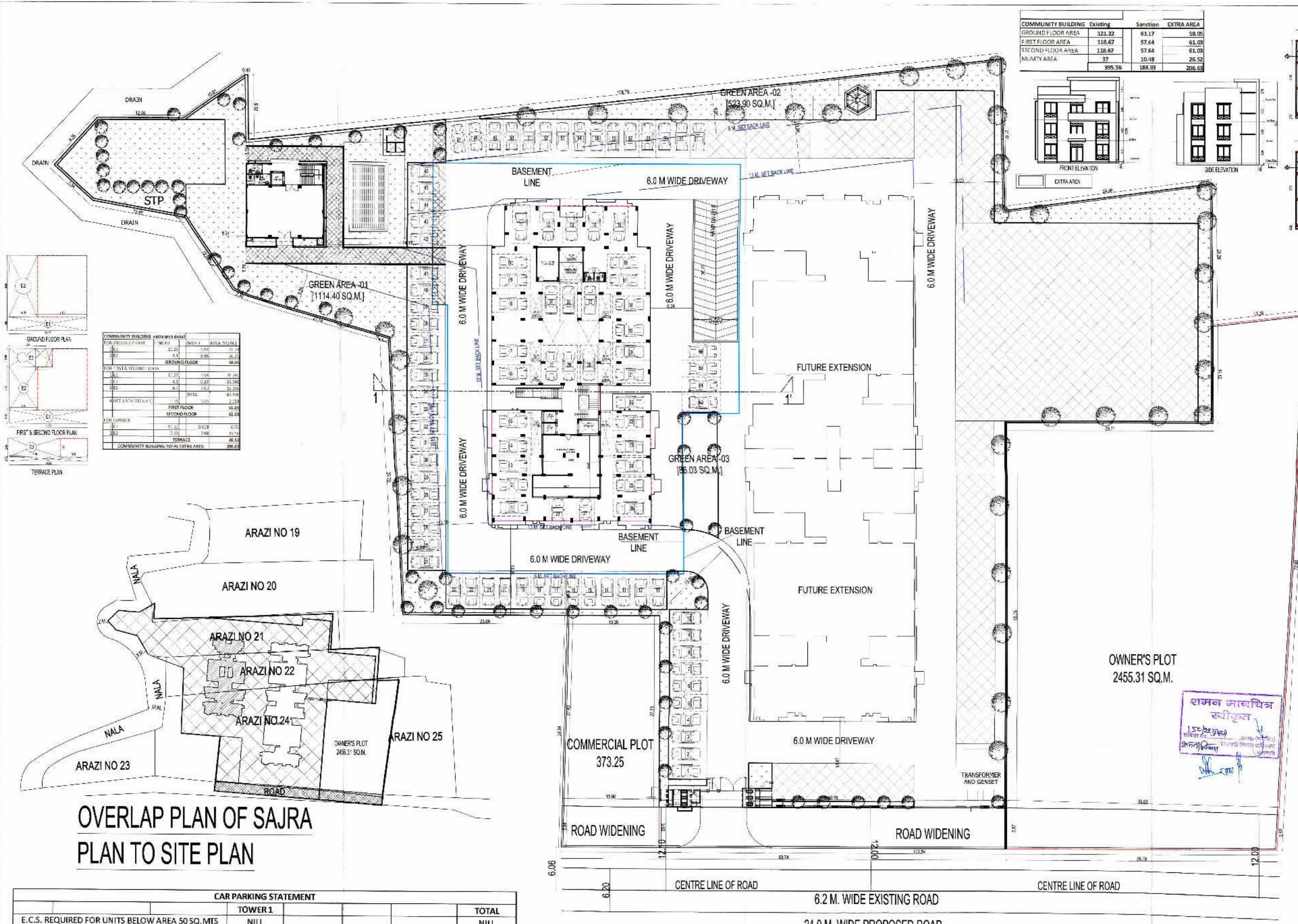


CERTIFICATE
I CERTIFY THAT THERE IS NO H.O.P. OR ROAD WIDENING BY ANY GOVT. DEPT. OR BELONGING TO ANY AGENCY WITHIN 50 METERS FROM THE SITE IN QUESTION.

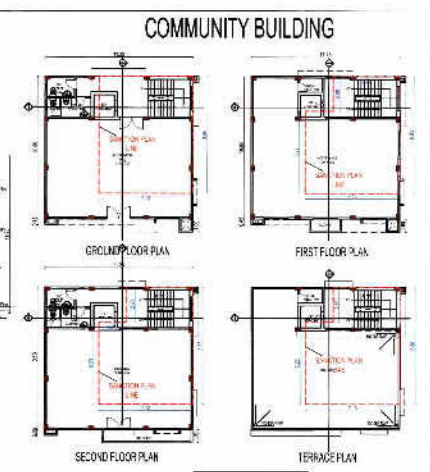
2- PLAN (ING BEEN PREPARED) AS PER BUILDING REGULATIONS 2006 & MASTER PLAN 2002.

PROJECT: COMPROMISING OF EXISTING GROUP HOUSING OF AREA NO. 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

SITE PLAN



COMMUNITY BUILDING	Existing	Sanction	EXTRA AREA
GROUND FLOOR AREA	121.22	63.17	58.05
FIRST FLOOR AREA	118.67	57.64	61.03
SECOND FLOOR AREA	138.67	57.64	61.03
MULTI AREA	37	10.48	26.52
	395.56	188.93	206.63



LEGEND :

SPACE FOR FUTURE PARKING

CERTIFICATE
 I CERTIFY THAT THERE IS NO PROPOSED ROAD WIDENING BY ANY GOVT. DEPTT. OR BELONGING TO ANY AGENCY WITHIN 30 METER FROM THE SITE BOUNDARY.
 2. PLAN HAS BEEN PREPARED AS PER BUILDING BYE LAWS 2005 & MASTER PLAN - 2021.

PROJECT :
 COMPOUNDING OF EXISTING GROUP HOUSING OF ARAZI NO. 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.

DETAIL OF DOORS & WINDOWS

NO.	DOOR	WINDOW	AREA
1	1	1	1
2	2	2	2
3	3	3	3
4	4	4	4
5	5	5	5
6	6	6	6
7	7	7	7
8	8	8	8
9	9	9	9
10	10	10	10

DRG TITLE
 SITE PLAN & PARKING PLAN
SCALE: 1:200
DATE: 18/10/2023
DRN BY:

OWNED BY:
 M/S. RUDRA REAL ESTATE PRIVATE LIMITED
 Rudra House, 15/63, Civil Lines Kanpur UP.
 Its authorized signatory—
MR. KUMAR ABHAS
S/O SHRI UMA SHANKAR SINGH

OWNER'S SIGN
 [Signature]

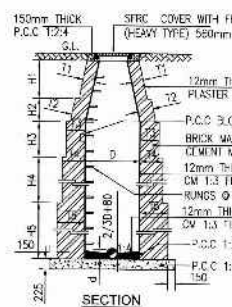
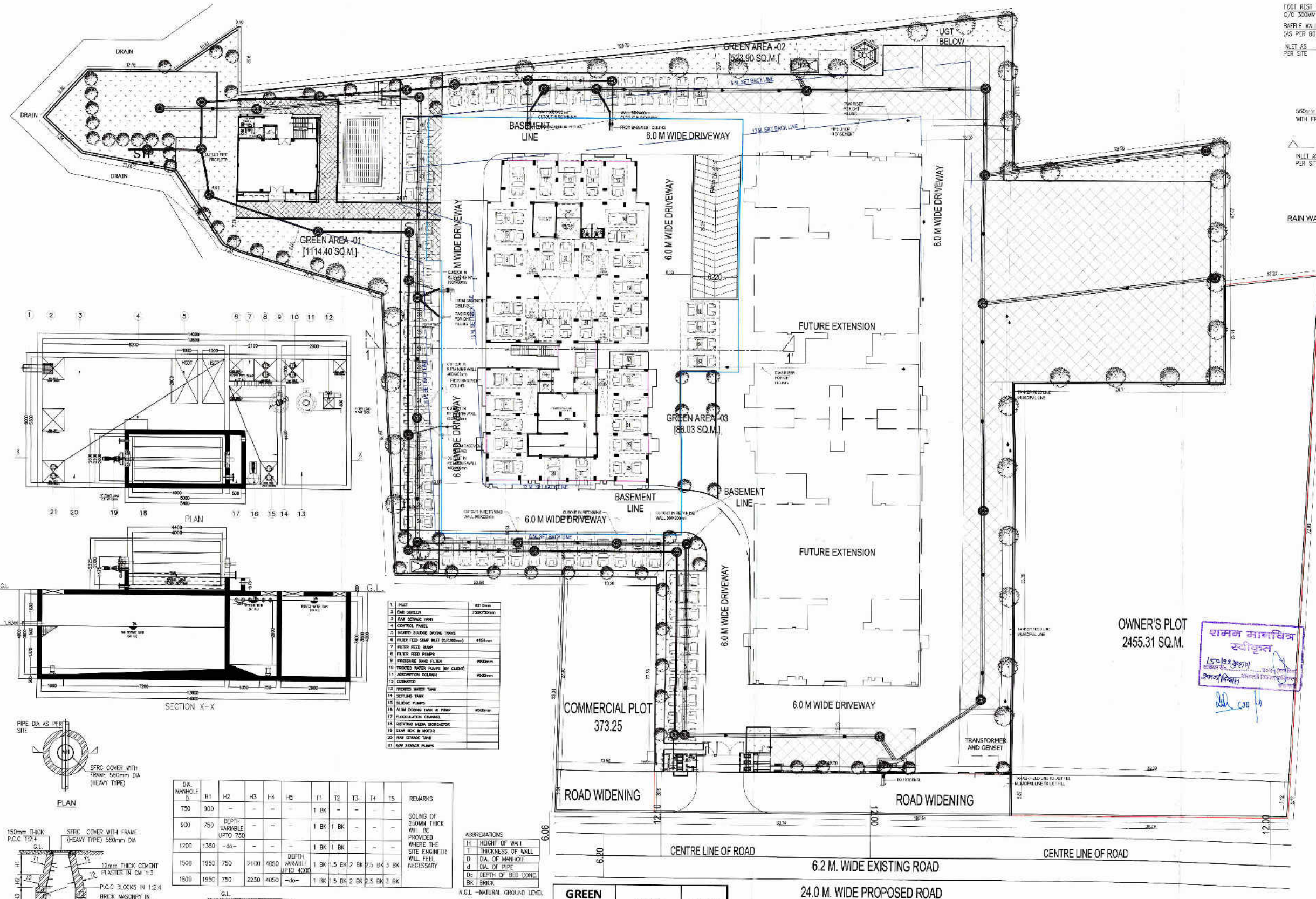
ARCHITECT'S SIGN
 [Signature]

Ar. Gunraj Srivastava
 B. Arch. - 1974
 CA/0021296
 Rudra Real Estate Ltd.

OVERLAP PLAN OF SAJRA PLAN TO SITE PLAN

CAR PARKING STATEMENT				
	TOWER 1			TOTAL
E.C.S. REQUIRED FOR UNITS BELOW AREA 50 SQ.MTS	NILL			
E.C.S. REQUIRED FOR UNITS IN AREA 50-100 SQ.MTS	140			140
10%VISITOR'S PARKING				14
TOTAL REQUIRED PARKING				154
TOTAL PROPOSED E.C.S. (GROUND + STILT)				
PROPOSED PARKING AT BASEMENT FLOOR			57	
PROPOSED PARKING AT STILT FLOOR			33	
PROPOSED PARKING AT GROUND FLOOR			66	
TOTAL PROPOSED PARKING (BASEMENT + GROUND + STILT)				156.00

SITE PLAN



MANHOLE NO.	H1	H2	H3	H4	H5	T1	T2	T3	T4	T5	REMARKS
750	900	-	-	-	-	1 BK	-	-	-	-	SOLING OF 250MM THICK
900	750	-	-	-	-	1 BK	1 BK	-	-	-	WH. IS PROVIDED WHERE THE SITE ENGINEER WILL FEEL NECESSARY
1200	1350	-	-	-	-	1 BK	1 BK	-	-	-	
1500	1950	750	2100	4050	-	1 BK	1.5 BK	2 BK	2.5 BK	3 BK	
1800	1950	750	2250	4050	-	1 BK	1.5 BK	2 BK	2.5 BK	3 BK	

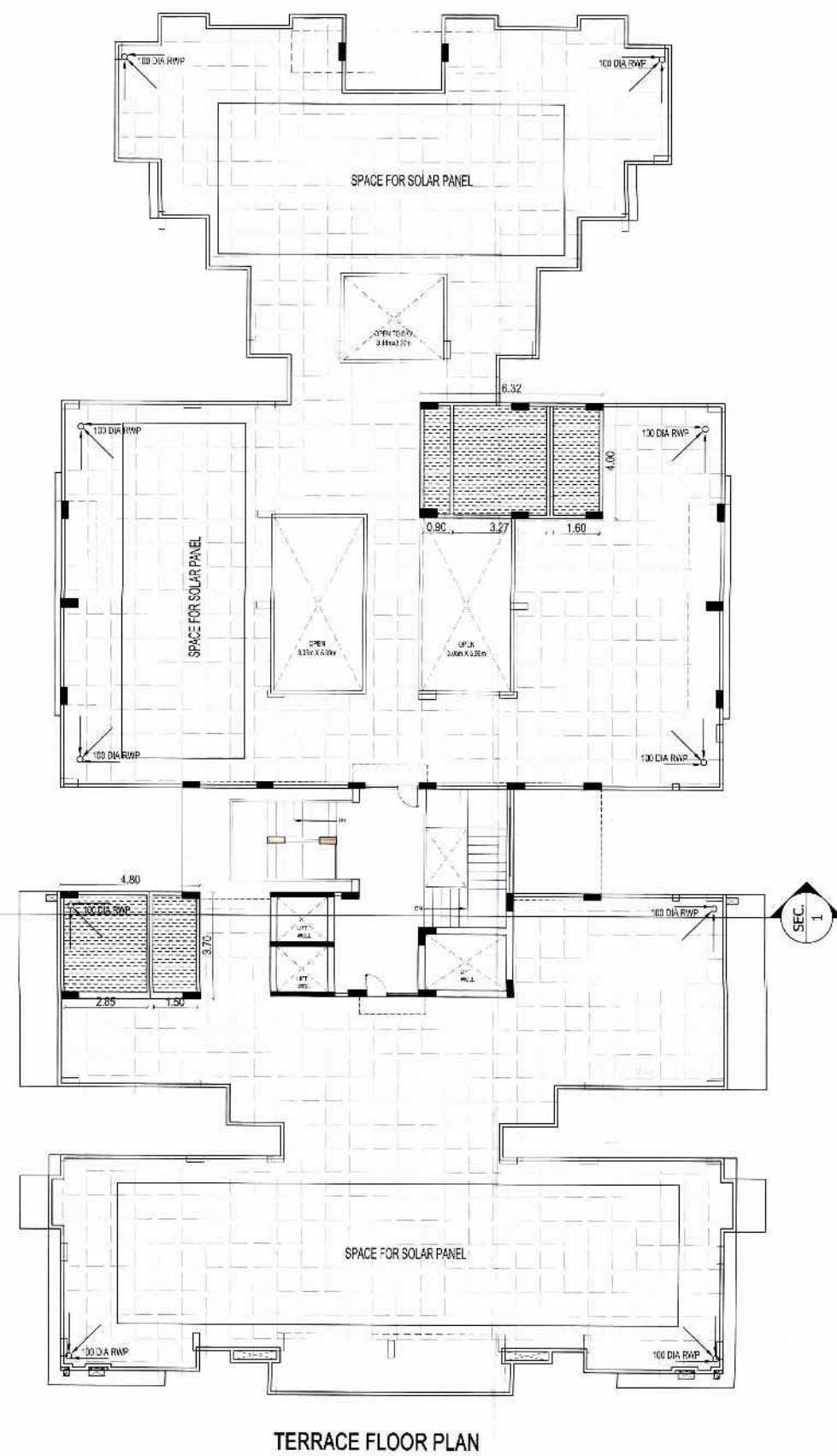
ABBREVIATIONS	DESCRIPTION
H	HEIGHT OF WALL
T	THICKNESS OF WALL
D	DIAM. OF MANHOLE
d	DIAM. OF PIPE
Dc	DEPTH OF BED CONC.
BK	BRICK
N.G.L.	NATURAL GROUND LEVEL

INTERNAL DIAMETER OF CIRCULAR MANHOLES (AS PER IS : 4111)	DEPTH OF MANHOLE (MM)	INTERNAL DIAMETER (MM)
ABOVE 900 AND UP TO 1650	900	1200
1651 AND UP TO 2300	1200	1500
2301 AND UP TO 3000	1500	1800
ABOVE 3001 AND UP TO 14000	1800	

GREEN NOS.	AREA	UNIT
GREEN-01	1114.4	SQ.MT.
GREEN-02	460.8	SQ.MT.
GREEN-03	86.03	SQ.MT.
TOTAL	1661.23	SQ.MT.

SERVICE / LANDSCAPE PLAN

Af. Gaurav Selvastava
Tl. Arch. &
CA/97/21296
Rudra Real Estate Ltd.



CERTIFICATE
I CERTIFY THAT THERE IS NO PROP. OR ROAD
MAINTAINED BY ANY GOVT. DEPT. OR BELONGING
TO RLY ADJACENT WITHIN 30' OF MT FROM
THE GULF IN QUESTION
2. PLAN HAS BEEN PREPARED AS PER
BUILDING EYE LAGS 2000 &
MASTER PLAN 2021.

PROJECT

COMPOUNDING OF EXISTING GROUP HOUSING
OF ARAZI NO. 21, 22, part-22, 24 part-24 MALUZA
DHANESARI PARAGANA - ATHGANIYA - TEHSIL
PINDRA, DISTRICT VAFGANASI.

DETAIL OF DOORS & WINDOWS

DWG. TITLE
TERRACE FLOOR PLAN
AND FRONT ELEVATION

SCALE	1:100
DATED	18/10/2023
DRN BY	

OWNED BY:

M/S RUDRA REAL ESTATE PRIVATE LIMITED
Rudra House, 15/63, civil lines Kanpur UP.
its authorized singtary---
MR. KUMAR ABHAS
S/O Shri UMA SHANKAR SINGH

OWNERS SIGN _____

ARCHITECT'S SIGN

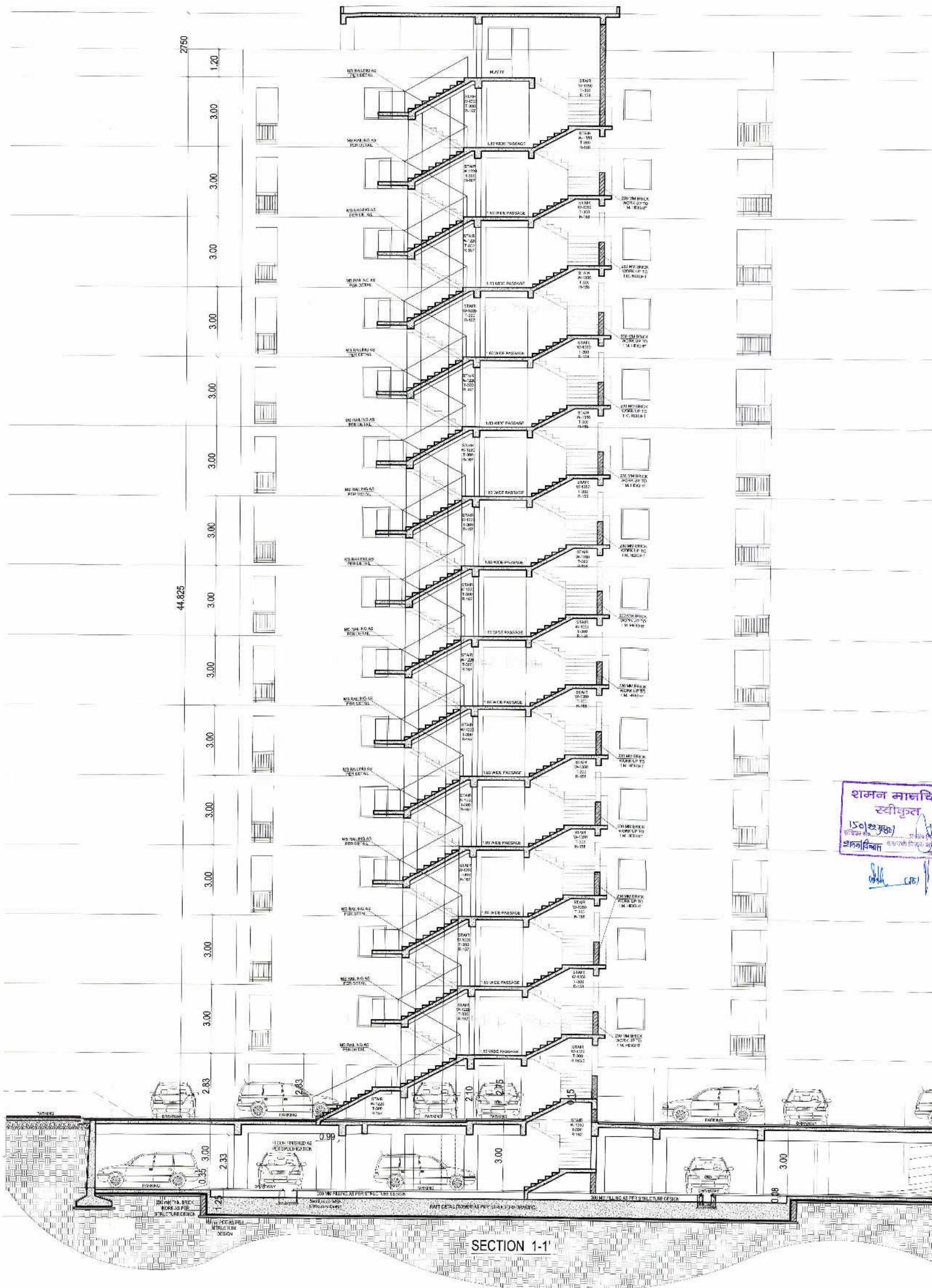
Az. Gaurav Srivastava
B. Arch. &
CA/97/21296
Redra Real Estate Ltd



RIGHT SIDE
ELEVATION



CERTIFICATE CERTIFIED THAT THE PLANS & SPECIFICATIONS OF ROAD DEVELOPMENT BY MR. SHRI UMA SHANKAR SINGH TO BE ADHERED WITHIN 15.45 M FROM THE SITE IN QUESTION 2. PLAN HAS BEEN PREPARED AS PER BUILDING SPECIFICATIONS 2001 & MASTER PLAN 2001	
PROJECT: COMPOUNDING OF EXISTING GROUP HOUSING OF ARAB NO. 21, 22, part 22, 24 part 24 MAUZA DHANESARI PARASANA - AT-HADAWA - TOLIGIL PINDRA DISTRICT VARANASI	
DETAIL OF DOOR'S & WINDOWS	
DRG. TITLE ELEVATION - 1	NORTH
SCALE 1:100	
DATED 18/10/2023	
OWN BY:	
OWNED BY: M/S. RUDRA REAL ESTATE PRIVATE LIMITED Rudra House, 15/63, civil lines Kanpur UP. Its authorized singlatory— MR. KUMAR ABHAS S/O Shri UMA SHANKAR SINGH	
OWNER'S SIGN 	
ARCHITECT'S SIGN 	



शमल माणखिन
स्वीकृत
15/02/2023
अभिषेक

CERTIFICATE
1. CERTIFIED THAT THERE IS NO PROP. OR ROAD MAINTAINED BY ANY GOVT. DEPT. OR BELONGING TO RLY. ADMINT. WITH IN 30.45 MT FROM THE SITE IN QUESTION.
2. PLAN. HAS BEEN PREPARED AS PER BUILDING BYE LAWS 2008 & MASTER PLAN 2021.

PROJECT:
COMPOUNDING OF EXISTING GROUP HOUSING OF ARAZI NO. 21, 22, part-22, 24 part-24 MAUZA-DHANESARI, PARAGANA - ATHGANIWA. TEHSIL, PINDRA, DISTRICT VARANASI.

DETAIL OF DOOR'S & WINDOWS

DRG. TITLE
SECTION - 1 AT 101

SCALE: 1:100

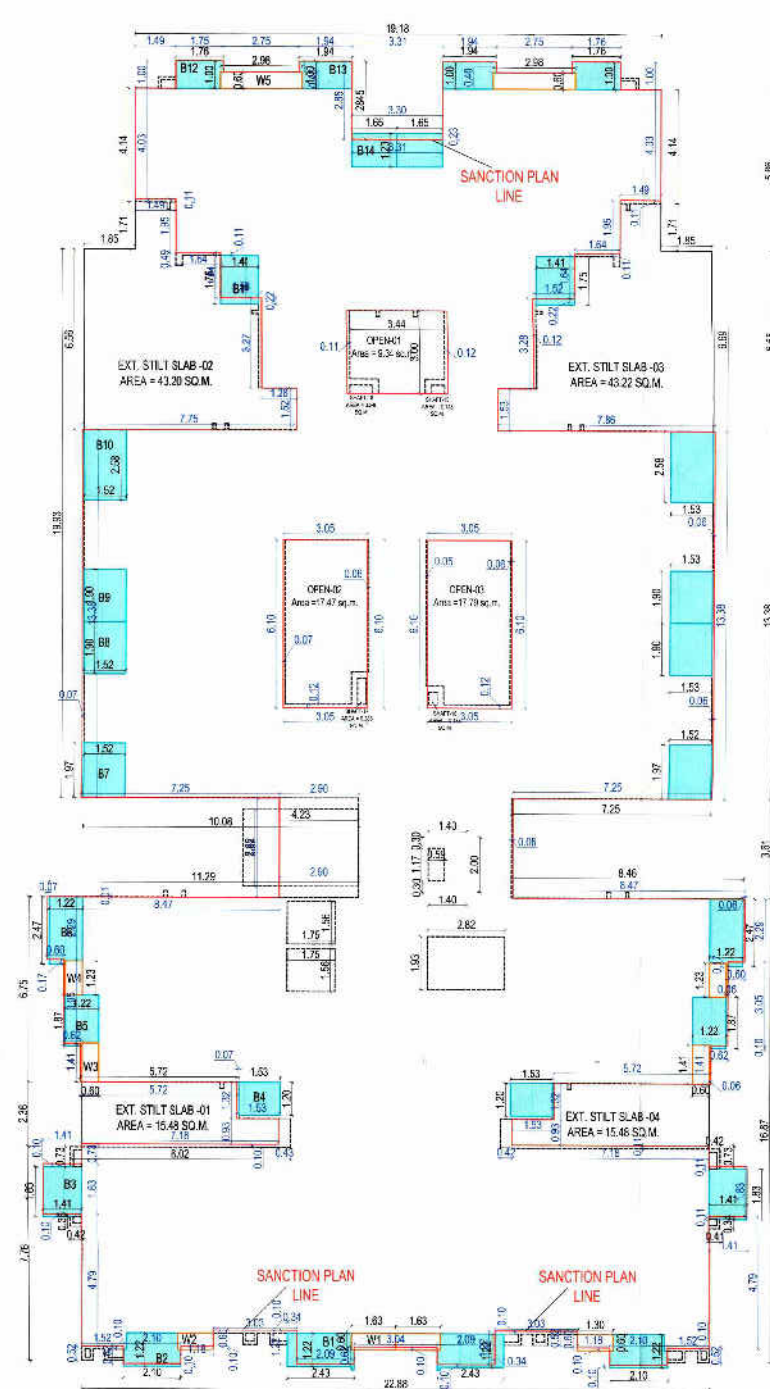
DATED: 18/10/2023

DRN. BY:

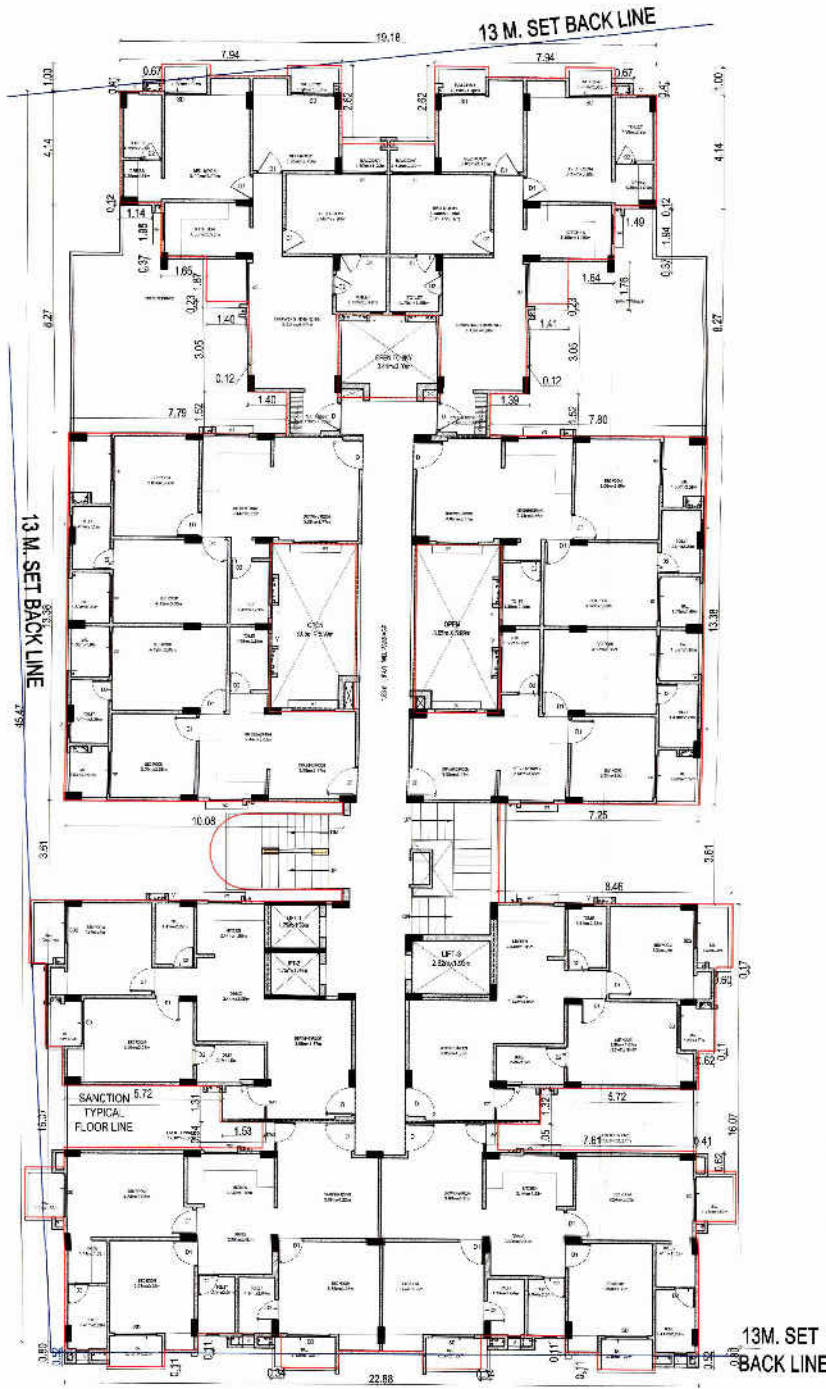
OWNED BY:
M/S RUDRA REAL ESTATE PRIVATE LIMITED
Rudra House, 15/53, civil lines Kanpur UP.
its authorized singtory--
MR. KUMAR ABHAS
S/O Shri UMA SHANKAR SINGH

OWNER'S SIGN
Abhas

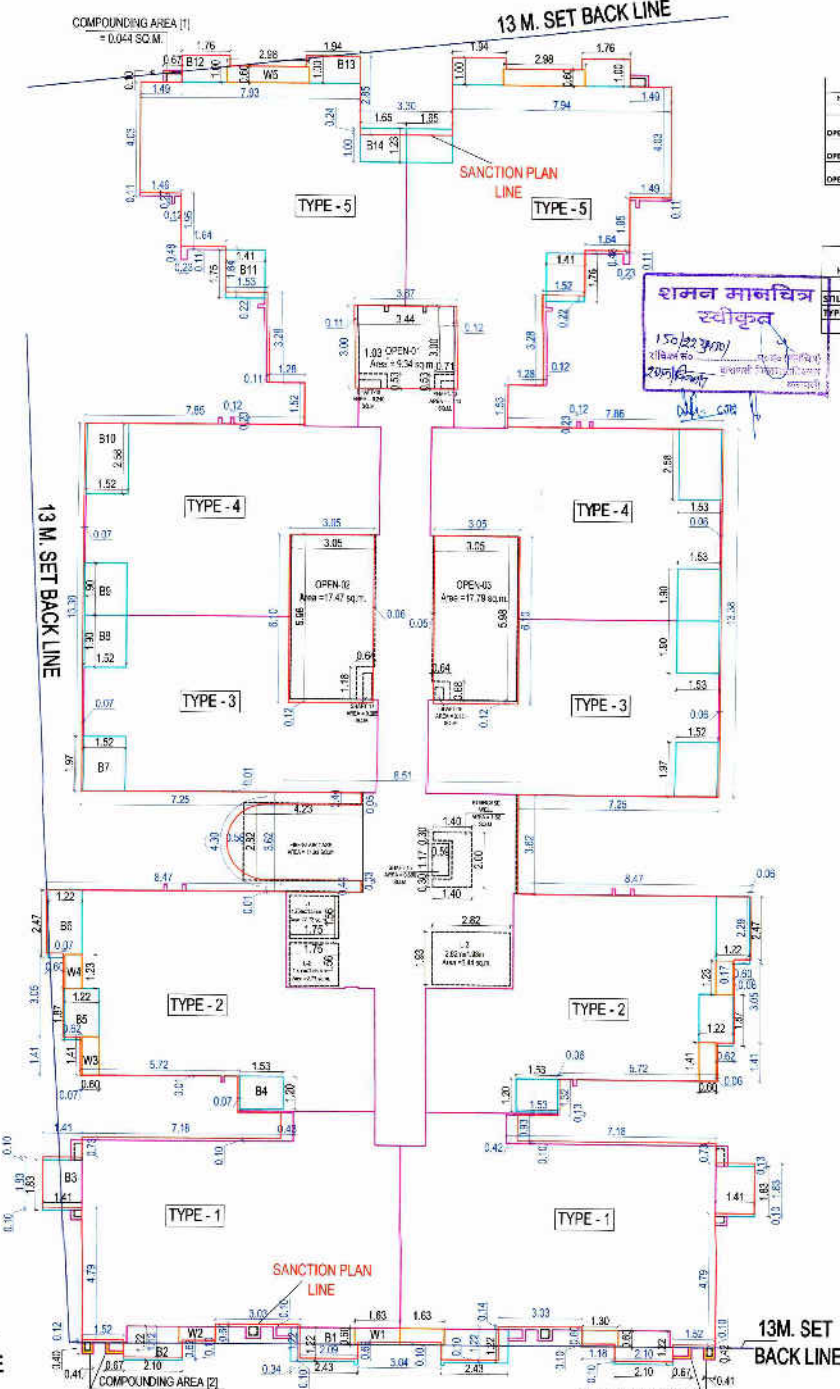
ARCHITECT'S SIGN
Ar. Gaurav Srivastava
B. Arch.
CA/9721296
Rudra Real Estate Ltd.



AREA DIAGRAM FOR GROUND COVERAGE



FIRST FLOOR PLAN



TYPICAL FLOOR PLAN (1ST TO 14TH FLOOR)
COMPOUNDING AREA DETAIL

OPEN AREA DETAIL				
NO.	EXISTING	NO.	DIFFERENCE	REMARK
OPEN-01	1.91	OPEN-02	11.00	AREA TO BE DEDUCTED
OPEN-02	17.47	OPEN-03	18.00	AREA TO BE DEDUCTED
OPEN-03	11.49	OPEN-04	18.00	AREA TO BE DEDUCTED

FIRE STAIRCASE AREA DETAIL				
NO.	EXISTING	NO.	DIFFERENCE	REMARK
STAIR	0.45	STAIR	15.138	2.48
TYPICAL	11.937	TYPICAL	15.072	4.04

EXTRA AREA

COMPOUNDING AREA

COMPOUNDING AREA	
NO	AREA
1	0.044
2	0.222
3	0.241
	0.507
NO. OF FLOOR	14
TOTAL COMPOUNDING AREA	7.098

CERTIFICATE
I CERTIFY THAT THERE IS NO PROP. OR ROAD MAINTAINED BY ANY GOVT. DEPT. OR BELONGING TO ANY ADJACENT WITH IN 30 METERS FROM THE SITE IN QUESTION.
2- PLAN HAS BEEN PREPARED AS PER BUILDING BYE LAWS 2003 & MASTER PLAN 2021

PROJECT:
COMPOUNDING OF EXISTING GROUP HOUSING OF ARAZI NO. 21, 22, part 22, 24 part 24 MAUZA DIHANESARI, PARAGANA - ATHANAWA - TEHSIL JINDRA, DISTRICT VARANASI

DETAIL OF DOOR'S & WINDOW'S

NO.	DOOR	NO.	WINDOW
1	1	1	1
2	1	1	1
3	1	1	1

DRG. TITLE:
FIRST FLOOR PLAN, AREA DIAGRAM COMPOUNDING IN TYPICAL FLOOR PLAN
SCALE:
1:200
DATED:
18/10/2023
OWNED BY:
M/S RUDRA REAL ESTATE PRIVATE LIMITED
Rudra House, 15/63, civil lines Kanpur UP.
its authorized singlony--
MR. KUMAR ABHAS
S/O Shri UMA SHANKAR SINGH

OWNER'S SIGN

ARCHITECT'S SIGN

Ar. Gaurav Srivastava
B. Arch.
C-10/22/23
Rudra Real Estate Ltd.

GROUND COVERAGE AREA	
TOTAL BUILT UP AREA AT STILT	901.600
AREA BEYONDS STILT GRID AREA [BALCONY, WARDROBE, SHAFT WALL] & LIFT CLUB GROUND FLOOR AREA GAURAD ROOM & TOILET	121.22
TOTAL	1087.00
%	11.22
EXTENDED STILT SLAB	
NO.	SQ.M.
EXTENDED STILT SLAB-01	15.48
EXTENDED STILT SLAB-02	43.22
EXTENDED STILT SLAB-03	43.22
EXTENDED STILT SLAB-04	15.48
TOTAL	117.39

BALCONY NO.	EXISTING BALCONY AREA	BALCONY NO.	SANCTION BALCONY AREA	EXTRA AREA
B1	2.910	B1	2.271	
B2	2.420	B2	2.202	
B3	2.580	B3	2.580	
B4	1.830	B4	1.973	
B5	2.210	B5	2.037	
B6	2.935	B6	2.973	
B7	3.000	B7	2.960	
B8	2.897	B8	2.850	
B9	2.897	B9	2.85	
B10	3.93	B10	3.866	
B11	2.47	B11	2.46	
B12	1.686	B12	1.686	
B13	1.87	B13	1.87	
B14	2.032	B14	1.654	
	35.667		33.932	
EACH FLOOR	71.33		67.86	3.47
ALL FLOOR	998.676		950.096	48.58

WARDROBE NO.	EXISTING WARDROBE AREA	WARDROBE NO.	SANCTION WARDROBE AREA	LESS AREA
W1	0.98	W1	1.00	
W2	0.78	W2	1.20	
W3	0.85	W3	0.85	
W4	0.76	W4	0.92	
W5	1.79	W5	1.79	
	5.155		5.745	
EACH FLOOR	10.31		11.49	-1.18
ALL FLOOR	144.34		160.86	-16.52

AREA STATEMENT		SANCTION		EXISTING		DIFFERENCE
		SQ.MT		SQ.MT.		
TOTAL PLOT AREA (AS PER DEED)		13436		13337.47		103.53
AREA UNDER ROAD WIDENING		552.57		580.93		38.36
LAND AREA AFTER ROAD WINDING		12883.43		12741.54		141.89
OWNER'S LAND		2821.66		2455.31		366.35
COMMERCIAL PLOT AREA		375.62		373.25		2.37
NET LAND AREA FOR GROUP HOUSING		9686.15		9913.98		
PERMISSIBLE F.A.R.	2.5	24215.38		24782.45		
PERMISSIBLE GREEN AREA	15%	1452.92		1486.947		
ACHIEVED GREEN AREA	17.17%	1663.56		1661.23		2.33
PERMISSIBLE UNITS (PER HECTARE)	330	319.64	SAY 320	327.12834	SAY 327	7
ACHIEVED NO OF UNITS		130		130		
TOTAL PROPOSED F.A.R.	1.045	10120.64		10353.36	1.044	232.72
PERMISSIBLE GROUND COVERAGE	40%	3874.46		3965.192	40%	90.732
ACHIEVED GROUND COVERAGE	9.32%	903.02		1087	10.97%	183.98

PROPOSED AREA FOR F.A.R. ON EACH FLOOR AND TOWER (PHASE-2)									
FLOOR NAME	SANCTION F.A.R. AREA	F.A.R. AREA	FIRE STAIRCASE	BALCONY	WARDROBE	TOTAL COVERED AREA	PERMISSIBLE F.A.R.	PERMISSIBLE F.A.R.	NO OF UNITS
GROUND FLOOR	25.33	25.33	0.00	0.00	0.00	25.33	25.33	25.33	10
1ST FLOOR	25.33	25.33	0.00	0.00	0.00	25.33	25.33	25.33	10
2ND FLOOR	25.33	25.33	0.00	0.00	0.00	25.33	25.33	25.33	10
3RD FLOOR	25.33	25.33	0.00	0.00	0.00	25.33	25.33	25.33	10
4TH FLOOR	25.33	25.33	0.00	0.00	0.00	25.33	25.33	25.33	10
5TH FLOOR	25.33	25.33	0.00	0.00	0.00	25.33	25.33	25.33	10
6TH FLOOR	25.33	25.33	0.00	0.00	0.00	25.33	25.33	25.33	10
7TH FLOOR	25.33	25.33	0.00	0.00	0.00	25.33	25.33	25.33	10
8TH FLOOR	25.33	25.33	0.00	0.00	0.00	25.33	25.33	25.33	10
9TH FLOOR	25.33	25.33	0.00	0.00	0.00	25.33	25.33	25.33	10
10TH FLOOR	25.33	25.33	0.00	0.00	0.00	25.33	25.33	25.33	10
11TH FLOOR	25.33	25.33	0.00	0.00	0.00	25.33	25.33	25.33	10
12TH FLOOR	25.33	25.33	0.00	0.00	0.00	25.33	25.33	25.33	10
13TH FLOOR	25.33	25.33	0.00	0.00	0.00	25.33	25.33	25.33	10
14TH FLOOR	25.33	25.33	0.00	0.00	0.00	25.33	25.33	25.33	10
TOTAL	354.64	354.64	0.00	0.00	0.00	354.64	354.64	354.64	140

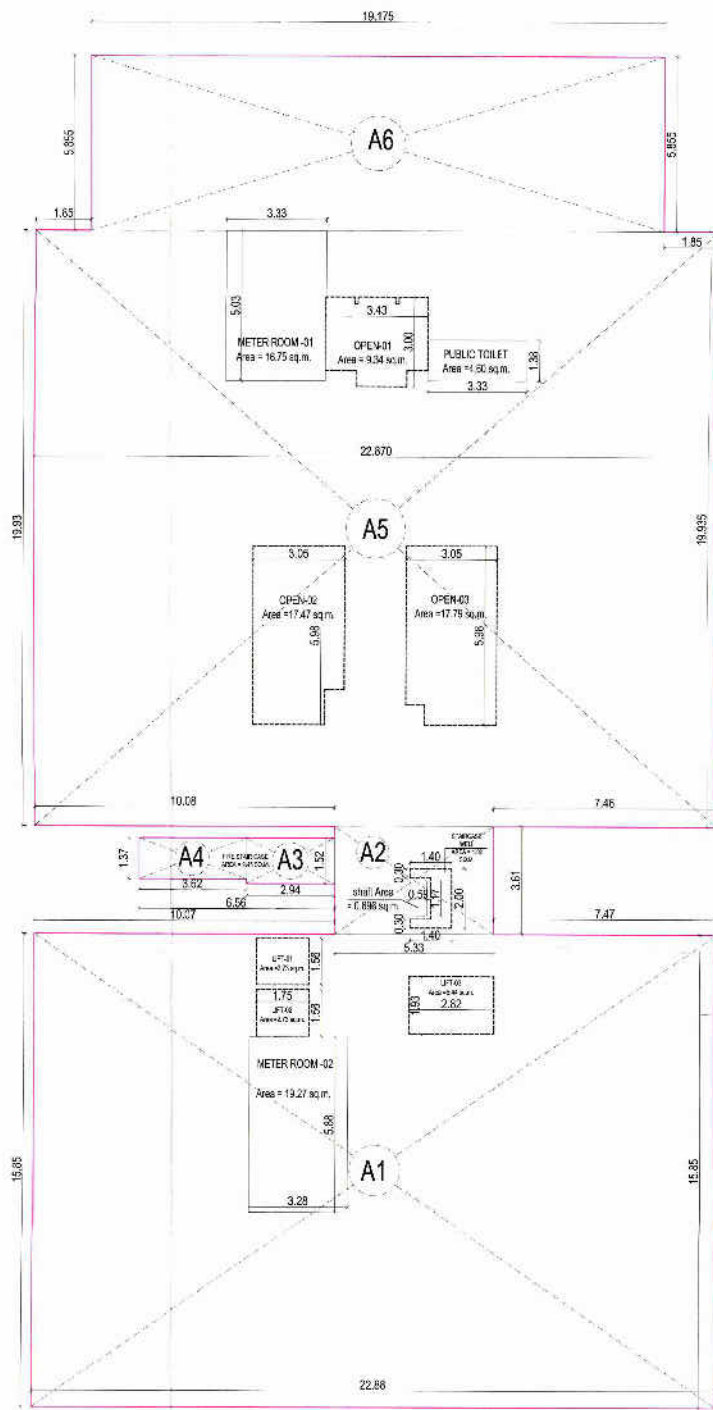
AREA STATEMENT STILT FLOOR, TOWER - 1				
S. N.				AREA
[A]				
1	A1	22.88	15.85	362.65
2	A2	5.33	3.61	19.24
3	A3	2.94	1.52	4.47
4	A4	3.62	1.37	4.95
5	A5	22.87	19.94	455.91
6	A6	19.18	5.86	112.39
STILT GRID AREA				959.620

AREA STATEMENT STILT FLOOR, TOWER - 1	
S. N.	AREA
[A]	
1	STILT GRID AREA
	959.620
TOTAL GRID AREA	
	959.620
[B] DEDUCTION AREA	
1	OPEN-01
	9.340
2	OPEN-02
	17.470
3	OPEN-03
	17.790
4	STAIR WELL
	1.820
5	SERVICE SHAFT
	0.696
6	LIFT-01
	2.730
7	LIFT-02
	2.730
8	LIFT-03
	5.440
TOTAL DEDUCTION AREA	
	58.016
TOTAL COVERED AREA [A-B]	
	901.604

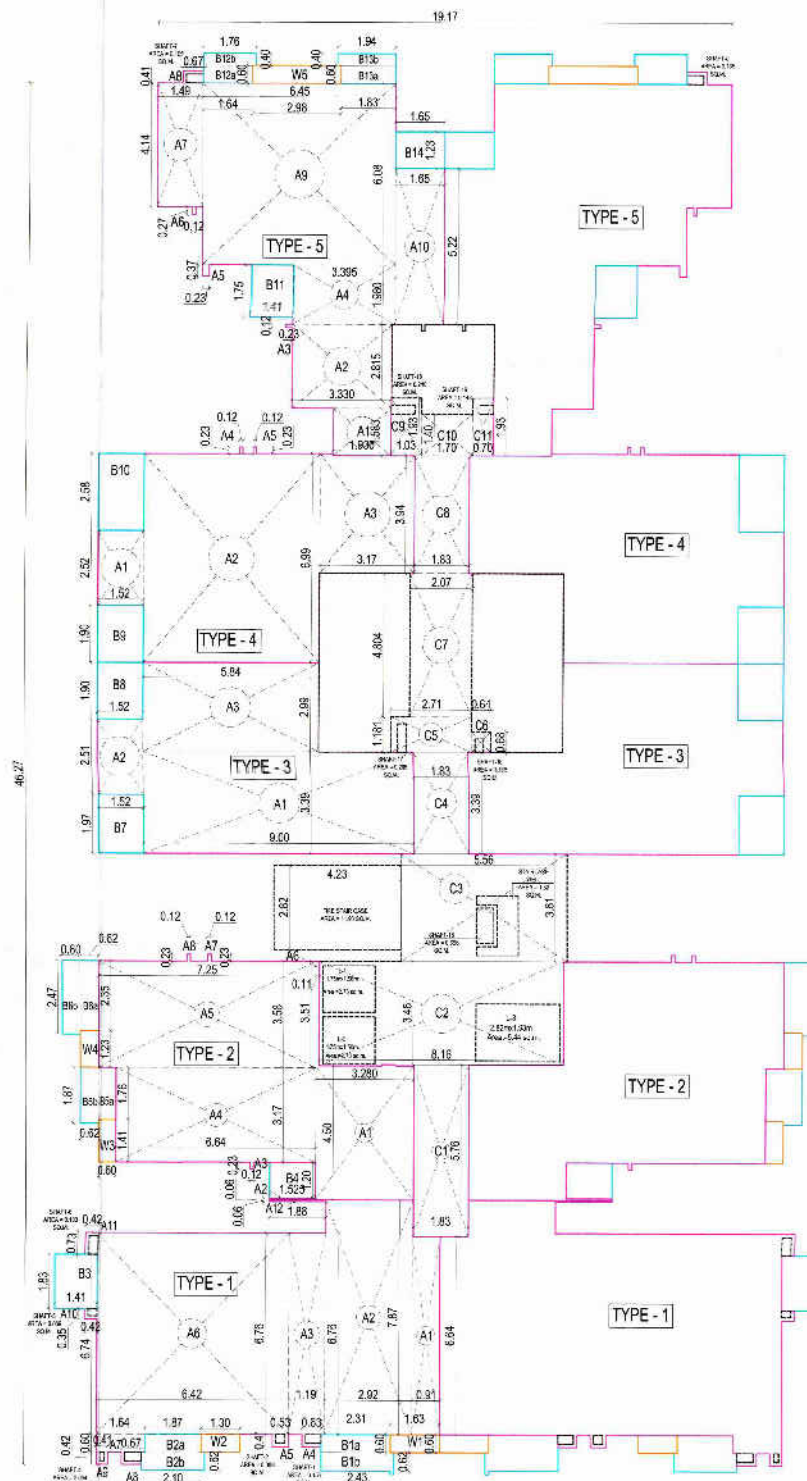
[C]	FIRE STAIR CASE AREA	9.45
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[E] 5% ADDITIONAL FACILITY		AREA
1	PUBLIC TOILET	4.600
2	SERVICE SHAFT	0.696
TOTAL		5.30

[F] F.A.R. AREA-METER ROOM -		
1	METER-01	16.75
2	METER-02	78.79
TOTAL		95.54



STILT FLOOR PLAN AREA DETAIL



TYPICAL FLOOR PLAN AREA DETAIL (1ST TO 14TH FLOOR)

AREA STATEMENT				
TYPICAL FLOOR (1ST TO 14TH FLOOR)	S. N.	TYPE	LENGTH	WIDTH
TYPE - 1				
1	A1	22.88	15.85	362.65
2	A2	5.33	3.61	19.24
3	A3	2.94	1.52	4.47
4	A4	3.62	1.37	4.95
5	A5	22.87	19.94	455.91
6	A6	19.18	5.86	112.39
TOTAL				
959.620				
TYPE - 2				
1	A1	22.88	15.85	362.65
2	A2	5.33	3.61	19.24
3	A3	2.94	1.52	4.47
4	A4	3.62	1.37	4.95
5	A5	22.87	19.94	455.91
6	A6	19.18	5.86	112.39
TOTAL				
959.620				
TYPE - 3				
1	A1	22.88	15.85	362.65
2	A2	5.33	3.61	19.24
3	A3	2.94	1.52	4.47
4	A4	3.62	1.37	4.95
5	A5	22.87	19.94	455.91
6	A6	19.18	5.86	112.39
TOTAL				
959.620				
TYPE - 4				
1	A1	22.88	15.85	362.65
2	A2	5.33	3.61	19.24
3	A3	2.94	1.52	4.47
4	A4	3.62	1.37	4.95
5	A5	22.87	19.94	455.91
6	A6	19.18	5.86	112.39
TOTAL				
959.620				
TYPE - 5				
1	A1	22.88	15.85	362.65
2	A2	5.33	3.61	19.24
3	A3	2.94	1.52	4.47
4	A4	3.62	1.37	4.95
5	A5	22.87	19.94	455.91
6	A6	19.18	5.86	112.39
TOTAL				
959.620				

CERTIFICATE
1-CERTIFIED THAT THERE IS NO PROP. OR ROAD MAINTAINED BY ANY GOVT. DEPT. OR BELONGING TO ANY ADMN. WITHIN 30.48 MT FROM THE SITE IN QUESTION.
2-PLAN HAS BEEN PREPARED AS PER BUILDING BYE LAWS 2008 & MASTER PLAN 2021.

PROJECT:
COMPOUNDING OF EXISTING GROUP HOUSING OF ARAZI NO. 21, 22, part 22, 24 part 24 MAULZA-DHANESARI PARAGANA - ATHGANWA - TE-SIL PINDRA, DISTRICT VARANASI.

DETAIL OF DOOR'S & WINDOW'S

NO.	TYPE	LENGTH	WIDTH	AREA
1	DOOR	1.00	2.00	2.00
2	WINDOW	1.00	1.50	1.50
3	DOOR	1.00	2.00	2.00
4	WINDOW	1.00	1.50	1.50
5	DOOR	1.00	2.00	2.00
6	WINDOW	1.00	1.50	1.50
7	DOOR	1.00	2.00	2.00
8	WINDOW	1.00	1.50	1.50
9	DOOR	1.00	2.00	2.00
10	WINDOW	1.00	1.50	1.50
11	DOOR	1.00	2.00	2.00
12	WINDOW	1.00	1.50	1.50
13	DOOR	1.00	2.00	2.00
14	WINDOW	1.00	1.50	1.50
15	DOOR	1.00	2.00	2.00
16	WINDOW	1.00	1.50	1.50
17	DOOR	1.00	2.00	2.00
18	WINDOW	1.00	1.50	1.50
19	DOOR	1.00	2.00	2.00
20	WINDOW	1.00	1.50	1.50
21	DOOR	1.00	2.00	2.00
22	WINDOW	1.00	1.50	1.50
23	DOOR	1.00	2.00	2.00
24	WINDOW	1.00	1.50	1.50
25	DOOR	1.00	2.00	2.00
26	WINDOW	1.00	1.50	1.50
27	DOOR	1.00	2.00	2.00
28	WINDOW	1.00	1.50	1.50
29	DOOR	1.00	2.00	2.00
30	WINDOW	1.00	1.50	1.50
31	DOOR	1.00	2.00	2.00
32	WINDOW	1.00	1.50	1.50
33	DOOR	1.00	2.00	2.00
34	WINDOW	1.00	1.50	1.50
35	DOOR	1.00	2.00	2.00
36	WINDOW	1.00	1.50	1.50
37	DOOR	1.00	2.00	2.00
38	WINDOW	1.00	1.50	1.50
39	DOOR	1.00	2.00	2.00
40	WINDOW	1.00	1.50	1.50
41	DOOR	1.00	2.00	2.00
42	WINDOW	1.00	1.50	1.50
43	DOOR	1.00	2.00	2.00
44	WINDOW	1.00	1.50	1.50
45	DOOR	1.00	2.00	2.00
46	WINDOW	1.00	1.50	1.50
47	DOOR	1.00	2.00	2.00
48	WINDOW	1.00	1.50	1.50
49	DOOR	1.00	2.00	2.00
50	WINDOW	1.00	1.50	1.50
51	DOOR	1.00	2.00	2.00
52	WINDOW	1.00	1.50	1.50
53	DOOR	1.00	2.00	2.00
54	WINDOW	1.00	1.50	1.50
55	DOOR	1.00	2.00	2.00
56	WINDOW	1.00	1.50	1.50
57	DOOR	1.00	2.00	2.00
58	WINDOW	1.00	1.50	1.50
59	DOOR	1.00	2.00	2.00
60	WINDOW	1.00	1.50	1.50
61	DOOR	1.00	2.00	2.00
62	WINDOW	1.00	1.50	1.50
63	DOOR	1.00	2.00	2.00
64	WINDOW	1.00	1.50	1.50
65	DOOR	1.00	2.00	2.00
66	WINDOW	1.00	1.50	1.50
67	DOOR	1.00	2.00	2.00
68	WINDOW	1.00	1.50	1.50
69	DOOR	1.00	2.00	2.00
70	WINDOW	1.00	1.50	1.50
71	DOOR	1.00	2.00	2.00
72	WINDOW	1.00	1.50	1.50
73	DOOR	1.00	2.00	2.00
74	WINDOW	1.00	1.50	1.50
75	DOOR	1.00	2.00	2.00
76	WINDOW	1.00	1.50	1.50
77	DOOR	1.00	2.00	2.00
78	WINDOW	1.00	1.50	1.50
79	DOOR	1.00	2.00	2.00
80	WINDOW	1.00	1.50	1.50
81	DOOR	1.00	2.00	2.00
82	WINDOW	1.00	1.50	1.50
83	DOOR	1.00	2.00	2.00
84	WINDOW	1.00	1.50	1.50
85	DOOR	1.00	2.00	2.00
86	WINDOW	1.00	1.50	1.50
87	DOOR	1.00	2.00	2.00
88	WINDOW	1.00	1.50	1.50
89	DOOR	1.00	2.00	2.00
90	WINDOW	1.00	1.50	1.50
91	DOOR	1.00	2.00	2.00
92	WINDOW	1.00	1.50	1.50
93	DOOR	1.00	2.00	2.00
94	WINDOW	1.00	1.50	1.50
95	DOOR	1.00	2.00	2.00
96	WINDOW	1.00	1.50	1.50
97	DOOR	1.00	2.00	2.00
98	WINDOW	1.00	1.50	1.50
99	DOOR	1.00	2.00	2.00
100	WINDOW	1.00	1.50	1.50

DRG. TITLE
FLOOR AREA DETAILS AS PER OLD SANCTIONED DRAWING

SCALE: 1:200

DATED: 18/10/2021

DRG. BY:

OWNED BY:
M/S RUDRA REAL ESTATE PRIVATE LIMITED
Rudra House, 15/63, civil lines Kanpur UP.
its authorized singtory—
MR. KUMAR ABHAS
S/O Shri UMA SHANKAR SINGH

OWNER'S SIGN
Abhas

ARCHITECT'S SIGN
Ar. Ganay Srivastava

Ar. Ganay Srivastava
B. Arch. 1996
CA-0012196
Rudra Real Estate Ltd.