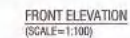
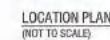
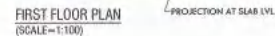
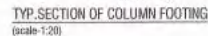
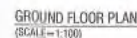


**Under Floor Plans we have  
uploaded 82 Nos. approve layout  
due to constrain of 10 MB balance  
48 Nos. plans are uploaded under  
approved layout.**



**SPECIFICATIONS:**

<b>Foundation</b>	- Stopped brick footing in 1:6 c.m. as per structural design with 1:c:c. columns as per design.
<b>Superstructure</b>	- Composite structure with brick work & R.C.C. columns as per structural design.(earthquake resistant)
<b>Slab</b>	- R.C.C. slab as per structural design in M.25 grade conc.
<b>Joinery</b>	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
<b>Flooring</b>	- Vitrified tiles/marble/kota/c.c.
<b>Painting</b>	- O.B.D. inside & cement based waterproofing paint outside.
<b>Plaster</b>	- 12mm plaster in 1:6 c.m.
<b>Plumbing &amp; sanitary fitting</b>	- All plumbing work using L.S.I marked UPVC pipes with standard fittings & fixtures.
<b>Electrical work</b>	- Conducting, wiring & M.C.B. with L.S.I. marked material.

**HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITIKHERA,  
PARGANA-BIJNAUR, TEHSIL-SAROJINI NAGAR,  
LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW**

PLOT NO. 165

Developer:

*Eldeco housing & industries ltd.*

**NOTE**

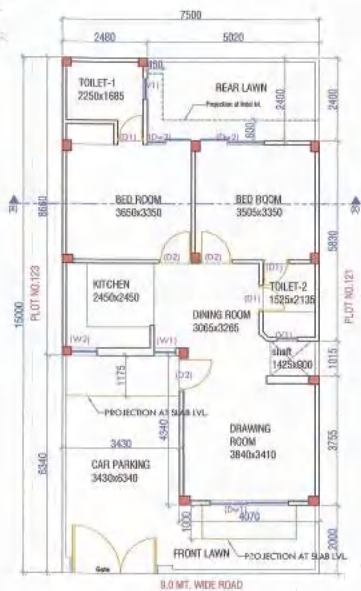
1. Architect shall not be responsible for any deviation at site by the developer.
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A. SUBMISSION.
3. Layout approved vide permit no.2096, dated 18.03.2021.

DOOR / WINDOW SCHEDULE :		
S.NO	TYPE	SIZE
1	D1	900 X 2100
2	D2	950 X 2100
3	D3	260 X 2100
4	W1	635 X 1200
5	W2	765 X 1650
6	W3	1016 X 1200
7	DW1	2296 X 2400
8	W1	560 X 600
9	W1	1285 X 1200
10	W2	2290 X 1200
11	DW2	1870 X 2100
12	DW3	1285 X 2100

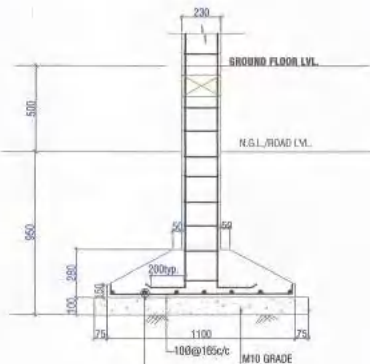
AREA STATEMENT :	SQ. MT.
1.) TOTAL PLOT AREA	112.50sq.mt.
2.) COVERED AREA ON GROUND FLOOR	76.01sq.mt.
3.) COVERED AREA ON FIRST FLOOR	65.29sq.mt.
4.) OPEN AREA	36.49sq.mt.
5.) MUMTY AREA	8.30sq.mt.
6.) TOTAL BUILT-UP AREA(2+3+5)-FOR F.A.R.	149.60sq.mt.

AREA STATEMENT :	SQ. MT.
7.) GROUND COVERAGE ACHIEVED	67.56%
8.) F.A.R. ACHIEVED	1.33

DEVELOPER	ARCHITECT
	 <b>espaces</b> Ar. Sanjay Kumar Gupta 100/1, Floor Corporate Centre Behind Phase-2, Gurgaon, Haryana Lucknow-226010 Ph.No. 8252262541-5115251 email-espaces.arch@gmail.com



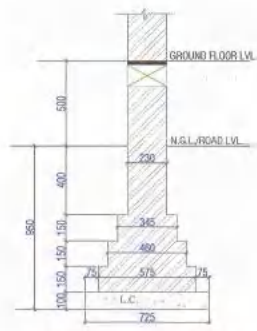
GROUND FLOOR PLAN  
(SCALE=1:100)



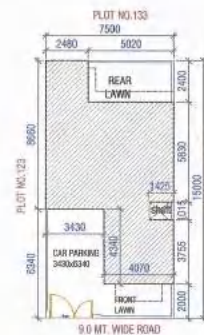
TYP. SECTION OF COLUMN FOOTING  
(scale=1:20)



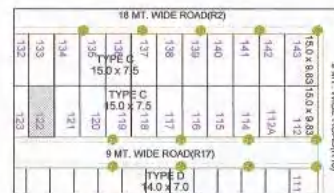
TERRACE PLAN  
(SCALE=1:100)



TYP. SECTION FOR 230 THK. BRICK WALL  
(scale=1:20)



SITE PLAN  
(SCALE=1:200)



LOCATION PLAN  
(NOT TO SCALE)

#### SPECIFICATIONS:

<b>Foundation</b>	- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
<b>Superstructure</b>	- Composite structure with brick work & R.C.C. columns as per structural design.(earthquake resistant)
<b>Slab</b>	- R.C.C. slab as per structural design in M:25 grade conc.
<b>Joinery</b>	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
<b>Flooring</b>	- Vitrified tiles/marble/kota/c.c.
<b>Painting</b>	- O.B.D. inside & cement based waterproofing paint outside.
<b>Plaster</b>	- 12mm plaster in 1:6 c.m.
<b>Plumbing &amp; sanitary fitting</b>	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
<b>Electrical work</b>	- Conduiting, wiring & M.C.B. with I.S.I. marked material.

**HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITHKHERA, PARGANA-BIJNAUR, TEHSIL-SAROJINI NAGAR, LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW**

PLOT NO. 122

Developer:  
**Eldeco housing & industries Ltd.**

- NOTES:
1. Architect shall not be responsible for any deviation at site by the developer.
  2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A SUBMISSION.
  3. Layout approved vide permit no 2095, dated 16.03.2021.

#### DOOR/ WINDOW SCHEDULE :

S.NO.	TYPE	SIZE
1.	D1	780 X 2100
2.	D2	950 X 2100
3.	W1	635 X 1200
4.	W2	785 X 1050
5.	DW1	2280 X 2400
6.	V1	600 X 600
7.	DW2	1870 X 2100
8.	DW3	1285 X 2100

#### AREA STATEMENT :

	SQ. MT.
1.) TOTAL PLOT AREA	112.50sq.mt.
2.) COVERED AREA ON GROUND FLOOR	72.51sq.mt.
3.) OPEN AREA	39.99sq.mt.
4.) TOTAL BUILT-UP AREA(2)-FOR F.A.R.	72.51sq.mt.
5.) GROUND COVERAGE ACHIEVED	64.45%
6.) F.A.R. ACHIEVED	0.64

#### DEVELOPER

#### ARCHITECT

**eldecos**

**Ar Sanjay Kumar Gupta**  
100/7, Post Corporate Chamber,  
Vardaan Khata, Gomti Nagar,  
Lucknow-226013  
Ph.No- 4053288, 4151140  
email-[sanjaykumar\\_arch@eldecos.com](mailto:sanjaykumar_arch@eldecos.com)



FRONT ELEVATION  
(SCALE=1:100)



SECTION X-X  
(SCALE=1:50)

मानविक अंतर प्रौढ औद्योगिक क्षेत्र विकास अधिनियम 1976 की धारा 19 के अंतर्गत इस प्रतिबन्धन सहित स्वीकृत किया गया है कि विकास अधिकारी द्वारा विवरण स्वीकृत के तहत किया जाये नहीं है।

स्वीकृत

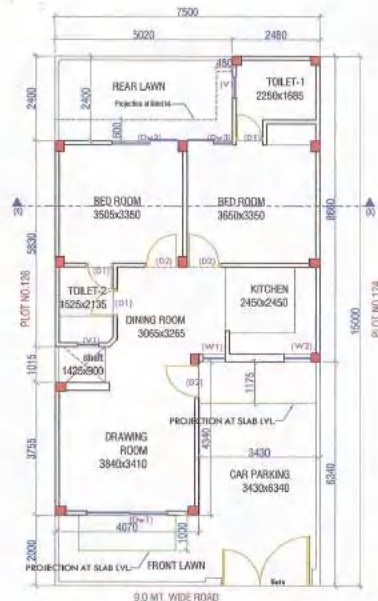
परिचय संख्या... 6.55  
दिनांक... 25/11/21  
स्वीकृत की गयी... 5.48  
प्रति नं. बरकर... 977/2021

विशेष नोट्स (सहित)  
प्रमाणित प्रमाण (सहित)

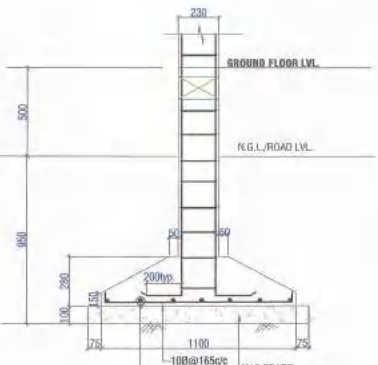
अनिल कुमार वर्मा  
परिचय प्रमाण (सहित)

परिचय प्रमाण (सहित)  
6000 रॉड 10 रॉड 0 रॉड 0  
निर्माण खण्ड-7, लखनऊ





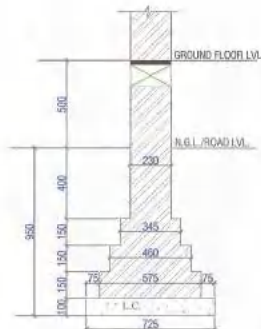
GROUND FLOOR PLAN  
(SCALE=1:100)



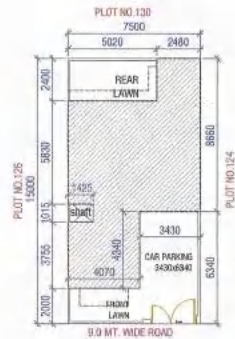
TYP. SECTION OF COLUMN FOOTING  
(Scale=1:20)



TERRACE PLAN  
(SCALE=1:100)



TYP. SECTION FOR 230 THK. BRICK WALL  
(Scale=1:20)



SITE PLAN  
(SCALE=1:200)



LOCATION PLAN  
(NOT TO SCALE)

#### SPECIFICATIONS:

<b>Foundation</b>	- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
<b>Superstructure</b>	- Composite structure with brick work & R.C.C. columns as per structural design (earthquake resistant)
<b>Slab</b>	- R.C.C. slab as per structural design in M.25 grade conc.
<b>Joinery</b>	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
<b>Flooring</b>	- Vitrified tiles/marble/kots/c.e.
<b>Painting</b>	- O.B.D. inside & cement based waterproofing paint outside.
<b>Plaster</b>	- 12mm plaster in 1:6 c.m.
<b>Plumbing &amp; sanitary fitting</b>	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
<b>Electrical work</b>	- Conducting, wiring & M.C.B. with I.S.I. marked material.



FRONT ELEVATION  
(SCALE=1:100)



SECTION X-X  
(SCALE=1:50)

मानविक कलर प्रदेत ओरोगिंग २०२० विभाग अतिरिक्त  
1976 की धारा 19 के अंतर्गत २५ भविष्यक सहित  
स्वीकृत किया जाता है कि विकसित प्राधिकरण भूमि  
विषयक स्थानिक के विषये विवाद बाध्य नहीं है।

स्वीकृत  
एनिए संख्या... ६५६...  
दिनांक... २५/११/२०...  
स्वीकृत की जा... २५/११/२०...  
भूमि का प्रकार... २५/११/२०...

शिवेश कुमार मिश्रा  
सहायक प्रमुख (चर्च)

अनिल कुमार वर्मा  
वरिष्ठ प्रबंधक (वासु-निर्माण)

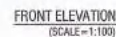
वरिष्ठ प्रबंधक (वासु-निर्माण)  
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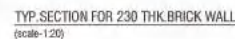
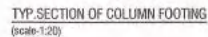


मानविक कठोर प्रवेश औद्योगिक क्षेत्र विकास अधिनियम 1976 की धारा 19 के अंतर्गत इस प्रतिबन्ध सहित स्वीकृत किया जाता है कि विकास प्राधिकरण भूमि निष्कासक स्वामित्व के लिये विपक्ष मान्य नहीं है।

स्वीकृत  
परमिट संख्या... 667  
दिनांक... 25/11/24  
स्वीकृति का दिनांक... 5/12/24  
प्राप्ति का प्रकार... 2. ग्राहक/...



SECTION X-X  
(SCALE=1:50)





<b>Foundation</b>	- Lapped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
<b>Superstructure</b>	- Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
<b>Slab</b>	- R.C.C. slab as per structural design in M.23 grade conc.
<b>Joinery</b>	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
<b>Flooring</b>	- Vitrified tile/marble/kota/c.c.
<b>Painting</b>	- O.B.D. inside & cement based waterproofing paint outside.
<b>Plaster</b>	- 12mm plaster in 1:6 c.m.
<b>Plumbing &amp; sanitary fitting</b>	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures
<b>Electrical work</b>	- Conducting, wiring & M.C.B. with I.S.I. marked material.

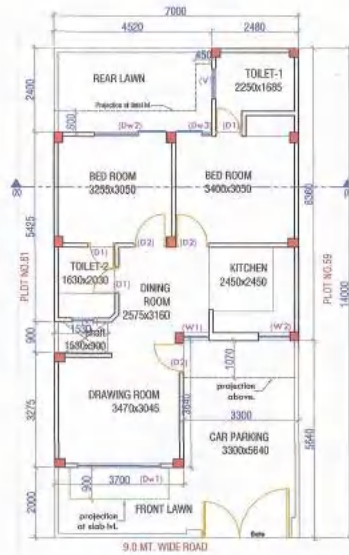
NOTES:

1. Architect shall not be responsible for any deviation at site by the developer.
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A. SUBMISSION.
3. Layout approved vide permit no.2005, dated 16.03.2021.

S.NO	TYPE	SIZE
1.	D1	760 X 2100
2.	D2	950 X 2100
3.	W1	735 X 1200
4.	W2	785 X 1050
5.	DW1	2145 X 2400
6.	V1	600 X 600
7.	DW2	1035 X 2100
8.	DW3	2075 X 2100

AREA STATEMENT :	SQ. MT.
1.) TOTAL PLOT AREA	98.00sq.mt.
2.) COVERED AREA ON GROUND FLOOR	61.04sq.mt.
3.) OPEN AREA	36.96sq.mt.
4.) TOTAL BUILT-UP AREA(2)-FOR F.A.R.	61.04sq.mt.
5.) GROUND COVERAGE ACHIEVED	62.29%
6.) F.A.R. ACHIEVED	0.623

DEVELOPER	ARCHITECT
	 <p><b>espaces</b></p> <p>Mr. Sanjay Kumar Gupta          80/F, Floor Corporate Complex          15/16/17, Khairat, Gurgaon, Haryana          Locdown-226010          Ph: No. 43526001, 44371420          email-espaces.arch@gmail.com</p>



GROUND FLOOR PLAN  
(SCALE=1:100)



TERRACE PLAN  
(SCALE=1:100)



SITE PLAN  
(SCALE=1:200)



LOCATION PLAN  
(NOT TO SCALE)

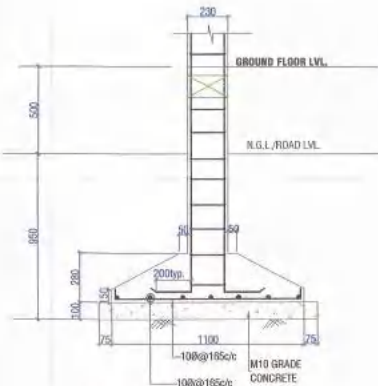
स्वीकृत  
परिचय संख्या... 657  
दिनांक... 25.11.21  
स्वीकृति की है।  
1 मिनट का प्रकाश...



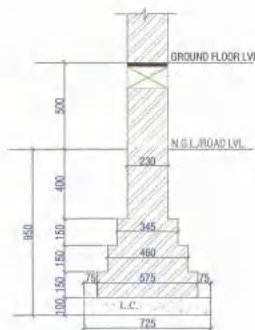
FRONT ELEVATION  
(SCALE=1:100)



SECTION X-X  
(SCALE=1:50)



TYP. SECTION OF COLUMN FOOTING  
(scale=1:20)



TYP. SECTION FOR 230 THK BRICK WALL  
(scale=1:20)

#### SPECIFICATIONS:

<b>Foundation</b>	- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
<b>Superstructure</b>	- Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
<b>Slab</b>	- R.C.C. slab as per structural design in M-25 grade conc.
<b>Joinery</b>	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
<b>Flooring</b>	- Vitrified tiles/marble/kota/c.c.
<b>Painting</b>	- O.B.D. inside & cement based waterproofing paint outside.
<b>Plaster</b>	- 12mm plaster in 1:6 c.m.
<b>Plumbing &amp; sanitary fitting</b>	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
<b>Electrical work</b>	- Conduiting, wiring & M.C.B. with I.S.I. marked material.

HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITIKHERA,  
PARGANA-BIJNAUR, TEHSIL-SAROJINI NAGAR,  
LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW

PLOT NO. 60

Developer:  
Eldeco housing & industries ltd.

NOTES:  
1. Architect shall not be responsible for any deviation at site by the developer.  
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE I.D.A. SUBMISSION.  
3. Layout approved vide permit no.2085, dated 16.03.2021.

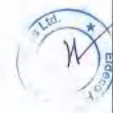
S.NO.	TYPE	SIZE
1.	D1	760 X 2100
2.	D2	950 X 2100
3.	W1	735 X 1200
4.	W2	785 X 1050
5.	DW1	2145 X 2400
6.	V1	800 X 600
7.	DW2	1035 X 2100
8.	DW3	2075 X 2100

#### AREA STATEMENT:

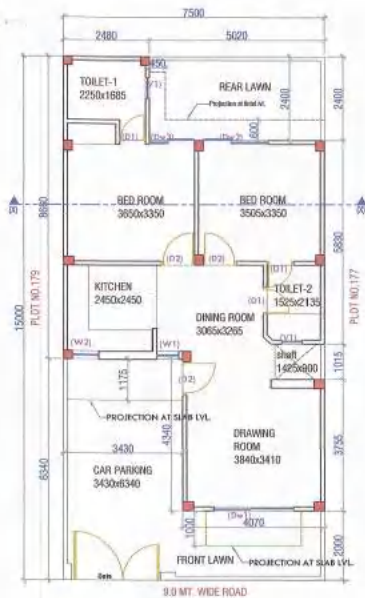
	SQ. MT.
1.) TOTAL PLOT AREA	98.00sq.mt.
2.) COVERED AREA ON GROUND FLOOR	61.04sq.mt.
3.) OPEN AREA	36.96sq.mt.
4.) TOTAL BUILT-UP AREA(2)-FOR F.A.R.	61.04sq.mt.
5.) GROUND COVERAGE ACHIEVED	62.29%
6.) F.A.R. ACHIEVED	0.623

#### DEVELOPER

#### ARCHITECT



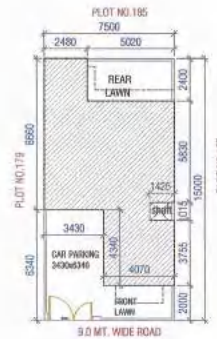




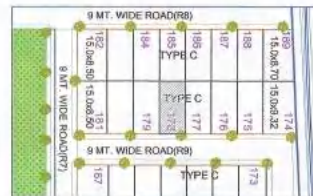
GROUND FLOOR PLAN  
(SCALE=1:100)



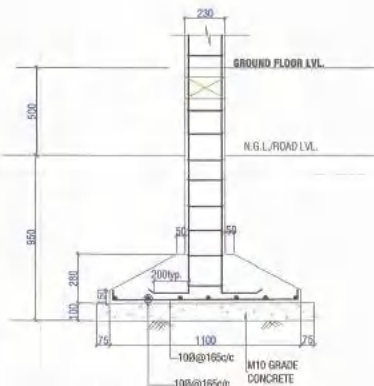
TERRACE PLAN  
(SCALE=1:100)



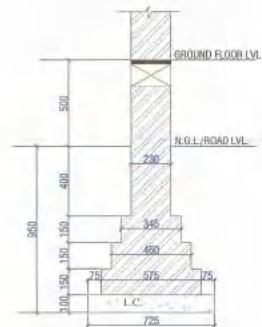
SITE PLAN  
(SCALE=1:200)



LOCATION PLAN  
(NOT TO SCALE)



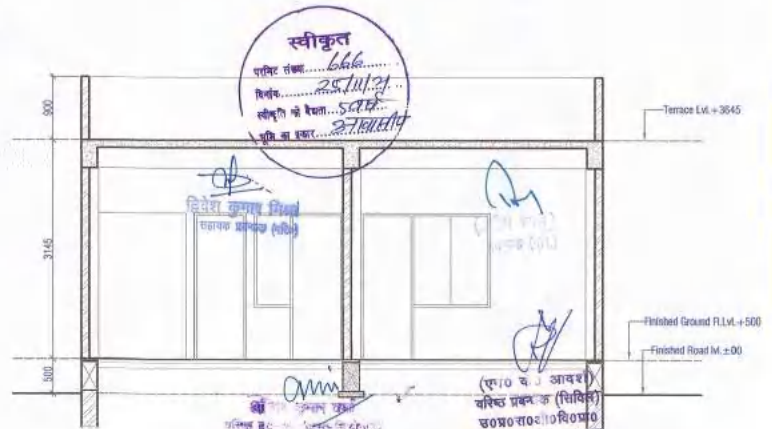
TYP. SECTION OF COLUMN FOOTING  
(Scale=1:20)



TYP. SECTION FOR 230 THK. BRICK WALL  
(Scale=1:20)



FRONT ELEVATION  
(SCALE=1:100)



SECTION X-X  
(SCALE=1:50)

#### SPECIFICATIONS:

- Foundation** - Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
- Superstructure** - Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
- Slab** - R.C.C. slab as per structural design in M-25 grade conc.
- Joinery** - Door frames in sal wood with 32mm commercial board shutter, Windows in aluminium /UPVC.
- Flooring** - Vitrified tiles/marble/rota/c.c.
- Painting** - O.B.D. inside & cement based waterproofing paint outside.
- Plaster** - 12mm plaster in 1:6 c.m.
- Plumbing & Sanitary fitting** - All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
- Electrical work** - Conditting, wiring & M.C.B. with I.S.I. marked material.

HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITIKHERA,  
PARGANA-BIJNAUR, TEHSIL-SAROJINI NAGAR,  
LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW

PLOT NO. 178

Developer:

Eldeco housing & industries ltd.

NOTES:

1. Architect shall not be responsible for any deviation at site by the developer.
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A. SUBMISSION.
3. Layout approved vide permit no.2095, dated 16.03.2021.

DOOR/WINDOW SCHEDULE:		
S.NO.	TYPE	SIZE
1.	D1	780 X 2100
2.	D2	950 X 2100
3.	W1	635 X 1800
4.	W2	785 X 1950
5.	DW1	2250 X 2400
6.	V1	600 X 600
7.	DW2	1820 X 2100
8.	DW3	1285 X 2100

#### AREA STATEMENT :

	SQ. MT.
1.) TOTAL PLOT AREA	112.50sq.mt.
2.) COVERED AREA ON GROUND FLOOR	72.51sq.mt.
3.) OPEN AREA	39.99sq.mt.
4.) TOTAL BUILT-UP AREA(2)-FOR F.A.R.	72.51sq.mt.
5.) GROUND COVERAGE ACHIEVED	64.45%
6.) F.A.R. ACHIEVED	0.64

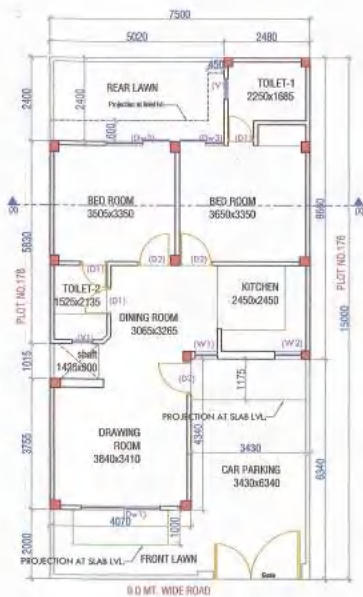
#### DEVELOPER

#### ARCHITECT

Ar. Sanjay Kumar Gupta  
100/1, Phase, Corporate Chambers,  
Vibhuti Khand, Gomti Nagar,  
Lucknow-226010  
Ph: 9839999999, 9839999999  
Email: sanjaykumar.gupta@gmail.com

19/11/21

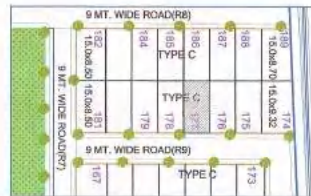




GROUND FLOOR PLAN  
(SCALE=1:100)



TERRACE PLAN  
(SCALE=1:100)



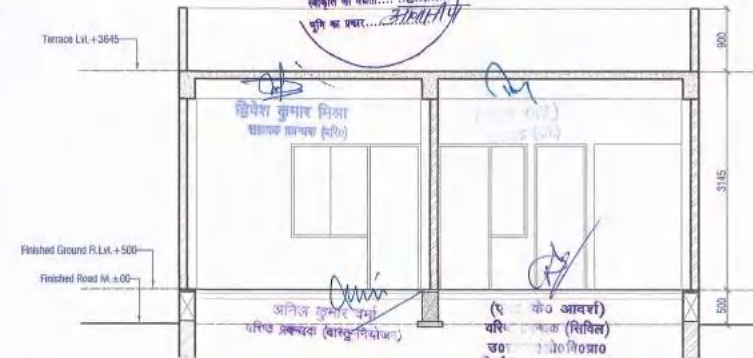
LOCATION PLAN  
(NOT TO SCALE)



SITE PLAN  
(SCALE=1:200)



FRONT ELEVATION  
(SCALE=1:100)



SECTION X-X  
(SCALE=1:50)

#### SPECIFICATIONS:

- Foundation** - Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
- Superstructure** - Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
- Slab** - R.C.C. slab as per structural design in M:25 grade conc.
- Joinery** - Door frames in sal wood with 38mm commercial board shutter. Windows in aluminium /UPVC.
- Flooring** - Vitrified tiles/marble/kota/c.c.
- Painting** - O.B.D. inside & cement based waterproofing paint outside.
- Plaster** - 12mm plaster in 1:6 c.m.
- Plumbing & sanitary fitting** - All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
- Electrical work** - Conduiting, wiring & M.C.B. with I.S.I. marked material.

HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITIKHERA,  
PARGANA-BIJNAUR, TEHSIL-SARAJINI NAGAR,  
LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW

PLOT NO. 177

Developer:  
Eldeco housing & industries ltd.

- NOTES:
1. Architect shall not be responsible for any deviation at site by the developer.
  2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A. SUBMISSION.
  3. Layout approved vide permit no.2095, dated 16.03.2021.

#### DOOR/ WINDOW SCHEDULE :

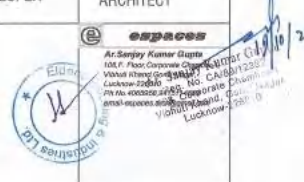
S.NO.	TYPE	SIZE
1.	D1	780 X 2100
2.	D2	950 X 2100
3.	W1	635 X 1200
4.	W2	765 X 1050
5.	DW1	2200 X 2400
6.	V1	600 X 600
7.	DW2	1870 X 2100
8.	DW3	1295 X 2190

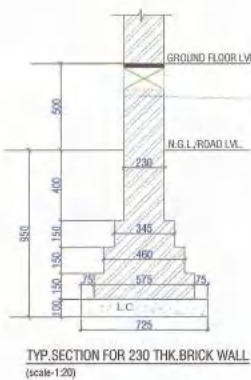
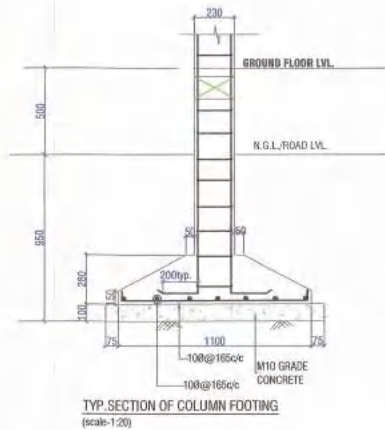
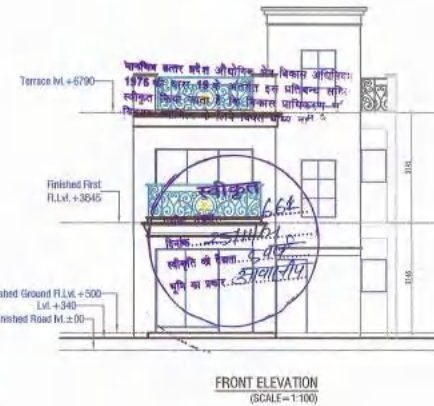
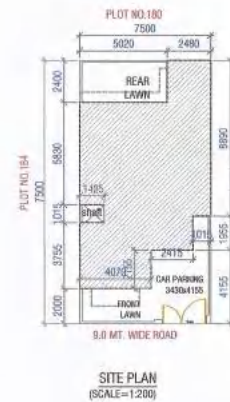
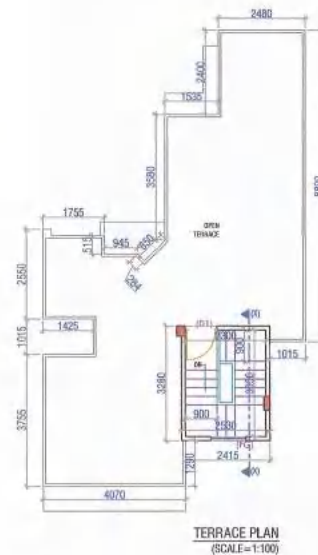
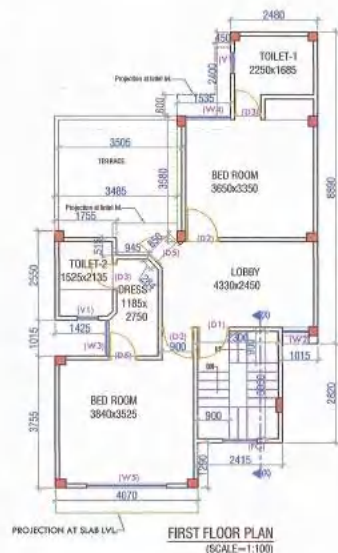
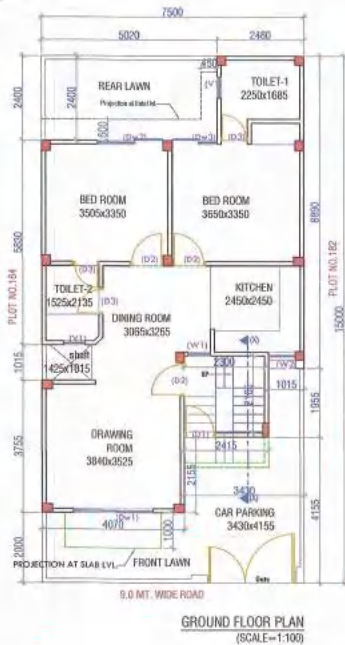
#### AREA STATEMENT :

	SQ. MT.
1.) TOTAL PLOT AREA	112.50sq.mt.
2.) COVERED AREA ON GROUND FLOOR	72.51sq.mt.
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6.) F.A.R. ACHIEVED	0.64

#### DEVELOPER

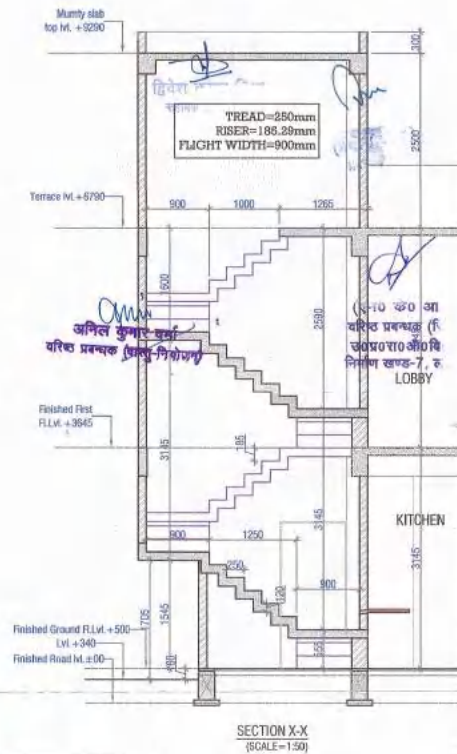
#### ARCHITECT





#### SPECIFICATIONS:

<b>Foundation</b>	- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
<b>Superstructure</b>	- Composite structure with brick work & R.C.C. columns as per structural design.(earthquake resistant)
<b>Slab</b>	- R.C.C. slab as per structural design in M:25 grade conc.
<b>Joinery</b>	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
<b>Flooring</b>	- Vitrified tiles/marble/kota/c.c.
<b>Painting</b>	- O.B.D. inside & cement based waterproofing paint outside.
<b>Plaster</b>	- 12mm plaster in 1:6 c.m.
<b>Plumbing &amp; Sanitary fitting</b>	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
<b>Electrical work</b>	- Conducting,wiring & M.C.B. with I.S.I. marked material.



**HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITHKHERA, PARGANA-BIJNAUR, TEHSIL-SAROJINI NAGAR, LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW**

PLOT NO. 183

Developer:

Eldeco housing & industries Ltd.

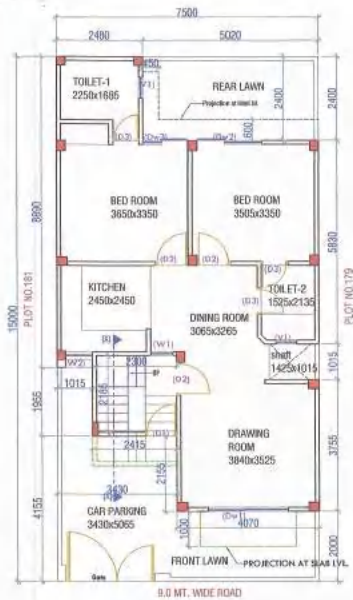
- NOTES:**
1. Architect shall not be responsible for any deviation at site by the developer.
  2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A. SUBMISSION.
  3. Layout approved vide permit no.2095, dated 16.03.2021.

S.NO.	TYPE	SIZE
1.	D1	900 X 2100
2.	D2	850 X 2100
3.	D3	750 X 2100
4.	W1	835 X 1200
5.	W2	785 X 1050
6.	W3	1015 X 1200
7.	DW1	2290 X 2400
8.	V1	600 X 600
9.	W4	1285 X 1200
10.	W5	2290 X 1200
11.	DW2	1870 X 2100
12.	DW3	1285 X 2100

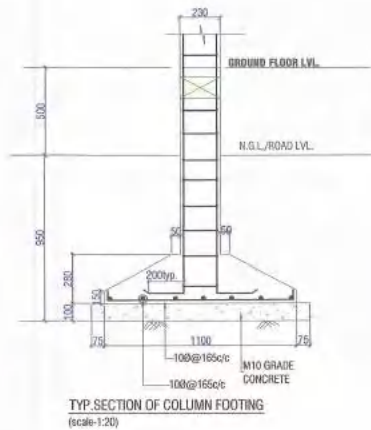
AREA STATEMENT :	SQ. MT.	AREA STATEMENT :	SQ. MT.
1.) TOTAL PLOT AREA	112.50sq.mt.	7.) GROUND COVERAGE ACHIEVED	67.56%
2.) COVERED AREA ON GROUND FLOOR	76.01sq.mt.	8.) F.A.R. ACHIEVED	1.33
3.) COVERED AREA ON FIRST FLOOR	65.29sq.mt.		
4.) OPEN AREA	36.49sq.mt.		
5.) MUMTY AREA	8.30sq.mt.		
6.) TOTAL BUILT-UP AREA(2+3+5)-FOR F.A.R.	149.60sq.mt.		

DEVELOPER	ARCHITECT

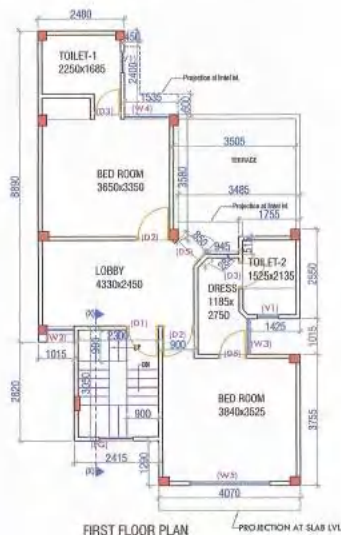




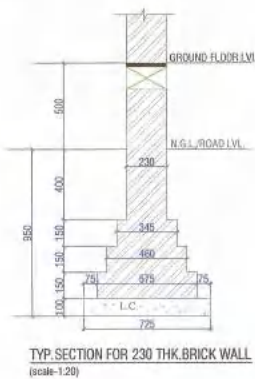
GROUND FLOOR PLAN  
(SCALE=1:100)



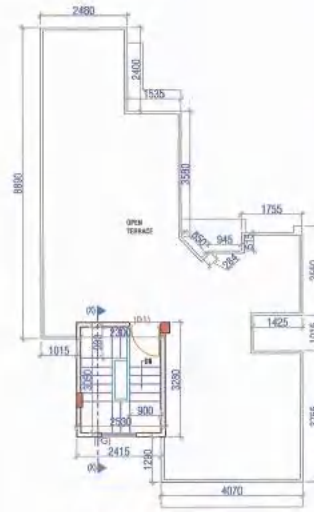
TYP. SECTION OF COLUMN FOOTING  
(Scale=1:20)



FIRST FLOOR PLAN  
(SCALE=1:100)



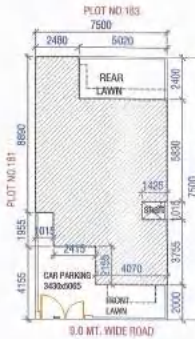
TYP. SECTION FOR 230 THK. BRICK WALL  
(Scale=1:20)



TERRACE PLAN  
(SCALE=1:100)



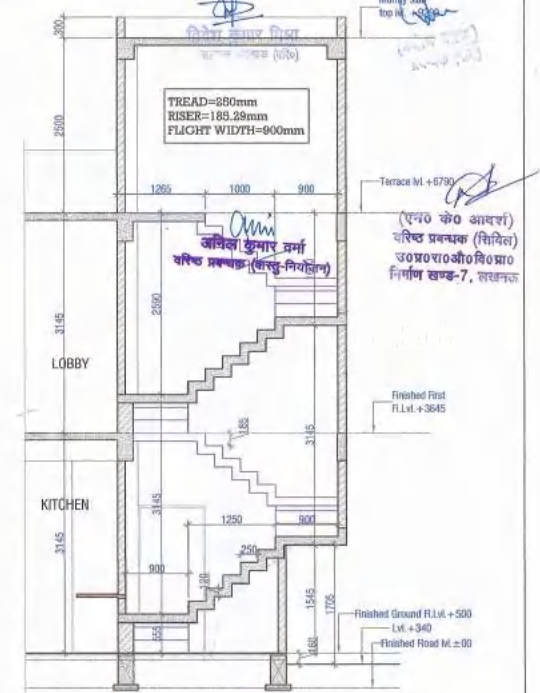
LOCATION PLAN  
(NOT TO SCALE)



SITE PLAN  
(SCALE=1:200)



FRONT ELEVATION  
(SCALE=1:100)



SECTION X-X  
(SCALE=1:50)

#### SPECIFICATIONS:

- Foundation** - Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
- Superstructure** - Composite structure with brick work & R.C.C. columns as per structural design.(earthquake resistant)
- Slab** - R.C.C. slab as per structural design in M-25 grade conc.
- Joinery** - Door frames in sal wood with 32mm commercial board shutter, Windows in aluminium /UPVC.
- Flooring** - Vitrified tiles/marble/kota/c.c.
- Painting** - O.B.D. inside & cement based waterproofing paint outside.
- Plaster** - 12mm plaster in 1:6 c.m.
- Plumbing & Sanitary Fitting** - All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
- Electrical work** - Conduiting, wiring & M.C.B. with I.S.I. marked material.

**HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITHKHERA, PARGANA-BJNAUR, TEHSIL-SAROJINI NAGAR, LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW**

PLOT NO. 180

Developer:

Eldeco housing & industries Ltd.

NOTES:

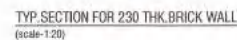
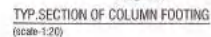
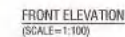
1. Architect shall not be responsible for any deviation at site by the developer.
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A. SUBMISSION.
3. Layout approved vide permit no.2085, dated 16.03.2021.

DOOR/WINDOW SCHEDULE :		
S.NO.	TYPE	SIZE
1.	D1	800 X 2100
2.	D2	950 X 2100
3.	D3	780 X 2100
4.	W1	835 X 1200
5.	W2	785 X 1050
6.	W3	1015 X 1200
7.	DW1	2230 X 2400
8.	V1	600 X 600
9.	W4	1285 X 1200
10.	W5	2290 X 1200
11.	DW2	1870 X 2100
12.	DW3	1285 X 2100



AREA STATEMENT :	SQ. MT.	AREA STATEMENT :	SQ. MT.
1.) TOTAL PLOT AREA	112.50sq.mt.	7.) GROUND COVERAGE ACHIEVED	67.56%
2.) COVERED AREA ON GROUND FLOOR	76.01sq.mt.	8.) F.A.R. ACHIEVED	1.33
3.) COVERED AREA ON FIRST FLOOR	65.29sq.mt.		
4.) OPEN AREA	36.49sq.mt.		
5.) MUMTY AREA	8.30sq.mt.		
6.) TOTAL BUILT-UP AREA(2+3+5)-FOR F.A.R.	149.60sq.mt.		

DEVELOPER	ARCHITECT

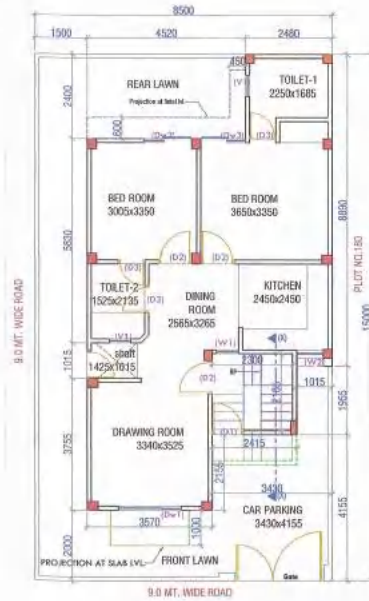




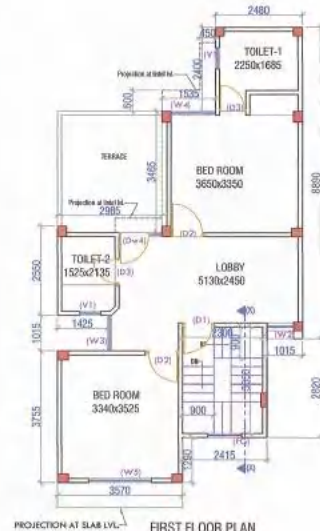
<b>Foundation</b>	- Lapped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
<b>Superstructure</b>	- Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
<b>Slab</b>	- R.C.C. slab as per structural design in M-25 grade conc.
<b>Joinery</b>	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
<b>Flooring</b>	- Vitrified tiles/marble/kota/c.c.
<b>Painting</b>	- O.B.D. inside & cement based waterproofing paint outside.
<b>Plaster</b>	- 12mm plaster in 1:6 c.m.
<b>Plumbing &amp; sanitary fitting</b>	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
<b>Electrical work</b>	- Conducting, wiring & M.C.B. with I.S.I. marked material.

DEVELOPER	ARCHITECT
	 <p><b>Ar. Sanjay Kumar Gupta</b> 100, P. Road, Corporate Centre, Phase- V/III/4, Mohand, Gurgaon, Haryana Lucknow-226010 Ph. No. +915565061415/114580 email-espaces.arch@gmail.com</p>

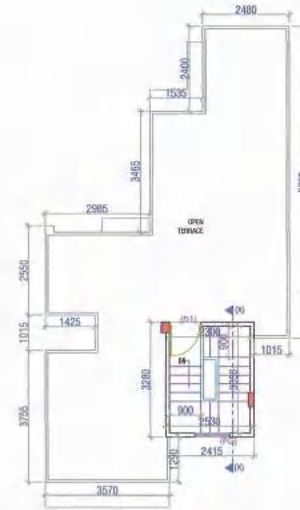




GROUND FLOOR PLAN  
(SCALE=1:100)



FIRST FLOOR PLAN  
(SCALE=1:100)



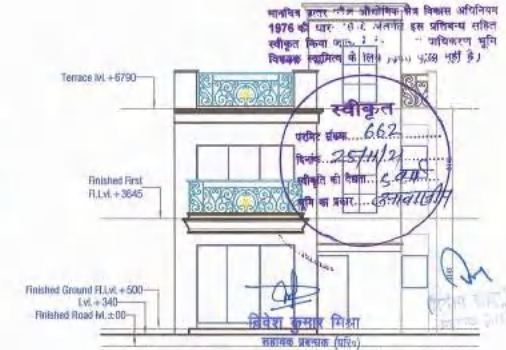
TERRACE PLAN  
(SCALE=1:100)



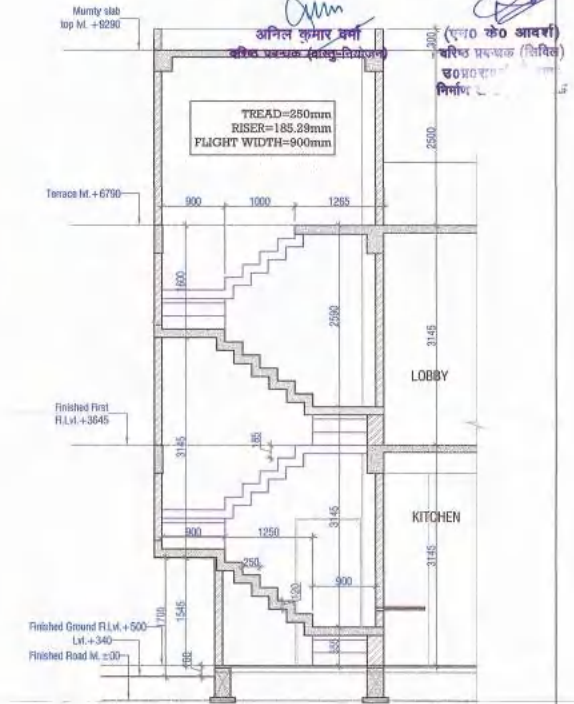
SITE PLAN  
(SCALE=1:200)



LOCATION PLAN  
(NOT TO SCALE)



FRONT ELEVATION  
(SCALE=1:100)



SECTION X-X  
(SCALE=1:50)

#### SPECIFICATIONS:

<b>Foundation</b>	- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
<b>Superstructure</b>	- Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
<b>Slab</b>	- R.C.C. slab as per structural design in M:25 grade conc.
<b>Joinery</b>	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
<b>Flooring</b>	- Vitrified tiles/marble/kota/c.e.
<b>Painting</b>	- O.B.D. inside & cement based waterproofing paint outside.
<b>Plaster</b>	- 12mm plaster in 1:6 c.m.
<b>Plumbing &amp; sanitary fitting</b>	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
<b>Electrical work</b>	- Conduiting, wiring & M.C.B. with I.S.I. marked material.

**HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITIKHERA, PARGANA-BIJNAUR, TEHSIL-SAROJINI NAGAR, LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW**

PLOT NO. 181

Developer:  
**Eldeco housing & industries Ltd.**

- NOTES:
1. Architect shall not be responsible for any deviation at site by the developer.
  2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A. SUBMISSION.
  3. Layout approved vide permit no.2095, dated 16.03.2021.

#### DOOR/WINDOW SCHEDULE :

S.NO.	TYPE	SIZE
1.	D1	900 X 2100
2.	D2	900 X 2100
3.	D3	750 X 2100
4.	W1	835 X 1200
5.	W2	785 X 1050
6.	W3	1015 X 1200
7.	DW1	2290 X 2400
8.	V1	600 X 600
9.	W4	1285 X 1200
10.	W5	2280 X 1200
11.	DW2	1870 X 2100
12.	DW3	1285 X 2100
13.	DW4	1230 X 2100

#### AREA STATEMENT :

S.NO.	TYPE	SIZE
1.)	TOTAL PLOT AREA	127.50sq.mt.
2.)	COVERED AREA ON GROUND FLOOR	70.46sq.mt.
3.)	COVERED AREA ON FIRST FLOOR	62.40sq.mt.
4.)	OPEN AREA	57.04sq.mt.
5.)	MUMTY AREA	8.30sq.mt.
6.)	TOTAL BUILT-UP AREA(2+3+5)-FOR F.A.R.	141.16sq.mt.

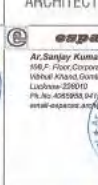
#### AREA STATEMENT :

S.NO.	TYPE	SIZE
7.)	GROUND COVERAGE ACHIEVED	55.26%
8.)	F.A.R. ACHIEVED	1.11

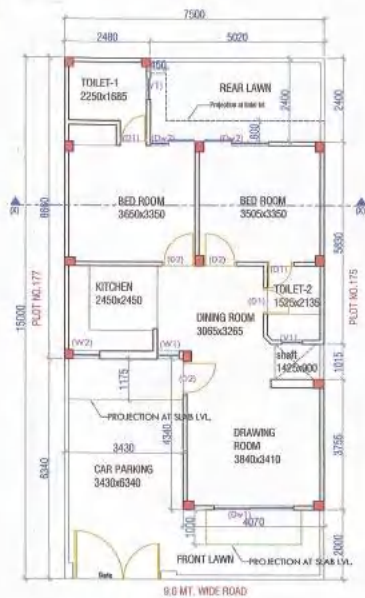
#### DEVELOPER



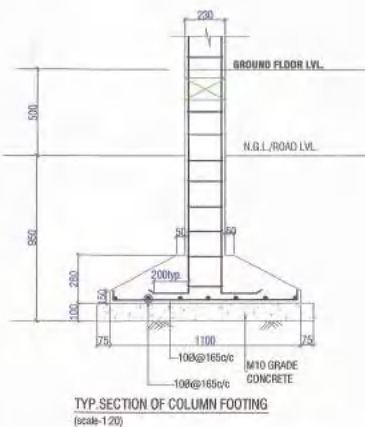
#### ARCHITECT







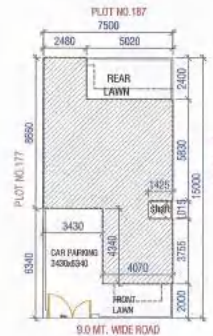
GROUND FLOOR PLAN  
(SCALE=1:100)



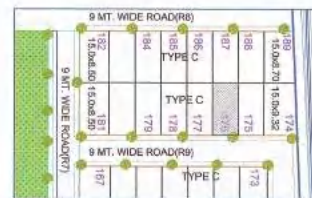
TYP. SECTION OF COLUMN FOOTING  
(Scale=1:20)



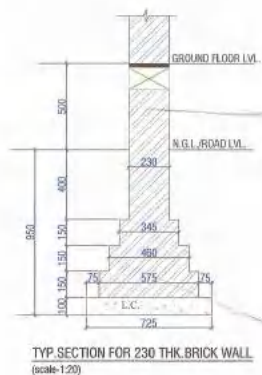
TERRACE PLAN  
(SCALE=1:100)



SITE PLAN  
(SCALE=1:200)



LOCATION PLAN  
(NOT TO SCALE)



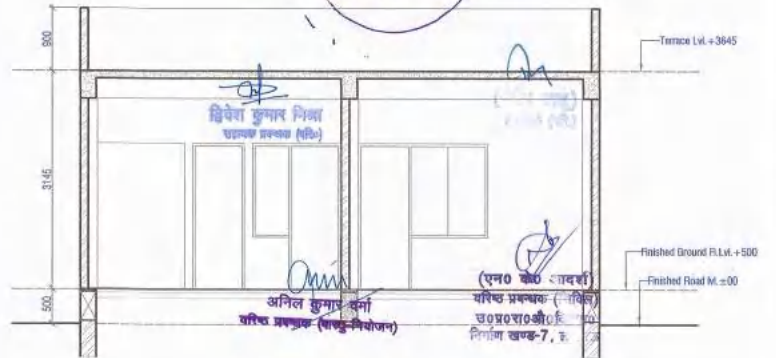
TYP. SECTION FOR 230 THK. BRICK WALL  
(Scale=1:20)

#### SPECIFICATIONS:

<b>Foundation</b>	- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
<b>Superstructure</b>	- Composite structure with brick work & R.C.C. columns as per structural design (earthquake resistant).
<b>Slab</b>	- R.C.C. slab as per structural design in M-25 grade conc.
<b>Joinery</b>	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
<b>Flooring</b>	- Vitrified tiles/marble/rota/c.c.
<b>Painting</b>	- O.B.D. inside & cement based waterproofing paint outside.
<b>Plaster</b>	- 12mm plaster in 1:6 c.m.
<b>Plumbing &amp; sanitary fitting</b>	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
<b>Electrical work</b>	- Conduiting, wiring & M.C.B. with I.S.I. marked material.



FRONT ELEVATION  
(SCALE=1:100)



SECTION X-X  
(SCALE=1:50)

HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITIKHERA,  
PARGANA-BIJNAUR, TEHSIL-SARAJINI NAGAR,  
LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW

PLOT NO. 176

Developer:

Eldeco housing & industries Ltd.

#### NOTES:

1. Architect shall not be responsible for any deviation at site by the developer.
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A. SUBMISSION.
3. Layout approved vide permit no.2095, dated 16.03.2021.

#### DOOR/WINDOW SCHEDULE:

S.NO.	TYPE	SIZE
1.	D1	700 X 2100
2.	D2	950 X 2100
3.	W1	635 X 1200
4.	W2	705 X 1050
5.	DW1	2240 X 2400
6.	V1	600 X 800
7.	DW2	1870 X 2100
8.	DW3	1285 X 2100

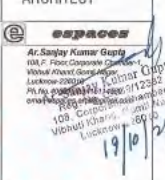
#### AREA STATEMENT:

	SQ. MT.
1.) TOTAL PLOT AREA	112.50sq.mt.
2.) COVERED AREA ON GROUND FLOOR	72.51sq.mt.
3.) OPEN AREA	39.99sq.mt.
4.) TOTAL BUILT-UP AREA(2)-FOR F.A.R.	72.51sq.mt.
5.) GROUND COVERAGE ACHIEVED	64.45%
6.) F.A.R. ACHIEVED	0.64

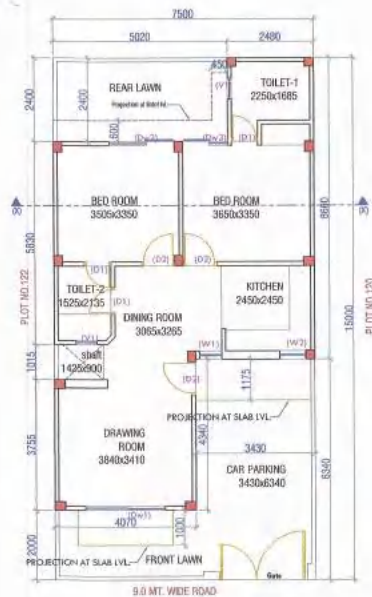
#### DEVELOPER



#### ARCHITECT







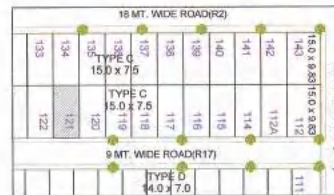
GROUND FLOOR PLAN  
(SCALE=1:100)



TERRACE PLAN  
(SCALE=1:100)



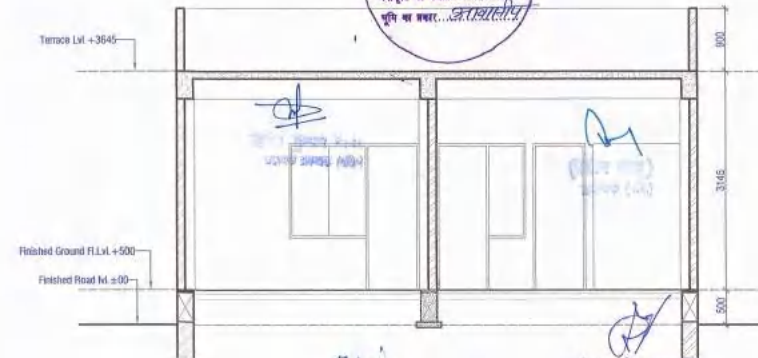
SITE PLAN  
(SCALE=1:200)



LOCATION PLAN  
(NOT TO SCALE)

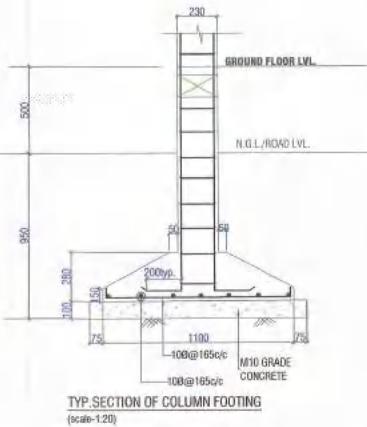


FRONT ELEVATION  
(SCALE=1:100)

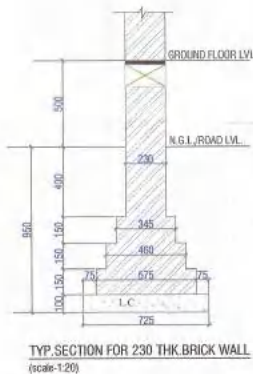


SECTION X-X  
अनिल कुमार (आर.सी.ए.सी.ई.)  
वरिष्ठ प्रबन्धक (आर.सी.ए.सी.ई.)

(ए.टी.ओ. के.ओ. आवसी)  
वरिष्ठ प्रबन्धक (सिविल)  
च.07070 और 07070  
विभाग खण्ड-7, लखनऊ



TYP. SECTION OF COLUMN FOOTING  
(Scale=1:20)



TYP. SECTION FOR 230 THK. BRICK WALL  
(Scale=1:20)

#### SPECIFICATIONS:

- Foundation** - Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
- Superstructure** - Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
- Slab** - R.C.C. slab as per structural design in M:28 grade conc.
- Joinery** - Door frames in sal wood with 32mm commercial board shutter, Windows in aluminium /UPVC.
- Flooring** - Vitrified tiles/marble/kota/c.c.
- Painting** - O.B.D. inside & cement based waterproofing paint outside.
- Plaster** - 12mm plaster in 1:6 c.m.
- Plumbing & sanitary fitting** - All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
- Electrical work** - Conducting, wiring & M.C.B. with I.S.I. marked material.

**HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITIKHERA, PARGANA-BUNAU, TEHSIL-SAROINI NAGAR, LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW**

PLOT NO. 121

Developer:

Eldeco housing & industries Ltd.

NOTES:

1. Architect shall not be responsible for any deviation at site by the developer.
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A. SUBMISSION.
3. Layout approved vide permit no 2095, dated 16.03.2021.

#### DOOR/ WINDOW SCHEDULE :

S.NO.	TYPE	SIZE
1.	D1	760 X 2100
2.	D2	950 X 2100
3.	W1	635 X 1200
4.	W2	765 X 1060
5.	DW1	2290 X 2400
6.	V1	600 X 600
7.	DW2	1870 X 2100
8.	DW3	1265 X 2100

#### AREA STATEMENT :

	SQ. MT.
1.) TOTAL PLOT AREA	112.50sq.mt.
2.) COVERED AREA ON GROUND FLOOR	72.51sq.mt.
3.) OPEN AREA	39.99sq.mt.
4.) TOTAL BUILT-UP AREA(2)-FOR F.A.R.	72.51sq.mt.
5.) GROUND COVERAGE ACHIEVED	64.45%
6.) F.A.R. ACHIEVED	0.64

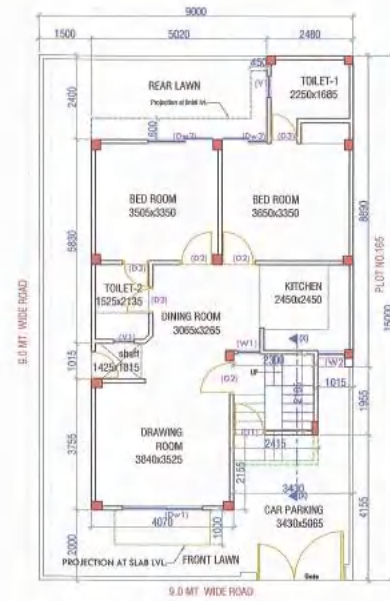
#### DEVELOPER

#### ARCHITECT

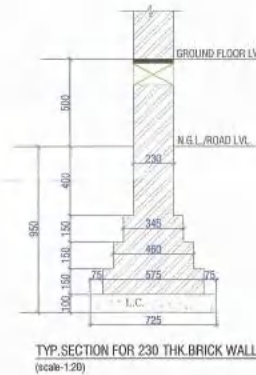
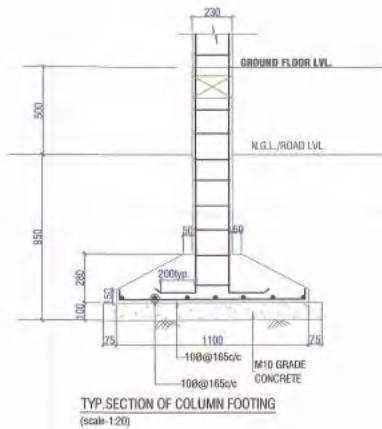
Ar. Sanjay Kumar Gupta

101/1, First Cross Road, Chandra Nagar,  
Village Khairi, Gopal Nagar,  
Lucknow-226019  
Ph.No. 4068056, 4068057  
email: arsanjaykumar@gmail.com

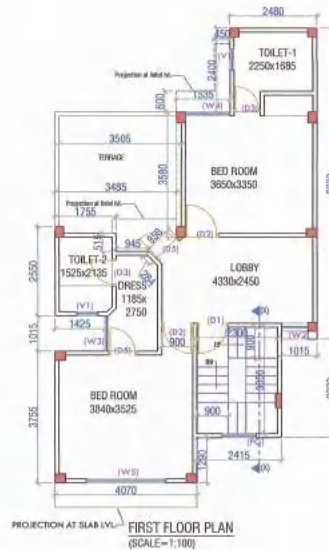




GROUND FLOOR PLAN  
(SCALE=1:100)



TYP. SECTION FOR 230 THK. BRICK WALL  
(Scale=1:20)



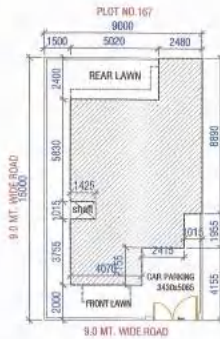
FIRST FLOOR PLAN  
(SCALE=1:100)



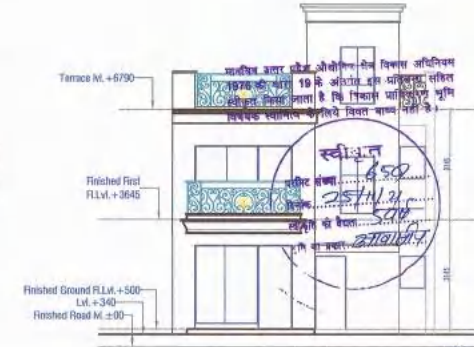
TERRACE PLAN  
(SCALE=1:100)



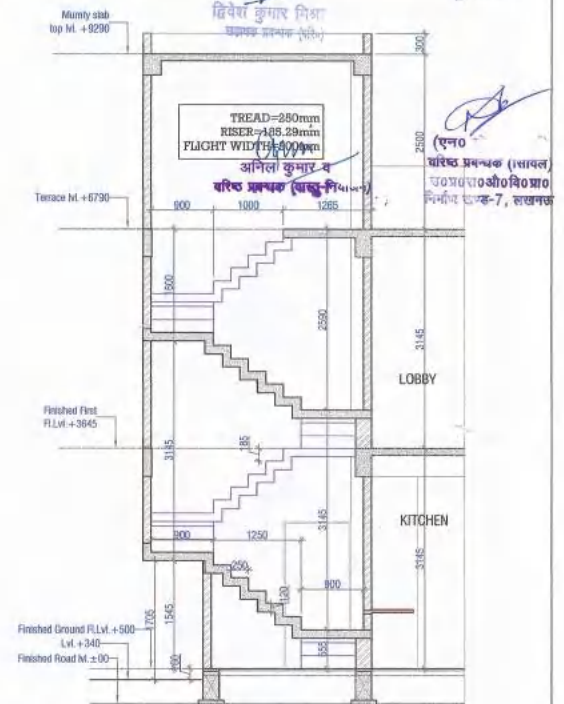
LOCATION PLAN  
(NOT TO SCALE)



SITE PLAN  
(SCALE=1:200)



FRONT ELEVATION  
(SCALE=1:100)



SECTION X-X  
(SCALE=1:50)

#### SPECIFICATIONS:

<b>Foundation</b>	- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
<b>Superstructure</b>	- Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
<b>Slab</b>	- R.C.C. slab as per structural design in M:25 grade conc.
<b>Joinery</b>	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
<b>Flooring</b>	- Vitrified tiles/marble/kota/c.e.
<b>Painting</b>	- O.B.D. inside & cement based waterproofing paint outside.
<b>Plaster</b>	- 12mm plaster in 1:6 c.m.
<b>Plumbing &amp; sanitary fitting</b>	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
<b>Electrical work</b>	- Conducting, wiring & M.C.B. with I.S.I. marked material.

**HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITIKHERA, PARGANA-BILNAUR, TEHSIL-SARDIINI NAGAR, LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW**

PLOT NO. 166

Developer:

**Eldeco housing & industries ltd.**

NOTES:

1. Architect shall not be responsible for any deviation at site by the developer.
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.O.A. SUBMISSION.
3. Layout approved vide permit no.2095, dated 16.03.2021.

#### DOOR/WINDOW SCHEDULE:

S.NO	TYPE	SIZE
1.	D1	900 X 2100
2.	D2	900 X 2100
3.	D3	700 X 2100
4.	W1	635 X 1200
5.	W2	785 X 1050
6.	W3	1015 X 1200
7.	DW1	2250 X 2400
8.	W1	600 X 600
9.	W4	1285 X 1200
10.	W5	2250 X 1200
11.	DW2	1870 X 2100
12.	DW3	1285 X 2100

#### AREA STATEMENT:

AREA STATEMENT:	SQ. MT.	AREA STATEMENT:	SQ. MT.
1.) TOTAL PLOT AREA	135.00sq.mt.	7.) GROUND COVERAGE ACHIEVED	56.30%
2.) COVERED AREA ON GROUND FLOOR	76.01sq.mt.	8.) F.A.R. ACHIEVED	1.11
3.) COVERED AREA ON FIRST FLOOR	65.29sq.mt.		
4.) OPEN AREA	58.99sq.mt.		
5.) MUMTY AREA	8.30sq.mt.		
6.) TOTAL BUILT-UP AREA(2+3+5)-FOR F.A.R.	149.60sq.mt.		

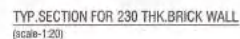
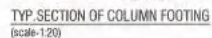
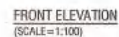
#### DEVELOPER



#### ARCHITECT



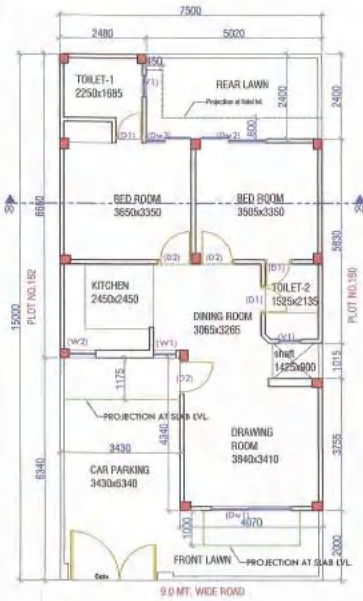




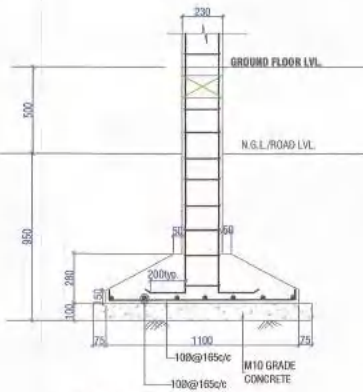
<b>Foundation</b>	- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
<b>Superstructure</b>	- Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
<b>Slab</b>	- R.C.C. slab as per structural design in M:28 grade conc.
<b>Joinery</b>	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
<b>Flooring</b>	- Vitrified tiles/marble/kota/c.c.
<b>Painting</b>	- O.B.D. inside & cement based waterproofing paint outside.
<b>Plaster</b>	- 12mm plaster in 1:6 c.m.
<b>Plumbing &amp; sanitary fitting</b>	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
<b>Electrical work</b>	- Conducting, wiring & M.C.B. with I.S.I. marked material.

 **espaces**  
Ar. Sanjay Kumar Gupta  
108, F. Floor, Corporate Chait  
Vignani Road, Gurgaon  
Lucknow-226010  
Ph.No. 0522908, 9415114400  
email-espaces.architect@gmail.com

**Ar. Sanjeev Kumar Gupta**  
108, F. Floor, Corporate Chait  
Vihar, Khair, Gurgaon, Haryana  
Lucknow-226010  
Pin No. 4055058, 9415114582  
steel-processor.architect@gmail.com



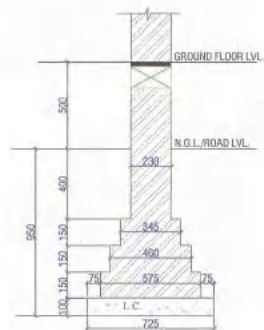
GROUND FLOOR PLAN  
(SCALE=1:100)



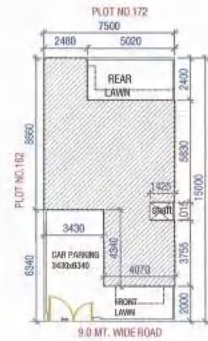
TYP. SECTION OF COLUMN FOOTING  
(Scale=1:20)



TERRACE PLAN  
(SCALE=1:100)



TYP. SECTION FOR 230 THK. BRICK WALL  
(Scale=1:20)



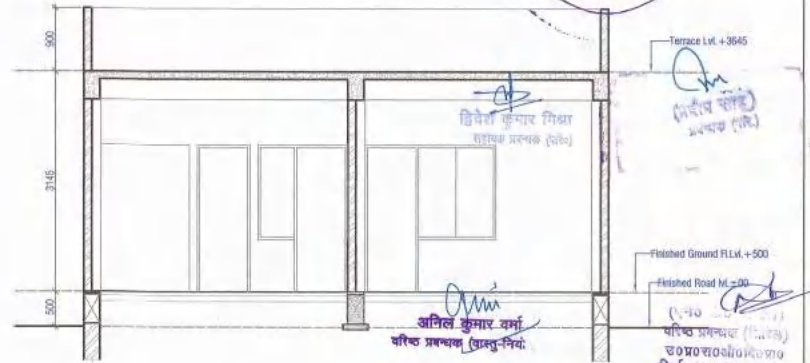
SITE PLAN  
(SCALE=1:200)



LOCATION PLAN  
(NOT TO SCALE)



FRONT ELEVATION  
(SCALE=1:100)



SECTION X-X  
(SCALE=1:50)

#### SPECIFICATIONS:

- Foundation** - Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
- Superstructure** - Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
- Slab** - R.C.C. slab as per structural design in M.25 grade conc.
- Joinery** - Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
- Flooring** - Vitrified tiles/marble/kota/c.c.
- Painting** - O.B.D. inside & cement based waterproofing paint outside.
- Plaster** - 12mm plaster in 1:6 c.m.
- Plumbing & Sanitary fitting** - All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
- Electrical work** - Conduiting, wiring & M.C.B. with I.S.I. marked material.

**HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITIKHERA, PARGANA-BIJNAUR, TEHSIL-SAROJINI NAGAR, LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW**

PLOT NO. 161

Developer:

Eldeco housing & industries Ltd.

#### NOTES:

1. Architect shall not be responsible for any deviation at site by the developer.
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.D.A. SUBMISSION.
3. Layout approved vide permit no.2095, dated 16.03.2021.

DOOR/ WINDOW SCHEDULE :		
S.NO.	TYPE	SIZE
1.	D1	750 X 2100
2.	D2	950 X 2100
3.	W1	635 X 1200
4.	W2	785 X 1050
5.	DW1	2290 X 2400
6.	V1	600 X 600
7.	DW2	1570 X 2100
8.	DW3	1285 X 2100

AREA STATEMENT :		SQ. MT.
1.)	TOTAL PLOT AREA	112.50sq.mt.
2.)	COVERED AREA ON GROUND FLOOR	72.51sq.mt.
3.)	OPEN AREA	39.99sq.mt.
4.)	TOTAL BUILT-UP AREA(2)-FOR F.A.R.	72.51sq.mt.
5.)	GROUND COVERAGE ACHIEVED	64.45%
6.)	F.A.R. ACHIEVED	0.64

DEVELOPER	ARCHITECT
 <b>Eldeco Housing &amp; Industries Ltd.</b>	 <b>Ar. Sanjay Kumar Gupta</b> 100/1, Floor, Corporate Chambers, Vardaan, Khanna Road, Lucknow-226015 Lucknow-226015 Ph No. 4055555, 4055555, 4055555 email-eldedco.architect@gmail.com

मानविक उत्तर परीत जीवोपल क्षेत्र निम्न अधिनियम 1976 की धारा 19 के अंतर्गत इस योजनाय सहित स्वीकृत किया जाता है कि निम्नलिखित पाठिकाय धूमि विभागक स्वाधिक के निवेदित बायब नहीं है।

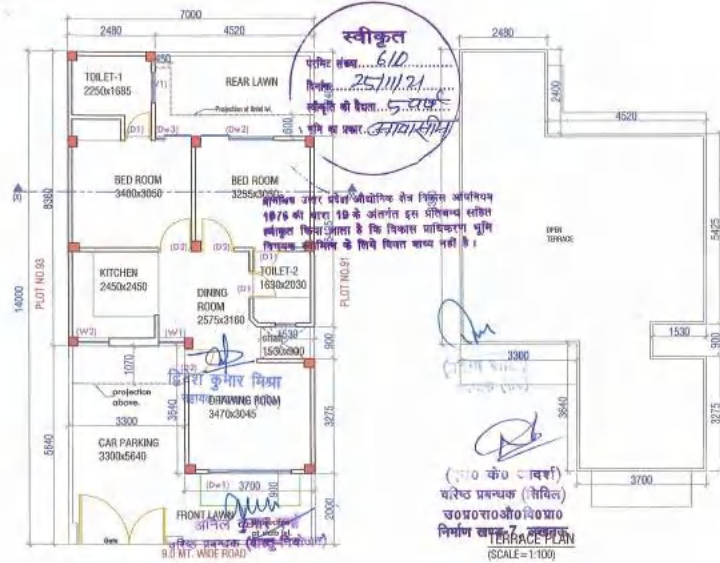
स्वीकृत  
परिचित संख्या...611  
दिनांक...25/11/21  
स्वीकृती की शर्त...5 वर्ष  
भूमि का प्रचार...आवासीय

हिचेर कुमार मिश्रा  
सहायक प्रबंधक (सिटी)

अनिल कुमार वर्मा  
परिचित प्रबंधक (सिटी)

परिचित प्रबंधक (सिटी)  
उपप्रबंधक (सिटी)  
निर्माण खण्ड-7, स.प.प.प.





GROUND FLOOR PLAN  
(SCALE=1:100)



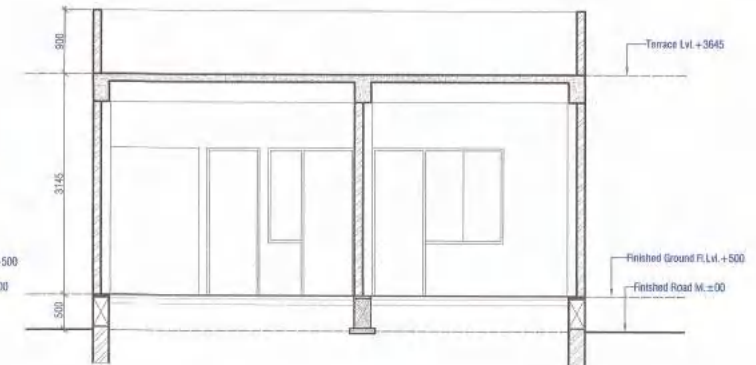
SITE PLAN  
(SCALE=1:200)



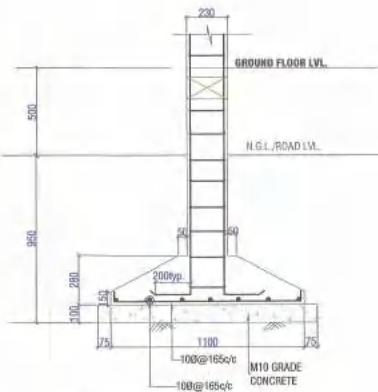
LOCATION PLAN  
(NOT TO SCALE)



FRONT ELEVATION  
(SCALE=1:100)



SECTION X-X  
(SCALE=1:50)



TYP. SECTION OF COLUMN FOOTING  
(SCALE=1:20)



TYP. SECTION FOR 230 THK. BRICK WALL  
(SCALE=1:20)

#### SPECIFICATIONS:

<b>Foundation</b>	- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
<b>Superstructure</b>	- Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
<b>Slab</b>	- R.C.C. slab as per structural design in M:5 grade conc.
<b>Joinery</b>	- Door frames in sal wood with 33mm commercial board shutters. Windows in aluminium /UPVC.
<b>Flooring</b>	- Vitrified tiles/marble/kota/c.c.
<b>Painting</b>	- O.B.D. inside & cement based waterproofing paint outside.
<b>Plaster</b>	- 12mm plaster in 1:6 c.m.
<b>Plumbing &amp; sanitary fitting</b>	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
<b>Electrical work</b>	- Conduiting, wiring & M.C.B. with I.S.I. marked material.

#### HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITIKHERA, PARGANA-BUNAU, TEHSIL-SARAJINI NAGAR, LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW

PLOT NO. 92

Developer:  
Eldeco housing & industries Ltd.

- NOTES:
1. Architect shall not be responsible for any deviation at site by the developer.
  2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A. SUBMISSION.
  3. Layout approved vide permit no 2095, dated 16.03.2021.

S.NO.	TYPES	SIZE
1.	DT	760 X 2100
2.	DT	950 X 2100
3.	WT	735 X 1200
4.	WT	765 X 1050
5.	QW1	2145 X 2400
6.	WT	600 X 600
7.	DM2	1035 X 2100
8.	OW3	2075 X 2100

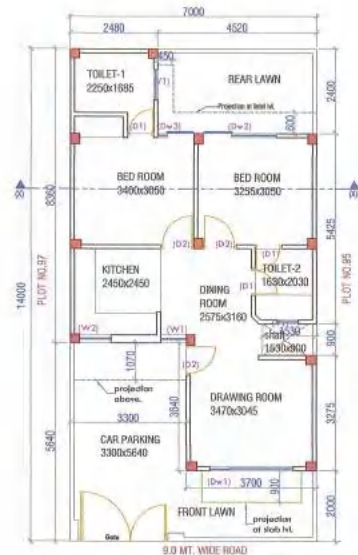
#### AREA STATEMENT :

	SQ. MT.
1.) TOTAL PLOT AREA	98.00sq.mt.
2.) COVERED AREA ON GROUND FLOOR	61.04sq.mt.
3.) OPEN AREA	36.96sq.mt.
4.) TOTAL BUILT-UP AREA(2)-FOR F.A.R.	61.04sq.mt.
5.) GROUND COVERAGE ACHIEVED	62.29%
6.) F.A.R. ACHIEVED	0.623

#### DEVELOPER

#### ARCHITECT





GROUND FLOOR PLAN  
(SCALE=1:100)



TERRACE PLAN  
(SCALE=1:100)

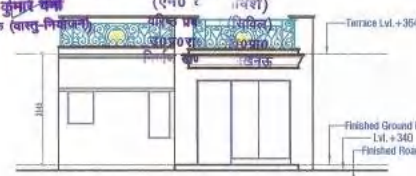
मानचित्र इतर प्रदेस औद्योगिक क्षेत्र विकास अधिनियम  
1976 की धारा 19 के अंतर्गत इस तलचित्र को सार्वजनिक  
स्वीकृत किया जाता है कि विकास प्राधिकरण प्लॉट नं. 99  
के स्वीकृत तलचित्र के विषये विवाद बाध्य नहीं है। 7100



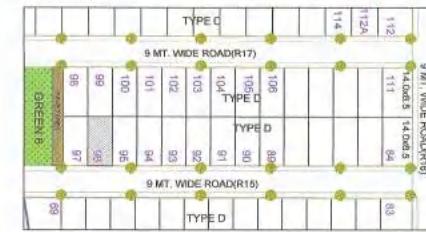
SITE PLAN  
(SCALE=1:200)

हिरो कुमार मिश्रा  
सहायक प्रबंधक (एरि)

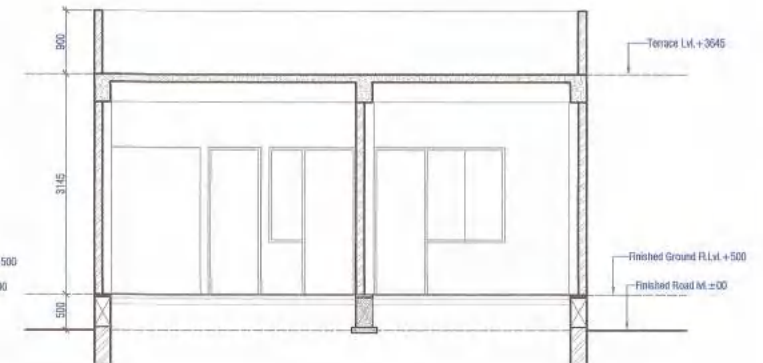
अनिल कुमार वर्मा  
परिचय प्रबंधक (सह-निर्माण)



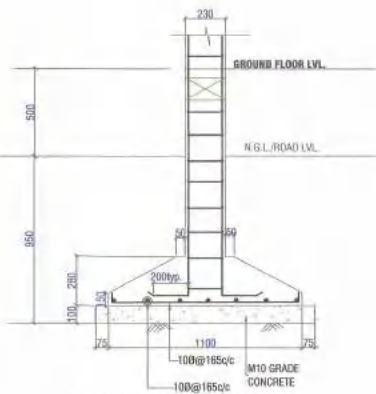
FRONT ELEVATION  
(SCALE=1:100)



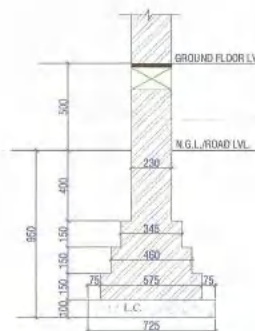
LOCATION PLAN  
(NOT TO SCALE)



SECTION X-X  
(SCALE=1:50)



TYP. SECTION OF COLUMN FOOTING  
(Scale=1:20)



TYP. SECTION FOR 230 THK. BRICK WALL  
(Scale=1:20)

#### SPECIFICATIONS:

- Foundation** - Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
- Superstructure** - Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant).
- Slab** - R.C.C. slab as per structural design in M.25 grade conc.
- Joinery** - Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
- Flooring** - Vitrified tiles/marble/kota/c.c.
- Painting** - O.B.D. inside & cement based waterproofing paint outside.
- Plaster** - 12mm plaster in 1:6 c.m.
- Plumbing & sanitary fitting** - All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
- Electrical work** - Conduiting, wiring & M.C.B. with I.S.I. marked material.

HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITIKHERA,  
PARGANA-BIJNAUR, TEHSIL-SAROJINI NAGAR,  
LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW

PLOT NO. 96

Developer:

Eldeco housing & industries ltd.

#### NOTES:

1. Architect shall not be responsible for any deviation at site by the developer.
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A. SUBMISSION.
3. Layout approved vide permit no.2095, dated 16.03.2021.

#### DOOR/WINDOW SCHEDULE :

S.NO.	TYPE	SIZE
1	D1	750 X 2100
2	D2	950 X 2100
3	W1	735 X 1200
4	W2	785 X 1050
5	DW1	2145 X 2400
6	V1	600 X 600
7	DW2	1035 X 2100
8	DW3	2075 X 2100

#### AREA STATEMENT :

	SQ. MT.
1.) TOTAL PLOT AREA	98.00sq.mt.
2.) COVERED AREA ON GROUND FLOOR	61.04sq.mt.
3.) OPEN AREA	36.96sq.mt.
4.) TOTAL BUILT-UP AREA(2)-FOR F.A.R.	61.04sq.mt.
5.) GROUND COVERAGE ACHIEVED	62.29%
6.) F.A.R. ACHIEVED	0.623

#### DEVELOPER



#### ARCHITECT







Hand-drawn floor plan of a residential property with handwritten annotations in Hindi. The plan shows a rectangular plot with dimensions 14300 (width) and 5640 (depth). The layout includes a front garden (गार्डन), a car parking area (3300x5640), a kitchen (2450x2450), a dining room (2575x3160), a drawing room (3470x3945), a bedroom (3400x3059), a toilet (2250x1865), and a rear lawn (REAR LAWN). A large circular area in the center is labeled 'स्वीकृत' (Approved) and contains the text 'विद्युत वितरण के लिए' (For electricity distribution) and 'विद्युत वितरण के लिए' (For electricity distribution). The plan also shows a 'PROJ. NO. 101' and a 'PROJ. NO. 101'.

Hand-drawn floor plan of a building with dimensions in feet. The plan shows a main rectangular area with an 'OPEN ENTRANCE' on the right side. Dimensions include 24'0" for the top width, 83'6" for the left height, 24'0" for the top-right corner width, 45'0" for the top-right corner depth, 54'2" for the right height, 15'0" for a small protrusion on the right, 5'0" for the protrusion depth, 32'7" for the bottom-right height, 37'0" for the bottom width, 38'4" for the bottom-left height, and 33'0" for the bottom-left width. There are handwritten signatures and notes in Hindi at the bottom left.

[illegible][illegible]

Architectural section drawing of a building. The drawing shows a cross-section with a central vertical wall and two side walls. The interior space is divided into two rooms by a vertical wall. The floor is labeled "Finished Ground F.L. +500" and the road level is labeled "Finished Road M. ±00". The roof level is labeled "Terrace Lvl. +3645". Dimensions are indicated on the left: 900 (total height), 3145 (height to roof), and 500 (height to road level).

Architectural elevation drawing of a building facade. The drawing shows a two-story structure with a decorative balcony on the upper floor. The balcony has a blue and white patterned railing. Below the balcony is a large window with a white frame. To the right of the window is a door with a white frame. The drawing includes the following labels and dimensions:

- Terrace Lvl. + 3645
- Finished Ground Fl Lvl. + 500
- Lvl. + 340
- Finished Road Int. = 00

The diagram illustrates the cross-section of a chimney. Key dimensions and features include:

- Top Diameter:** 230
- Ground Floor Level:** Indicated by a horizontal line.
- N.G.L. Road Level:** Indicated by a horizontal line.
- Chimney Height:** 500 (from ground floor level to top).
- Foundation Height:** 950 (from ground floor level to base).
- Foundation Width:** 1100
- Foundation Depth:** 100 (from ground floor level to base of foundation).
- Foundation Reinforcement:** 100@165c/b
- Foundation Material:** M10 GRADE CONCRETE
- Foundation Slope:** 1:1
- Foundation Base:** 750
- Foundation Top Width:** 500
- Foundation Top Height:** 200
- Foundation Top Reinforcement:** 200y/b
- Foundation Top Material:** M10 GRADE CONCRETE

<b>Foundation</b>	- Lapped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
<b>Superstructure</b>	- Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
<b>Slab</b>	- R.C.C. slab as per structural design in M:28 grade conc.
<b>Joinery</b>	- Door frames in sal wood with 32mm commercial board shutter, Windows in aluminium /UPVC.
<b>Flooring</b>	- Vitrified tiles/marble/kota/c.c.
<b>Painting</b>	- O.B.D. inside & cement based waterproofing paint outside.
<b>Plaster</b>	- 12mm plaster in 1:6 c.m.
<b>Plumbing &amp; sanitary fitting</b>	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
<b>Electrical work</b>	- Cabling, wiring & M.C.B. with I.S.I. marked material.

S.NO	TYPE	SIZE
1.	D1	780 X 2100
2.	D2	950 X 2100
3.	W1	735 X 1200
4.	W2	765 X 1050
5.	DW1	2145 X 2400
6.	V1	600 X 600
7.	DW2	1835 X 2100
8.	DW3	2025 X 2100

1.) TOTAL PLOT AREA	98.00sq.mt.
2.) COVERED AREA ON GROUND FLOOR	61.04sq.mt.
3.) OPEN AREA	36.96sq.mt.
4.) TOTAL BUILT-UP AREA(2)-FOR F.A.R.	61.04sq.mt.
5.) GROUND COVERAGE ACHIEVED	62.29%
6.) F.A.R. ACHIEVED	0.623

ARCHITECT



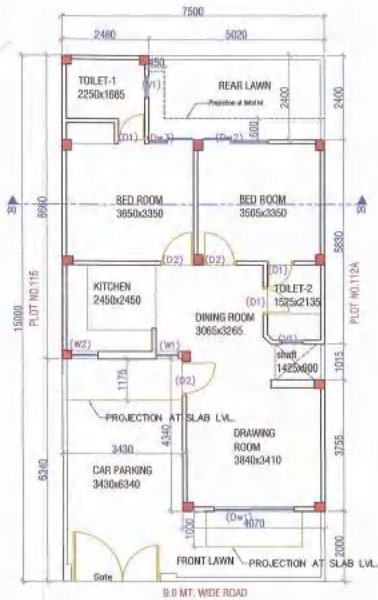
**espaces**  
Ar. Sanjay Kumar Gupta  
109 F. Floor, Corporate Chateau  
Vishal Khand, Gurgaon  
Ludhiana-122010  
Ph: No. 406033, 443511, 4060  
email-espaces.arch@rediffmail.com



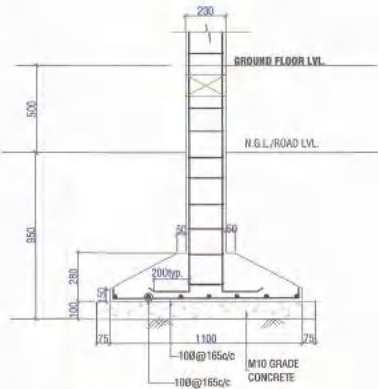








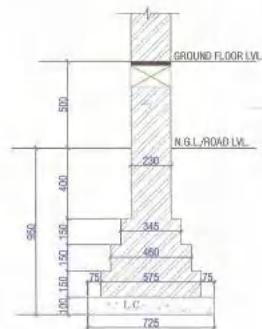
GROUND FLOOR PLAN  
(SCALE=1:100)



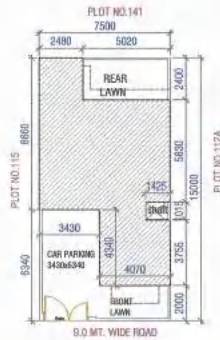
TYP. SECTION OF COLUMN FOOTING  
(Scale=1:20)



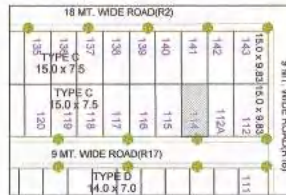
TERRACE PLAN  
(SCALE=1:100)



TYP. SECTION FOR 230 THK. BRICK WALL  
(Scale=1:20)



SITE PLAN  
(SCALE=1:200)



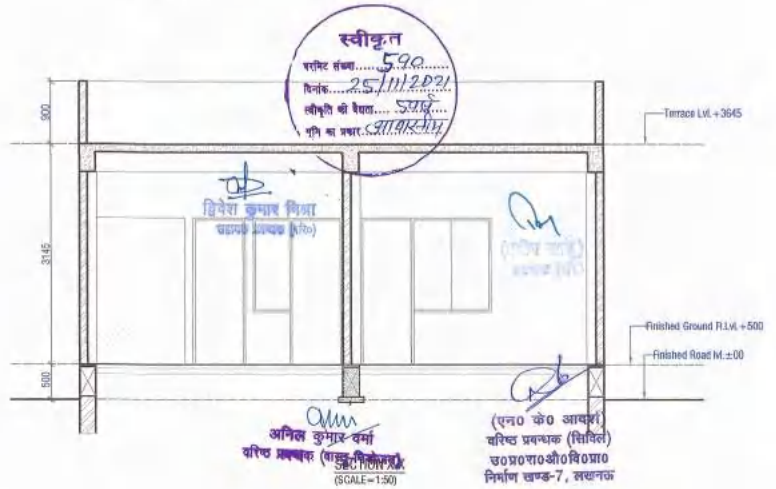
LOCATION PLAN  
(NOT TO SCALE)

#### SPECIFICATIONS:

- Foundation - Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
- Superstructure - Composite structure with brick work & R.C.C. columns as per structural design (earthquake resistant).
- Slab - R.C.C. slab as per structural design in M:25 grade concrete.
- Joinery - Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
- Flooring - Vitrified tiles/marble/kota/c.e.
- Painting - O.B.D. inside & cement based waterproofing paint outside.
- Plaster - 12mm plaster in 1:6 c.m.
- Plumbing & sanitary fitting - All plumbing work using I.S.I.-marked UPVC pipes with standard fittings & fixtures.
- Electrical work - Conducting wiring & M.C.B. with I.S.I. marked material.



FRONT ELEVATION  
(SCALE=1:100)



HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JANKHERA,  
PARGANA-BIJNAUR, TEHSIL-SAROJINI NAGAR,  
LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA,  
LUCKNOW.

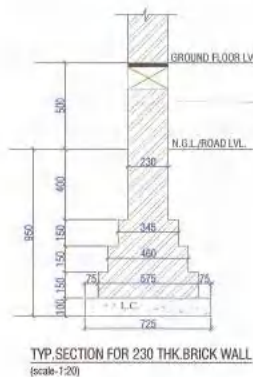
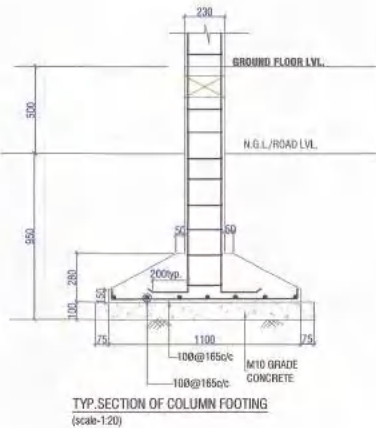
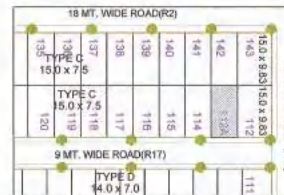
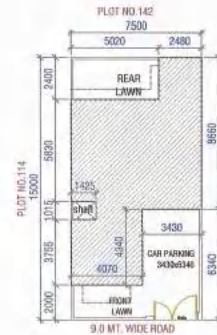
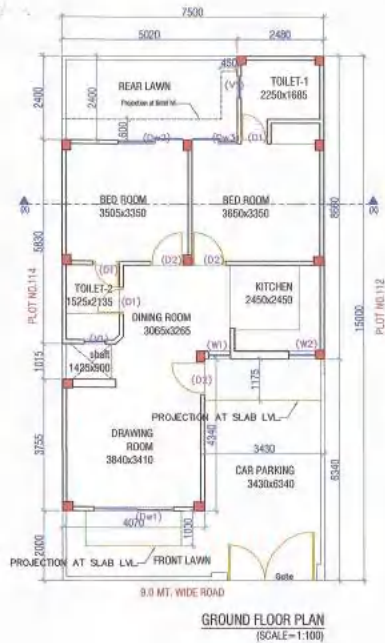
PLOT NO. 114  
Developer:  
Eldeco housing & industries Ltd.

- NOTES:
1. Architect shall not be responsible for any deviation at site by the developer.
  2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A. SUBMISSION.
  3. Layout approved vide permit no.2095, dated 16.03.2021.

DOOR/WINDOW SCHEDULE:		
S.	TYPE	SIZE
1.	D1	750 X 2100
2.	D2	850 X 2100
3.	D3	835 X 1200
4.	D4	755 X 1050
5.	DW1	2290 X 2400
6.	V1	600 X 600
7.	DW2	1810 X 2100
8.	DW3	1285 X 2100

AREA STATEMENT:		SQ. MT.
1.)	TOTAL PLOT AREA	112.50sq.mt.
2.)	COVERED AREA ON GROUND FLOOR	72.51sq.mt.
3.)	OPEN AREA	39.99sq.mt.
4.)	TOTAL BUILT-UP AREA(2)-FOR F.A.R.	72.51sq.mt.
5.)	GROUND COVERAGE ACHIEVED	64.45%
6.)	F.A.R. ACHIEVED	0.64

DEVELOPER	ARCHITECT
Eldeco Housing & Industries Ltd.	Ar. Sanjay Kumar Gupta 102/F, Floor Colours Chamber-1, Village Sarojini Nagar, Lucknow-200001 20-10-2021 Sanjay Kumar Gupta sanjaykumargupta@gmail.com



#### SPECIFICATIONS:

- Foundation — Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
- Superstructure — Composite structure with brick work & R.C.C. columns as per structural design (earthquake resistant).
- Slab — R.C.C. slab as per structural design in M:25 grade conc.
- Joinery — Door frames in sol wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
- Flooring — Vitrified tiles/marble/kota/c.c.
- Painting — O.B.D. inside & cement based waterproofing point outside.
- Plaster — 12mm plaster in 1:6 c.m.
- Plumbing & sanitary fitting — All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
- Electrical work — Conduiting, wiring & M.C.B. with I.S.I. marked material.

HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JANTIKHARA, PARGANA-BIJNAUR, TEHSIL-SAROJINI NAGAR, LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW

PLOT NO. 112A

Developer:  
**Eldeco housing & industries ltd.**

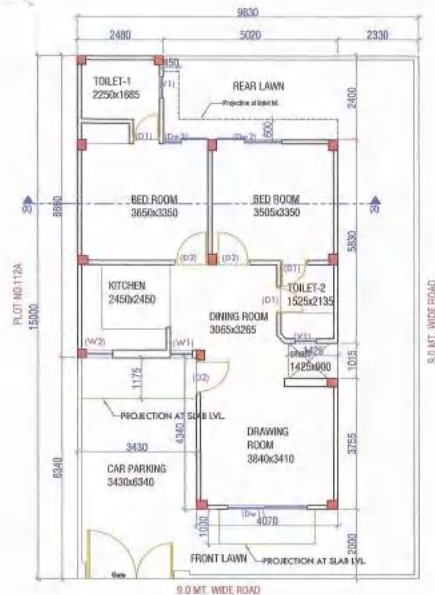
- NOTES:
1. Architect shall not be responsible for any deviation at site by the developer.
  2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.O.A. SUBMISSION.
  3. Layout approved vide permit no.2095, dated 16.03.2021.

DOOR/WINDOW SCHEDULE:		
NO.	TYPE	SIZE
1.	D1	700 X 2100
2.	D2	950 X 2100
3.	D3	695 X 1200
4.	D4	785 X 1050
5.	DW1	2230 X 2400
6.	W1	600 X 500
7.	DW2	1875 X 2100
8.	DW3	1285 X 2100

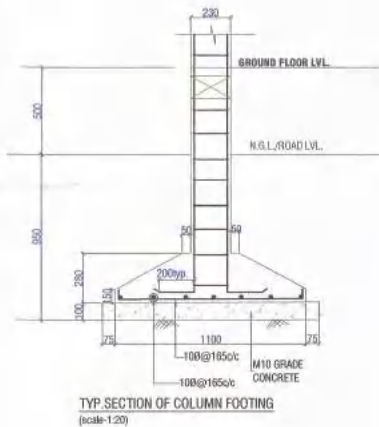
AREA STATEMENT:		SQ. MT.
1.) TOTAL PLOT AREA		112.50sq.mt.
2.) COVERED AREA ON GROUND FLOOR		72.51sq.mt.
3.) OPEN AREA		39.99sq.mt.
4.) TOTAL BUILT-UP AREA(2)-FOR F.A.R.		72.51sq.mt.
5.) GROUND COVERAGE ACHIEVED		64.45%
6.) F.A.R. ACHIEVED		0.64

DEVELOPER	ARCHITECT
<b>Eldeco Housing &amp; Industries Ltd.</b>	<b>Aspacos</b>
	Ar. Sanjay Kumar Gupta
	108/F. Floor, Corporate Chamber-1,
	Hardy Road, Green Nagar,
	Lucknow-226019
	Ph.No. 0522660000, 0522660001
	email-aspacos@gmail.com





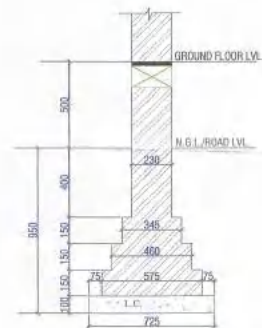
GROUND FLOOR PLAN  
(SCALE=1:100)



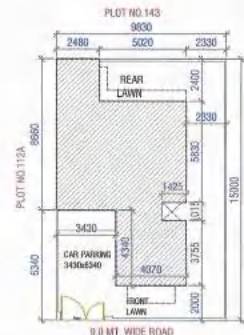
TYP. SECTION OF COLUMN FOOTING  
(scale=1:20)



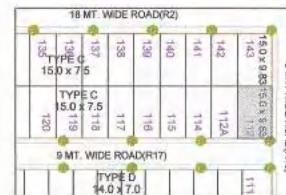
TERRACE PLAN  
(SCALE=1:100)



TYP. SECTION FOR 230 THK. BRICK WALL  
(scale=1:20)



SITE PLAN  
(SCALE=1:200)



LOCATION PLAN  
(NOT TO SCALE)



FRONT ELEVATION  
(SCALE=1:100)



SECTION X-X  
(SCALE=1:50)

#### SPECIFICATIONS:

- Foundation** - Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
- Superstructure** - Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
- Slab** - R.C.C. slab as per structural design in M.28 grade conc.
- Joinery** - Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
- Flooring** - Vitrified tiles/marble/kota/c.e.
- Painting** - O.B.D. inside & cement based waterproofing paint outside.
- Plaster** - 12mm plaster in 1:6 c.m.
- Plumbing & sanitary fitting** - All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
- Electrical work** - Conducting, wiring & M.C.B. with I.S.I. marked material.

**HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITIKHERA, PARGANA-BUNAUR, TEHSIL-SAROJINI NAGAR, LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW**

PLOT NO. 112

Developer:  
**Eldeco housing & industries Ltd.**

- NOTES:
1. Architect shall not be responsible for any deviation at site by the developer.
  2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A. SUBMISSION.
  3. Layout approved vide permit no.2095, dated 16.03.2021.

#### DOOR/WINDOW SCHEDULE :

S.NO.	TYPE	SIZE
1.	D1	780 X 2100
2.	D2	950 X 2100
3.	W1	835 X 1200
4.	W2	765 X 1650
5.	DW1	2280 X 2400
6.	W1	800 X 900
7.	DW2	1870 X 2100
8.	DW3	1285 X 2100

#### AREA STATEMENT :

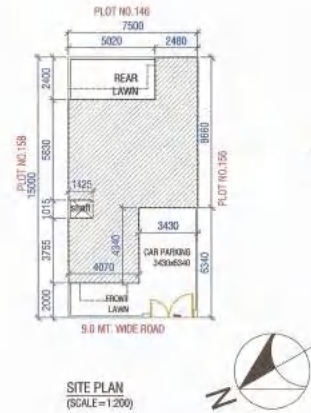
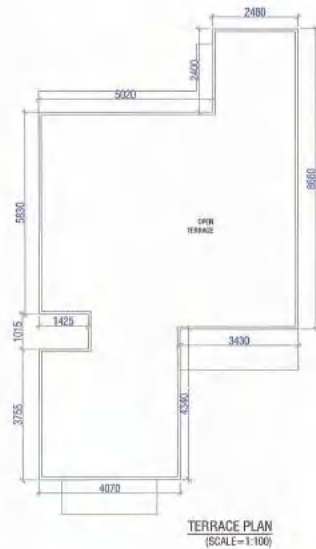
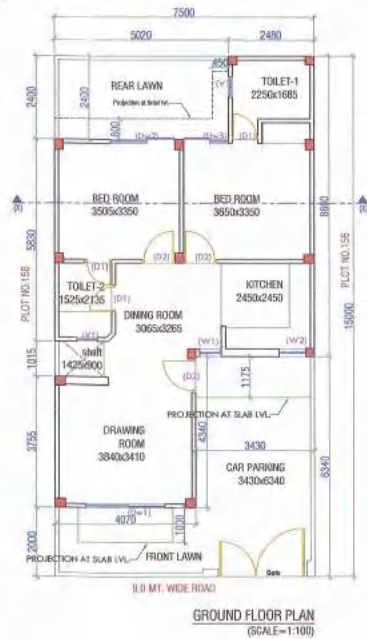
	SQ. MT.
1.) TOTAL PLOT AREA	147.45sq.mt.
2.) COVERED AREA ON GROUND FLOOR	72.51sq.mt.
3.) OPEN AREA	74.94sq.mt.
4.) TOTAL BUILT-UP AREA(2)-FOR F.A.R.	72.51sq.mt.
5.) GROUND COVERAGE ACHIEVED	49.18%
6.) F.A.R. ACHIEVED	0.49

#### DEVELOPER



#### ARCHITECT

**Ar. Sangay Kumar Gupta**  
109/F, Patel Corporate Chamber-1,  
Udhvaji Road, Ganga Nagar,  
Lucknow-226010  
Ph. No. 0522-2222222  
email-[ar.ksk@eldecoproperties.com](mailto:ar.ksk@eldecoproperties.com)  
Reg. No. 01/2019  
109, Corporate  
Udhvaji Road,  
19/10/21



PERIA-AT VILLAGE- JAITHIKHERA,  
SARAJINI NAGAR,  
DEVELOPMENT AUTHORITY AREA, LUCKNOW

eco housing & industries ltd.

- Architect shall not be responsible for any deviation at site by the developer.
- DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A. SUBMISSION.
- Layout approved vide permit no.2095, dated 16.03.2021.

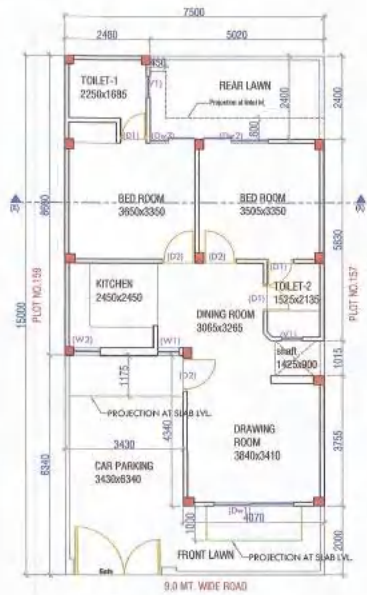
S.NO.	TYPE	SIZE
1.	D1	760 X 2100
2.	D2	950 X 2100
3.	W1	635 X 1200
4.	W2	785 X 1050
5.	DW1	2290 X 2400
6.	V1	600 X 600
7.	DW2	1970 X 2100
8.	DW3	1285 X 2100

AREA STATEMENT	SQ. MT.
1.) TOTAL PLOT AREA	112.50sq.mt.
2.) COVERED AREA ON GROUND FLOOR	72.51sq.mt.
3.) OPEN AREA	39.99sq.mt.
4.) TOTAL BUILT-UP AREA(2)-FOR F.A.R.	72.51sq.mt.
5.) GROUND COVERAGE ACHIEVED	64.45%
6.) F.A.R. ACHIEVED	0.64

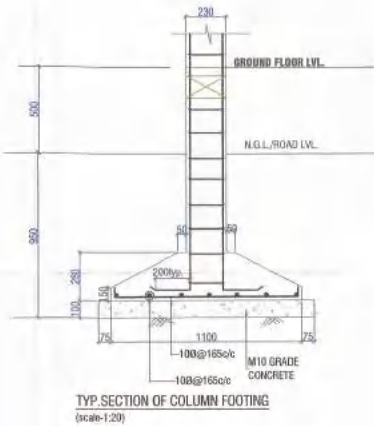


**ARCHITECT**  
Ar. Sanjay Kumar Gupta  
108, Corporate  
Vibhuti Khanna  
Lucknow





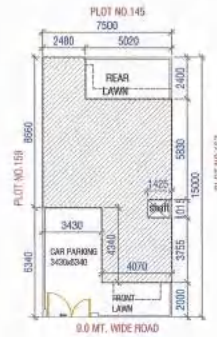
GROUND FLOOR PLAN  
(SCALE=1:100)



TYP. SECTION OF COLUMN FOOTING  
(scale=1:20)



TERRACE PLAN  
(SCALE=1:100)



SITE PLAN  
(SCALE=1:200)



LOCATION PLAN  
(NOT TO SCALE)



FRONT ELEVATION  
(SCALE=1:100)



SECTION X-X  
(SCALE=1:50)

#### SPECIFICATIONS:

- Foundation** - Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
- Superstructure** - Composite structure with brick work & R.C.C. columns as per structural design (earthquake resistant).
- Slab** - R.C.C. slab as per structural design in M-25 grade concrete.
- Joinery** - Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium/UPVC.
- Flooring** - Vitrified tiles/marble/kota/c.e.c.
- Painting** - O.B.D. inside & cement based waterproofing paint outside.
- Plaster** - 12mm plaster in 1:6 c.m.
- Plumbing & sanitary fitting** - All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
- Electrical work** - Conduiting, wiring & M.C.B. with I.S.I. marked material.

HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITHIKHERA,  
PARGANA-BIJNAUR, TEHSIL-SAROJINI NAGAR,  
LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW


PLOT NO. 158

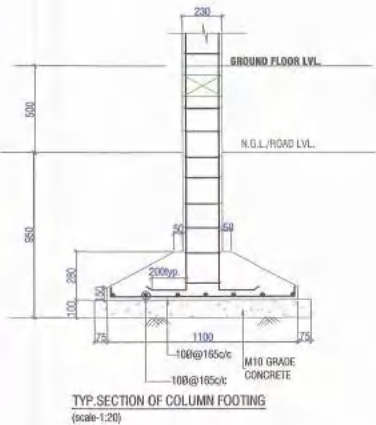
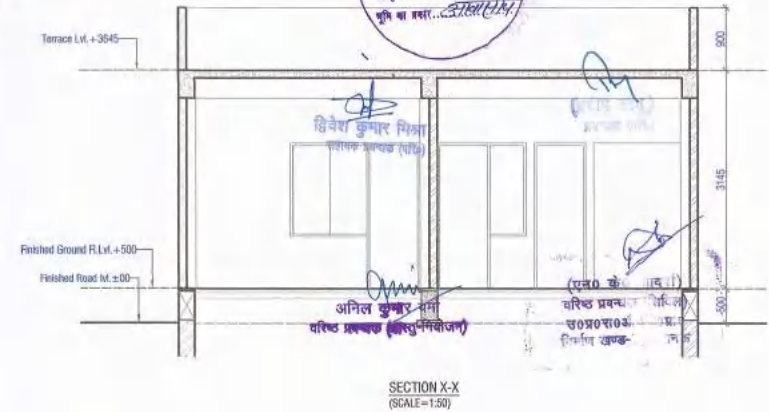
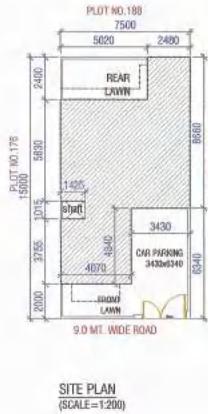
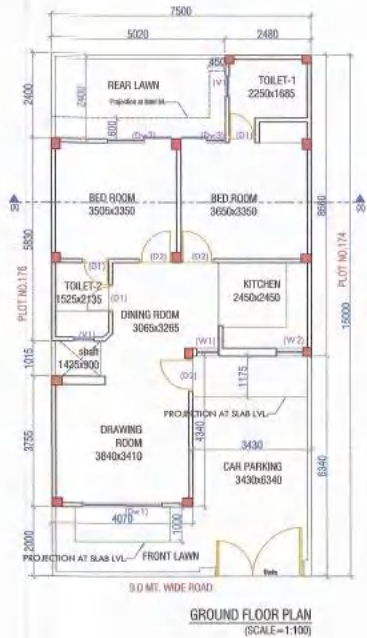
Developer:  
Eldeco housing & industries Ltd.

- NOTES:
1. Architect shall not be responsible for any deviation at site by the developer.
  2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D. SUBMISSION.
  3. Layout approved vide permit no.2096, dated 16.03.2021.

DOOR/WINDOW SCHEDULE		
S.NO.	TYPE	QTY
1	D1	780 X 2100
2	D2	950 X 2100
3	W1	635 X 1200
4	W2	785 X 1050
5	D3	2250 X 2400
6	W1	600 X 600
7	DW2	1870 X 2100
8	DW3	1285 X 2100

AREA STATEMENT :	SQ. MT.
1.) TOTAL PLOT AREA	112.50sq.mt.
2.) COVERED AREA ON GROUND FLOOR	72.51sq.mt.
3.) OPEN AREA	39.99sq.mt.
4.) TOTAL BUILT-UP AREA(2)-FOR F.A.R.	72.51sq.mt.
5.) GROUND COVERAGE ACHIEVED	64.45%
6.) F.A.R. ACHIEVED	0.64

DEVELOPER	ARCHITECT
	



#### SPECIFICATIONS:

<b>Foundation</b>	- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
<b>Superstructure</b>	- Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
<b>Slab</b>	- R.C.C. slab as per structural design in M:25 grade conc.
<b>Joinery</b>	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
<b>Flooring</b>	- Vitrified tiles/marble/kota/c.c.
<b>Painting</b>	- O.B.D. inside & cement based waterproofing paint outside.
<b>Plaster</b>	- 12mm plaster in 1:6 c.m.
<b>Plumbing &amp; sanitary fitting</b>	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
<b>Electrical work</b>	- Conducting, wiring & M.C.B. with I.S.I. marked material.

**HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITHKHERA, PARGANA-BUNAUR, TEHSIL-SAROJINI NAGAR, LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW**

PLOT NO. 175

Developer:  
**Eldeco housing & industries ltd.**

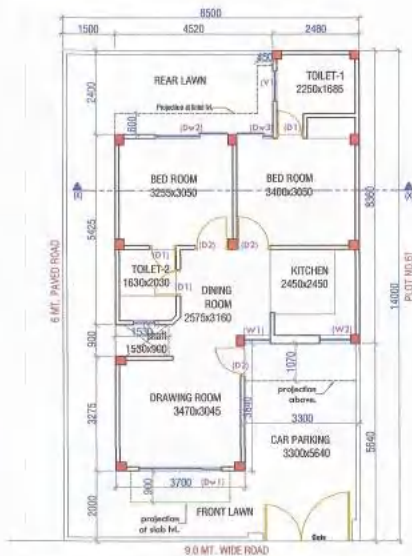
**NOTES:**  
1. Architect shall not be responsible for any deviation at site by the developer.  
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A SUBMISSION.  
3. Layout approved vide permit no.2095, dated 16.03.2021.

S.NO.	TYPE	SIZE
1.	D1	760 X 2100
2.	D2	950 X 2100
3.	W1	635 X 1200
4.	W2	785 X 1050
5.	DW1	2250 X 2400
6.	V1	550 X 600
7.	DW2	1870 X 2100
8.	DW3	1285 X 2100

AREA STATEMENT :	SQ. MT.
1.) TOTAL PLOT AREA	112.50sq.mt.
2.) COVERED AREA ON GROUND FLOOR	72.51sq.mt.
3.) OPEN AREA	39.99sq.mt.
4.) TOTAL BUILT-UP AREA(2)-FOR F.A.R.	72.51sq.mt.
5.) GROUND COVERAGE ACHIEVED	64.45%
6.) F.A.R. ACHIEVED	0.64

DEVELOPER	ARCHITECT
<b>Eldeco housing &amp; industries ltd.</b>	<b>Ar. Sanjay Kumar Gupta</b> VILLAGE P. PARGANA BUNAUR TEHSIL SAROJINI NAGAR LUCKNOW-226012 Ph: 9838000000 or 9838000001 email: sanjaykumar@eldecoproperties.com www.eldecoproperties.com

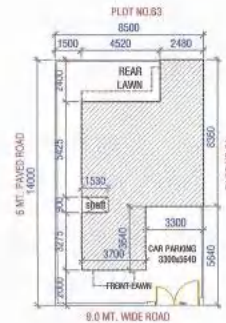




GROUND FLOOR PLAN  
(SCALE=1:100)



TERRACE PLAN  
(SCALE=1:100)



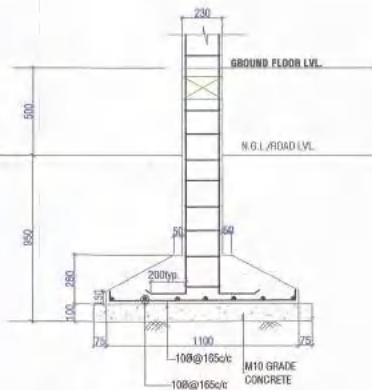
SITE PLAN  
(SCALE=1:200)



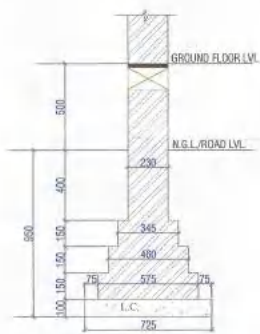
FRONT ELEVATION  
(SCALE=1:100)



SECTION X-X  
(SCALE=1:50)



TYP. SECTION OF COLUMN FOOTING  
(scale=1:20)



TYP. SECTION FOR 230 THK. BRICK WALL  
(scale=1:20)

#### SPECIFICATIONS:

<b>Foundation</b>	- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
<b>Superstructure</b>	- Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
<b>Slab</b>	- R.C.C. slab as per structural design in M-25 grade conc.
<b>Joinery</b>	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
<b>Flooring</b>	- Vitrified tiles/marble/kota/c.c.
<b>Painting</b>	- O.B.D. inside & cement based waterproofing paint outside.
<b>Plaster</b>	- 12mm plaster in 1:6 c.m.
<b>Plumbing &amp; sanitary fitting</b>	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
<b>Electrical work</b>	- Conduiting, wiring & M.C.B. with I.S.I. marked material.

**HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITIKHERA, PARGANA-BIJNAUR, TEHSIL-SARAJINI NAGAR, LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW**

PLOT NO. 62

Developer:

Eldeco housing & industries Ltd.

#### NOTES:

1. Architect shall not be responsible for any deviation at site by the developer.
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.O.A. SUBMISSION.
3. Layout approved vide permit no.2095, dated 16.03.2021.

#### DOOR/WINDOW SCHEDULE:

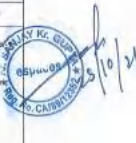
S.NO.	TYPE	SIZE
1.	D1	760 X 2100
2.	D2	850 X 2100
3.	W1	735 X 1200
4.	W2	785 X 1050
5.	DW1	2145 X 2400
6.	V1	600 X 600
7.	DW2	1035 X 2100
8.	DW3	2075 X 2100

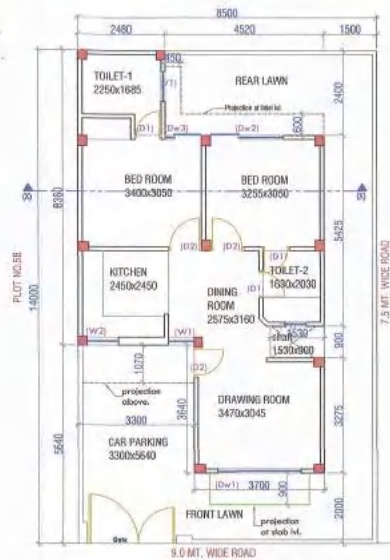
#### AREA STATEMENT:

	SQ. MT.
1.) TOTAL PLOT AREA	119.00sq.mt.
2.) COVERED AREA ON GROUND FLOOR	61.04sq.mt.
3.) OPEN AREA	57.96sq.mt.
4.) TOTAL BUILT-UP AREA(2)-FOR F.A.R.	61.04sq.mt.
5.) GROUND COVERAGE ACHIEVED	51.29%
6.) F.A.R. ACHIEVED	0.513

#### DEVELOPER

#### ARCHITECT





GROUND FLOOR PLAN  
(SCALE=1:100)



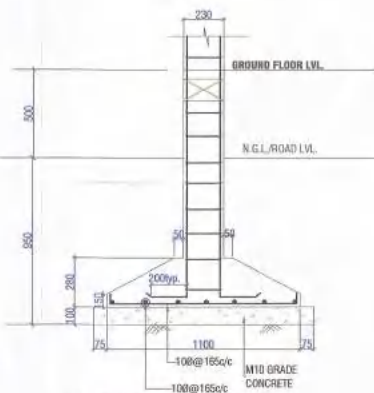
TERRACE PLAN  
(SCALE=1:100)



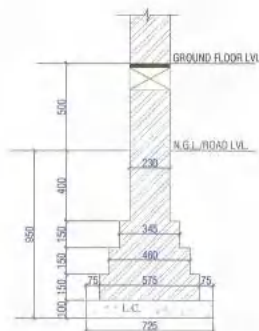
SITE PLAN  
(SCALE=1:200)



FRONT ELEVATION  
(SCALE=1:100)



TYP. SECTION OF COLUMN FOOTING  
(Scale=1:20)



TYP. SECTION FOR 230 THK. BRICK WALL  
(Scale=1:20)

#### SPECIFICATIONS:

<b>Foundation</b>	- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
<b>Superstructure</b>	- Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
<b>Slab</b>	- R.C.C. slab as per structural design in M-25 grade conc.
<b>Joinery</b>	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
<b>Flooring</b>	- Vitrified tiles/marble/kota/c.c.
<b>Painting</b>	- O.B.D. inside & cement based waterproofing paint outside.
<b>Plaster</b>	- 12mm plaster in 1:6 c.m.
<b>Plumbing &amp; sanitary fitting</b>	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
<b>Electrical work</b>	- Conducting, wiring & M.C.B. with I.S.I. marked material.



LOCATION PLAN  
(NOT TO SCALE)



SECTION X-X  
(SCALE=1:50)

अनिल कुमार वर्मा  
परिचय प्रमाणिका (विशेष-विशेष)

अनिल कुमार वर्मा  
परिचय प्रमाणिका (विशेष-विशेष)

HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITHKHERA,  
PARGANA-BIJNAUR, TEHSIL-SAROJINI NAGAR,  
LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW

PLOT NO. 57

Developer:  
Eldeco housing & Industries Ltd.

#### NOTES:

1. Architect shall not be responsible for any deviation at site by the developer.
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A. SUBMISSION.
3. Layout approved vide permit no.2095, dated 16.03.2021.

#### DOOR/WINDOW SCHEDULE:

S.NO.	TYPE	SIZE
1	D1	760 X 2100
2	D2	850 X 2100
3	W1	735 X 1200
4	W2	785 X 1050
5	W3	2145 X 2400
6	W4	600 X 600
7	W5	1035 X 2100
8	W6	2075 X 2100

#### AREA STATEMENT:

	SQ. MT.
1.) TOTAL PLOT AREA	119.00sq.mt.
2.) COVERED AREA ON GROUND FLOOR	61.04sq.mt.
3.) OPEN AREA	57.96sq.mt.
4.) TOTAL BUILT-UP AREA(2)-FOR F.A.R.	61.04sq.mt.
5.) GROUND COVERAGE ACHIEVED	51.29%
6.) F.A.R. ACHIEVED	0.513

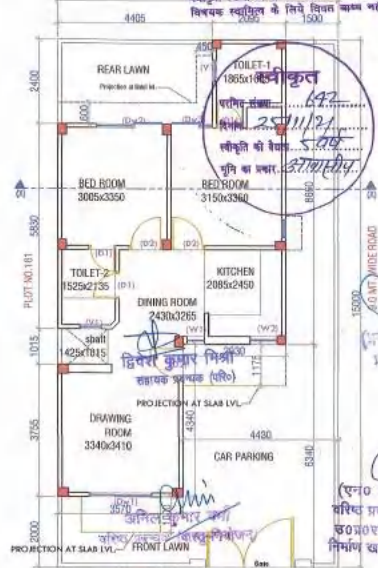
#### DEVELOPER

#### ARCHITECT

Ar. Sanjay Kumar Gupta  
100% P. Floor Corporate Chamber  
Uttam Khanna Court Nagar,  
Lucknow-220010  
Ph.No-4265935/4151112  
E-mail-sanjaygupta@rediffmail.com



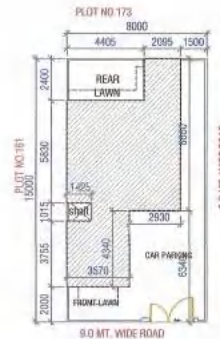
मानक इतर प्रदेत औद्योगिक क्षेत्र विकास अधिनियम 1976 की धारा 19 के अंतर्गत इस प्रतिबंधित स्थिति में विकसित किया जाता है कि विकास अधिकारण भूमि विषयक स्थिति के तहत विवाद नहीं है।



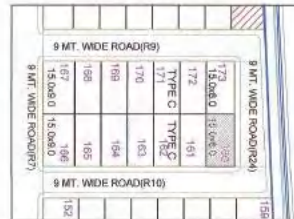
GROUND FLOOR PLAN  
(SCALE=1:100)



TERRACE PLAN  
(SCALE=1:100)



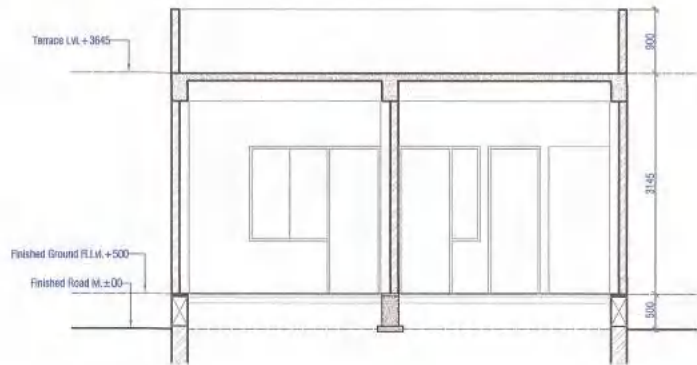
SITE PLAN  
(SCALE=1:200)



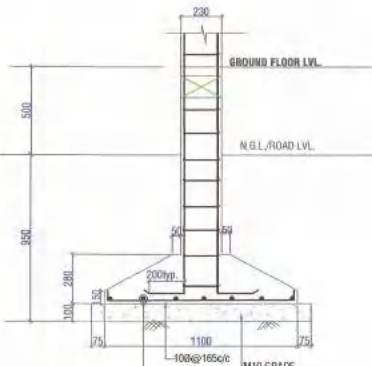
LOCATION PLAN  
(NOT TO SCALE)



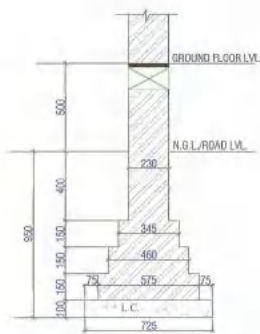
FRONT ELEVATION  
(SCALE=1:100)



SECTION X-X  
(SCALE=1:50)



TYP. SECTION OF COLUMN FOOTING  
(Scale=1:20)



TYP. SECTION FOR 230 THK. BRICK WALL  
(Scale=1:20)

#### SPECIFICATIONS:

- Foundation** - Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
- Superstructure** - Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
- Slab** - R.C.C. slab as per structural design in M:25 grade conc.
- Joinery** - Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
- Flooring** - Vitrified tiles/marble/kota/c.c.
- Painting** - O.B.D. inside & cement based waterproofing paint outside.
- Plaster** - 12mm plaster in 1:6 c.m.
- Plumbing & sanitary fitting** - All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
- Electrical work** - Conducting, wiring & M.C.B. with I.S.I. marked material.

HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITIKHERA, PARGANA-BIJNAUR, TEHSIL-SAROJINI NAGAR, LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW

PLOT NO. 160

Developer:

Eldeco housing & industries Ltd.

NOTES:

1. Architect shall not be responsible for any deviation at site by the developer.
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A. SUBMISSION.
3. Layout approved vide permit no 2085, dated 16.03.2021.

#### DOOR/ WINDOW SCHEDULE :

S.NO	TYPE	SIZE
1.	D1	760 X 2100
2.	D2	860 X 2100
3.	W1	935 X 1200
4.	W2	785 X 1050
5.	DW1	2290 X 2400
6.	V1	600 X 600
7.	DW2	1870 X 2100
8.	DW3	1170 X 2100

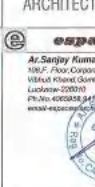
#### AREA STATEMENT :

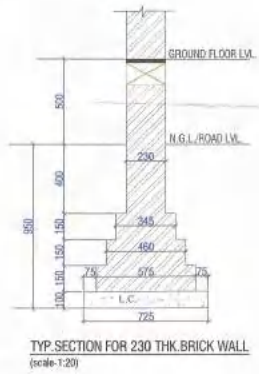
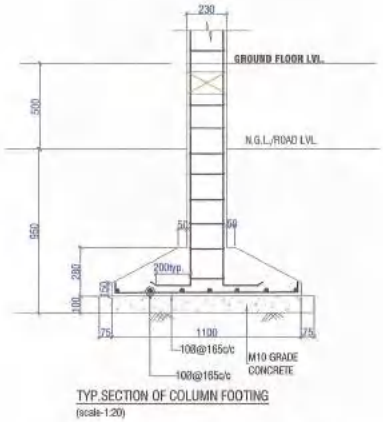
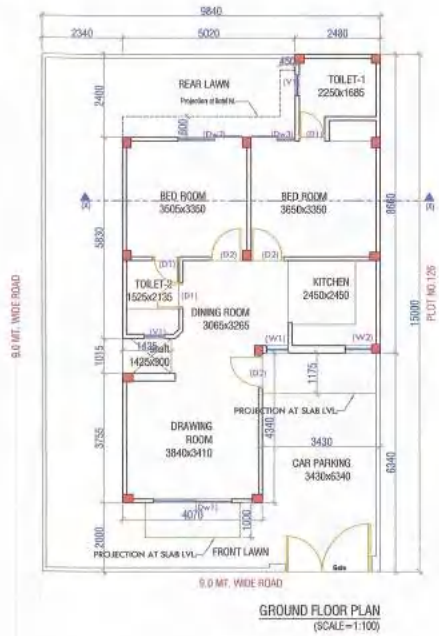
	SQ. MT.
1.) TOTAL PLOT AREA	120.00sq.mt.
2.) COVERED AREA ON GROUND FLOOR	62.62sq.mt.
3.) OPEN AREA	57.38sq.mt.
4.) TOTAL BUILT-UP AREA(2)-FOR F.A.R.	62.62sq.mt.
5.) GROUND COVERAGE ACHIEVED	52.18%
6.) F.A.R. ACHIEVED	0.52

#### DEVELOPER



#### ARCHITECT





LOCATION PLAN  
(NOT TO SCALE)



**SPECIFICATIONS:**

- Foundation** - Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
- Superstructure** - Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
- Slab** - R.C.C. slab as per structural design in M-25 grade conc.
- Joinery** - Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
- Flooring** - Vitrified tiles/marble/kota/c.c.
- Painting** - O.B.D. inside & cement based waterproofing paint outside.
- Plaster** - 12mm plaster in 1:6 c.m.
- Plumbing & sanitary fitting** - All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
- Electrical work** - Conducting, wiring & M.C.B. with I.S.I. marked material.

**HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITHKHERA, PARGANA-BIJNAUR, TENSIL-SAROJINI NAGAR, LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW**

PLOT NO. 127

Developer: **Eldeco housing & industries ltd.**

NOTES:

1. Architect shall not be responsible for any deviation at site by the developer.
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A. SUBMISSION.
3. Layout approved vide permit no.2095, dated 16.03.2021.

DOOR/WINDOW SCHEDULE:			
S.NO.	TYPE	SIZE	
1.	D1	760 X 2100	
2.	D2	850 X 2100	
3.	W1	635 X 1930	
4.	W2	725 X 1050	
5.	W3	2250 X 2400	
6.	V1	600 X 600	
7.	W4	1870 X 2100	
8.	W5	725 X 2100	

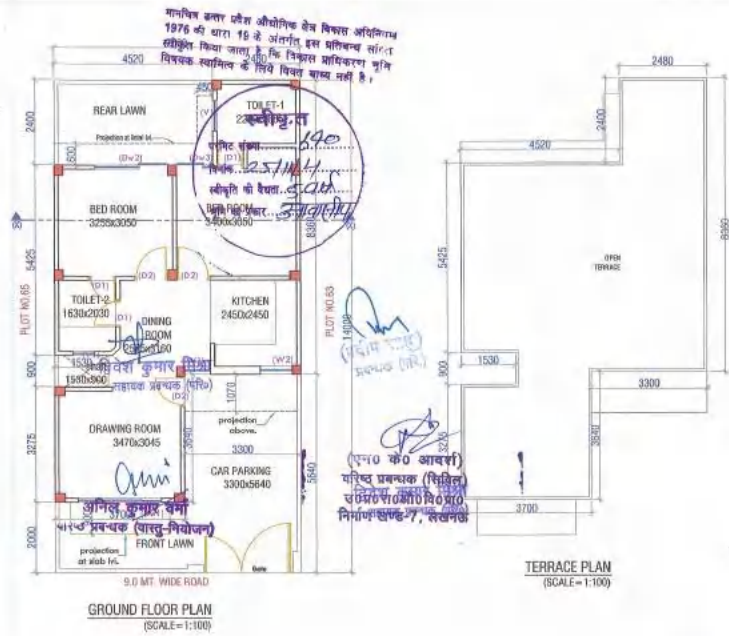
AREA STATEMENT:		SQ. MT.
1.) TOTAL PLOT AREA		147.60sq.mt.
2.) COVERED AREA ON GROUND FLOOR		72.51sq.mt.
3.) OPEN AREA		75.09sq.mt.
4.) TOTAL BUILT-UP AREA(2)-FOR F.A.R.		72.51sq.mt.
5.) GROUND COVERAGE ACHIEVED		49.13%
6.) F.A.R. ACHIEVED		0.49

**DEVELOPER**

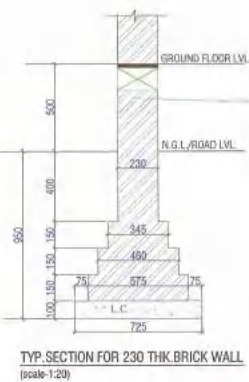
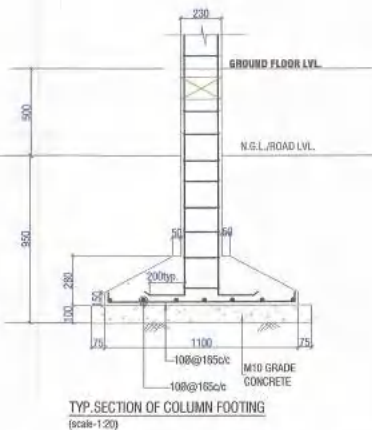
**ARCHITECT**

**Ar. Sanjay Kumar Gupta**  
 (S&P) Floor Corporate Office  
 House No. 10, K. V. N. Road  
 Lucknow-226001, U.P. CA/BS/12382  
 Ph. No. 4200000000, 4200000000  
 Email: sanjaykumar@eldecosolutions.com  
 Lucknow-226010





**TERRACE PLAN**  
(SCALE=1:100)



**SPECIFICATIONS:**

- Foundation** - Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
- Superstructure** - Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
- Slab** - R.C.C. slab as per structural design in M:25 grade conc.
- Joinery** - Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium / UPVC.
- Flooring** - Vitrified tiles/marble/kota/c.c.
- Painting** - O.B.D. inside & cement based waterproofing paint outside.
- Plaster** - 12mm plaster in 1:6 c.m.
- Plumbing & sanitary fitting** - All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
- Electrical work** - Conduiting, wiring & M.C.B. with I.S.I. marked material.

**HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITHKHERA, PARGANA-BIJNAUR, TEHSIL-SAROJINI NAGAR, LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW**

PLOT NO. 64

Developer:  
**Eldeco housing & industries Ltd.**

NOTES:  
1. Architect shall not be responsible for any deviation at site by the developer.  
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A. SUBMISSION.  
3. Layout approved vide permit no.2095, dated 16.03.2021.

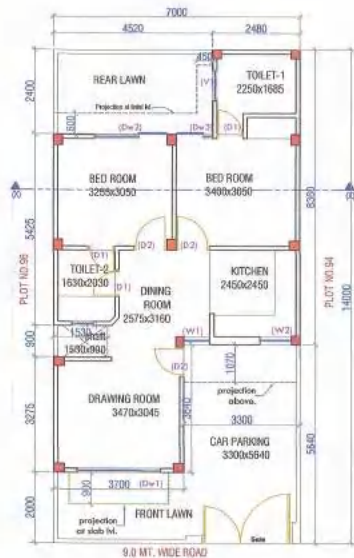
DOOR/ WINDOW SCHEDULE :		
S.NO	TYPE	SIZE
1	D1	750 X 2100
2	D2	950 X 2100
3	W1	785 X 1200
4	W2	785 X 1050
5	DW1	2145 X 2400
6	V1	850 X 600
7	DW2	1035 X 2100
8	DW3	2025 X 2100

AREA STATEMENT :	SQ. MT.
1.) TOTAL PLOT AREA	98.00sq.mt.
2.) COVERED AREA ON GROUND FLOOR	61.04sq.mt.
3.) OPEN AREA	36.96sq.mt.
4.) TOTAL BUILT-UP AREA(2)-FOR F.A.R.	61.04sq.mt.
5.) GROUND COVERAGE ACHIEVED	62.29%
6.) F.A.R. ACHIEVED	0.623

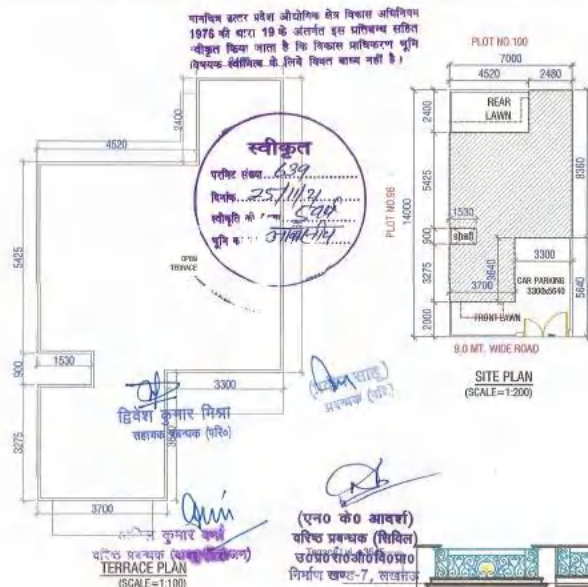
DEVELOPER

ARCHITECT

**Ar. Sanjay Kumar Gupta**  
606/F, Floor Corporate Chambers,  
Vishnu Khanna Centre, Sector 17,  
Lucknow-226010  
Ph No. 4282008, 20151110201  
email: arsanjaygupta@gmail.com



GROUND FLOOR PLAN  
(SCALE=1:100)



SITE PLAN  
(SCALE=1:200)

TERRACE PLAN  
(SCALE=1:100)



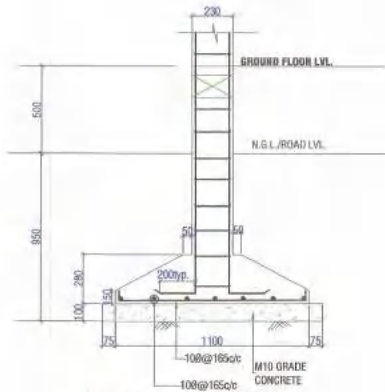
FRONT ELEVATION  
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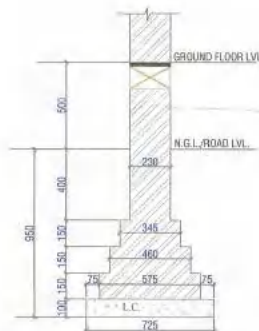
LOCATION PLAN  
(NOT TO SCALE)



SECTION X-X  
(SCALE=1:50)



TYP. SECTION OF COLUMN FOOTING  
(scale=1:20)



TYP. SECTION FOR 230 THK. BRICK WALL  
(scale=1:20)

#### SPECIFICATIONS:

<b>Foundation</b>	- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
<b>Superstructure</b>	- Composite structure with brick work & R.C.C. columns as per structural design.(earthquake resistant)
<b>Slab</b>	- R.C.C. slab as per structural design in M:25 grade conc.
<b>Joinery</b>	- Door frames in sal wood with 32mm commercial board shutters. Windows in aluminium /UPVC.
<b>Flooring</b>	- Vitrified tiles/marble/kota/c.c.
<b>Painting</b>	- O.B.D. inside & cement based waterproofing paint outside.
<b>Plaster</b>	- 12mm plaster in 1:6 c.m.
<b>Plumbing &amp; Sanitary fitting</b>	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
<b>Electrical work</b>	- Conducting, wiring & M.C.B. with I.S.I. marked material.

**HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITIKHERA, PARGANA-BIJNAUR, TEHSIL-SAROJINI NAGAR, LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW**

PLOT NO. 95

Developer:  
**Eldeco housing & industries ltd.**

NOTES:  
1. Architect shall not be responsible for any deviation at site by the developer.  
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A SUBMISSION.  
3. Layout approved vide permit no.2095, dated 16.03.2021.

#### DOOR/ WINDOW SCHEDULE :

S.NO.	TYPE	SIZE
1.	D1	780 X 2100
2.	D2	950 X 2100
3.	W1	735 X 1200
4.	W2	765 X 1050
5.	DW1	2145 X 2400
6.	V1	600 X 600
7.	DW2	1635 X 2100
8.	DW3	2075 X 2100

#### AREA STATEMENT :

	SQ. MT.
1.) TOTAL PLOT AREA	98.00sq.mt.
2.) COVERED AREA ON GROUND FLOOR	61.04sq.mt.
3.) OPEN AREA	36.96sq.mt.
4.) TOTAL BUILT-UP AREA(2)-FOR F.A.R.	61.04sq.mt.
5.) GROUND COVERAGE ACHIEVED	62.29%
6.) F.A.R. ACHIEVED	0.623

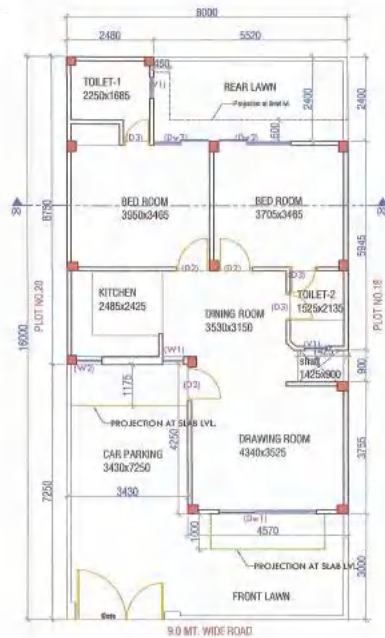
#### DEVELOPER



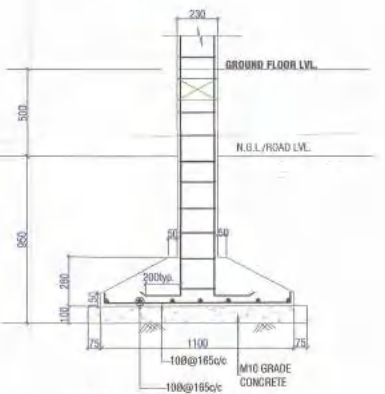
#### ARCHITECT







GROUND FLOOR PLAN  
(SCALE=1:100)



TYP. SECTION OF COLUMN FOOTING  
(Scale=1:20)



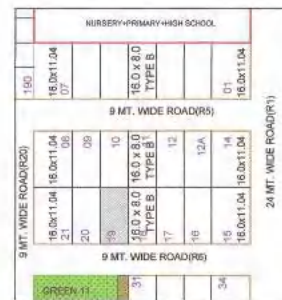
TERRACE PLAN  
(SCALE=1:100)



TYP. SECTION FOR 230 THK. BRICK WALL  
(Scale=1:20)



SITE PLAN  
(SCALE=1:200)



LOCATION PLAN  
(NOT TO SCALE)

#### SPECIFICATIONS:

<b>Foundation</b>	- Stepped brick footing in 1:8 c.m. as per structural design with c.c. columns as per design.
<b>Superstructure</b>	- Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
<b>Slab</b>	- R.C.C. slab as per structural design in M35 grade conc.
<b>Joinery</b>	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium / UPVC.
<b>Flooring</b>	- Vitrified tiles/marble/kota/c.c.
<b>Painting</b>	- O.B.D. inside & cement based waterproofing paint outside.
<b>Plaster</b>	- 12mm plaster in 1:8 c.m.
<b>Plumbing &amp; sanitary fitting</b>	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
<b>Electrical work</b>	- Conducting, wiring & M.C.B. with I.S.I. marked material.



FRONT ELEVATION  
(SCALE=1:100)



SECTION X-X  
(SCALE=1:50)

**HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITIKHERA, PARGANA-BUNAU, TEHSIL-SAROJINI NAGAR, LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW**

PLOT NO. 19

Developer:  
**Eldeco housing & industries Ltd.**

- NOTES:
1. Architect shall not be responsible for any deviation at site by the developer.
  2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A. SUBMISSION.
  3. Layout approved vide permit no 2095, dated 16.03.2021.

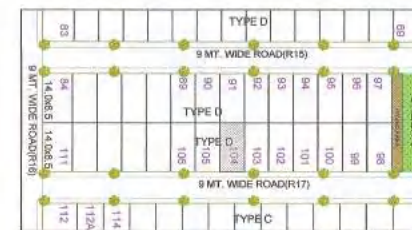
S.NO.	TYPE	SIZE
1.	G2	950 X 2100
2.	W1	750 X 2100
3.	W2	600 X 1200
4.	W3	740 X 1050
5.	W4	2750 X 2400
6.	W5	500 X 500
7.	W6	2070 X 2100
8.	W7	1585 X 2100

AREA STATEMENT :	SQ. MT.
1.) TOTAL PLOT AREA	128.00sq.mt.
2.) COVERED AREA ON GROUND FLOOR	78.53sq.mt.
3.) OPEN AREA	49.47sq.mt.
4.) TOTAL BUILT-UP AREA(2)-FOR F.A.R.	78.53sq.mt.
5.) GROUND COVERAGE ACHIEVED	61.35%
6.) F.A.R. ACHIEVED	0.614

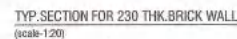
DEVELOPER	ARCHITECT







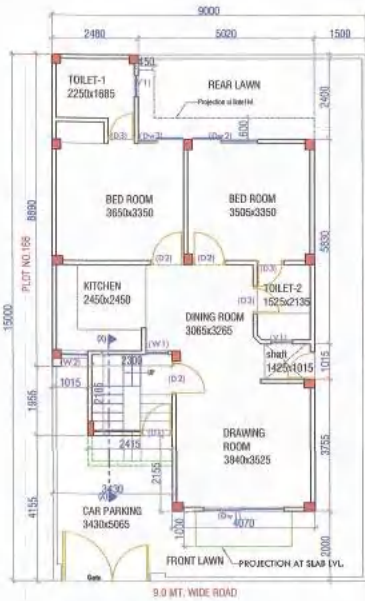


LOCATION PLAN  
(NOT TO SCALE)

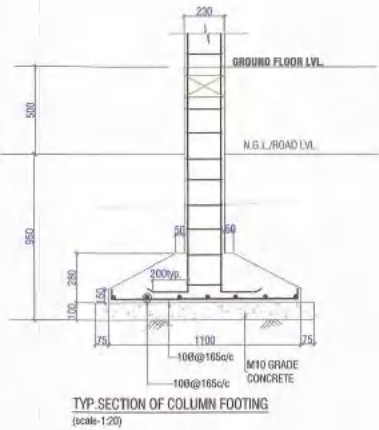


<b>Foundation</b>	- Lapped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
<b>Superstructure</b>	- Composite structure with brick work & R.C.C. columns as per structural design.(earthquake resistant)
<b>Slab</b>	- R.C.C. slab as per structural design in M:28 grade conc.
<b>Joinery</b>	- Door frames in sal wood with 32mm commercial board shutter, Windows in aluminium /UPVC.
<b>Flooring</b>	- Vitrified tiles/marble/kota/c.c.
<b>Painting</b>	- O.B.D. inside & cement based waterproofing paint outside.
<b>Plaster</b>	- 12mm plaster in 1:6 c.m.
<b>Plumbing &amp; sanitary fitting</b>	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
<b>Electrical work</b>	- Conducting, wiring & M.C.B. with I.S.I. marked material.

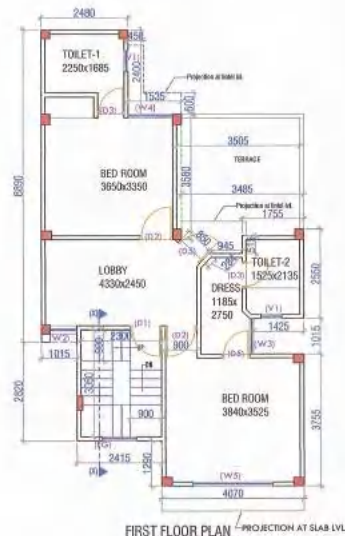
DEVELOPER	ARCHITECT
	 <b>eSolutions</b> <b>Ar.Sanjay Kumar Gupta</b> 105/F, Phase, Corporate Park, Sector-13 Vikas Khari, Gurgaon, India Location-222010 Ph.No. +912225814141 email-esolutions.architect@gmail.com



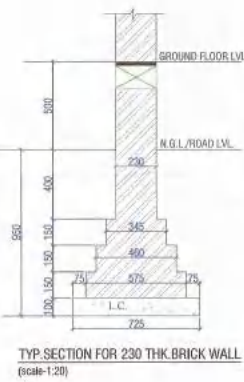
GROUND FLOOR PLAN  
(SCALE=1:100)



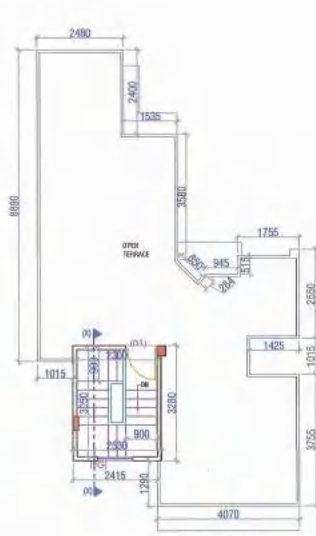
TYP. SECTION OF COLUMN FOOTING  
(Scale=1:20)



FIRST FLOOR PLAN  
(SCALE=1:100)



TYP. SECTION FOR 230 THK. BRICK WALL  
(Scale=1:20)

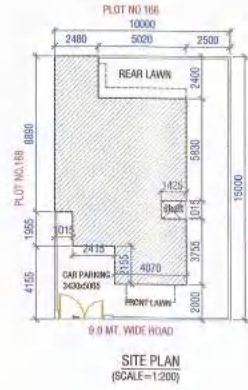


TERRACE PLAN  
(SCALE=1:100)



LOCATION PLAN  
(NOT TO SCALE)

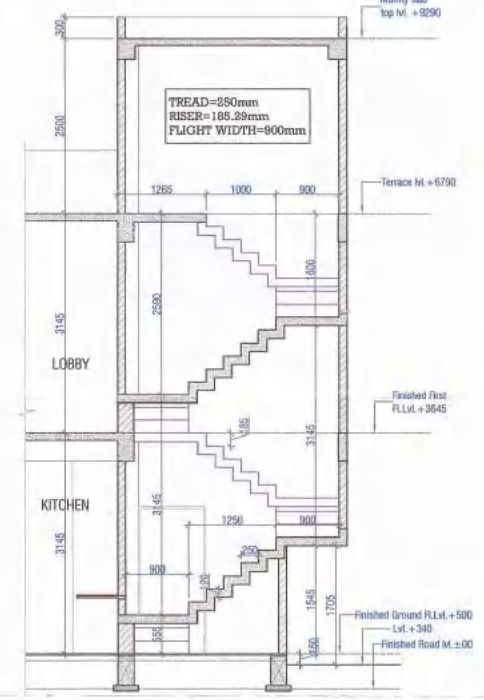
SPECIFICATIONS:	
Foundation	- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
Superstructure	- Composite structure with brick work & R.C.C. columns as per structural design.(earthquake resistant)
Slab	- R.C.C. slab as per structural design in M:28 grade conc.
Joinery	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
Flooring	- Vitrified tiles/marble/kota/c.c.
Painting	- O.B.D. inside & cement based waterproofing paint outside.
Plaster	- 12mm plaster in 1:6 c.m.
Plumbing & sanitary fitting	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
Electrical work	- Conduiting,wiring & M.C.B. with I.S.I. marked material.



SITE PLAN  
(SCALE=1:200)



FRONT ELEVATION  
(SCALE=1:100)



SECTION X-X  
(SCALE=1:50)

**HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITIKHERA, PARGANA-BIJNAUR, TEHSIL-SAROJINI NAGAR, LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW**

PLOT NO. 167

Developer:  
**Eldeco housing & industries ltd.**

NOTES:  
1. Architect shall not be responsible for any deviation at site by the developer.  
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A.SUBMISSION.  
3. Layout approved vide permit no.2095, dated 16.03.2021.

DOOR/WINDOW SCHEDULE :		
S.NO.	TYPE	SIZE
1.	D1	900 X 2100
2.	D2	900 X 2100
3.	D3	700 X 2100
4.	W1	635 X 1200
5.	W2	785 X 1050
6.	W3	1015 X 1200
7.	DW1	2250 X 2400
8.	W4	600 X 600
9.	W4	1285 X 1200
10.	W5	2250 X 1200
11.	DW2	1870 X 2100
12.	DW2	1285 X 2100

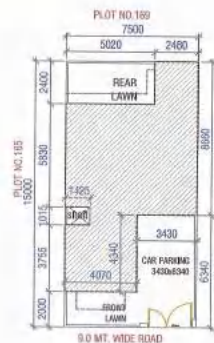
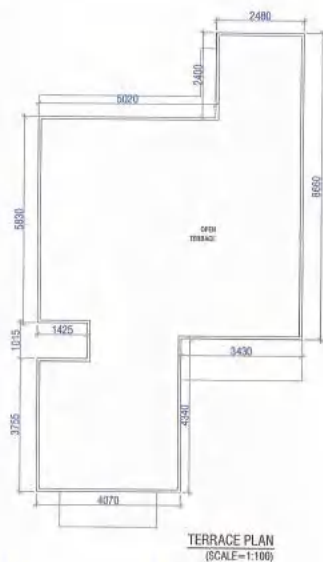
AREA STATEMENT :	SQ. MT.	AREA STATEMENT :	SQ. MT.
1.) TOTAL PLOT AREA	135.00sq.mt.	7.) GROUND COVERAGE ACHIEVED	56.30%
2.) COVERED AREA ON GROUND FLOOR	76.01sq.mt.	8.) F.A.R. ACHIEVED	1.11
3.) COVERED AREA ON FIRST FLOOR	65.29sq.mt.		
4.) OPEN AREA	58.99sq.mt.		
5.) MUMTY AREA	8.30sq.mt.		
6.) TOTAL BUILT-UP AREA(2+3+5)-FOR F.A.R.	149.60sq.mt.		

DEVELOPER

ARCHITECT

**Ar. Sanjay Kumar Gupta**  
105 F. Floor, Corporate Chamber-1,  
Janki Industrial Estate, Sector-1,  
Lucknow-226019  
Ph No. 9805050419/9805050420  
email: sanjaykumar.gupta@gmail.com





FRONT ELEVATION  
(SCALE=1:100)

मन्त्रिष्व कतर प्रदेत जीयोगिक सेन विकास सम्बन्धित  
1976 की धारा 19 के अंतर्गत इस प्रविक्त्यन्त सति  
स्वीकृत किया जाता है कि विकास प्राधिकरण नृमि  
विषयक स्वामित्व के लिखे विषय प्राथम्य प्राप्त है ?

स्वीकृत

परामिट संख्या..... 634

दिनांक. 25/11/21

स्वीकृति को देयता... 500

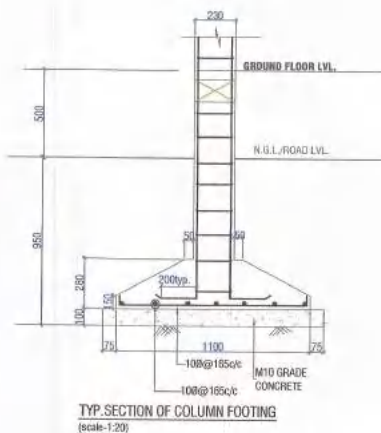
भूमि का प्रकार: आवासीय

1870

**SITE PLAN**  
(SCALE=1:200)



LOCATION PLAN  
(NOT TO SCALE)



1

GROUND FLOOR LVL

230

N.G.L./ROAD LVL.

230

230

230

230

L.C. 150

725

725

900

500

400

150

100

75

75

TYP. SECTION FOR 230 THK. BRICK WALL  
(scale 1:20)

**SPECIFICATIONS:**

## Foundation

- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.

### Superstructure

- Composite structure with brick work & R.C.C. columns as per structural design.(earthquake resistant)

Slab

- R.C.C. slab as per structural design in M:25 grade conc.

## Joinery

- Door frames in sal wood with 32mm commercial board shutter.  
Windows in aluminium /UPVC.

### Flooring

- Vitrified tiles/marble/kota/c.c.

### Painting

-O.B.D. inside & cement based waterproofing paint outside.

Plaster

-12mm plaster in 1:6 c.m.

Plumbing &amp; sanitary fitting

- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.

### Electrical work

\* Conduiting, wiring & M.C.B. with I.S.I. marked material

PLOT NO. 164

Developer:

*Eldeco housing & industries ltd.*

NOTES:

1. Architect shall not be responsible for any deviation at site by the developer.

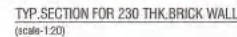
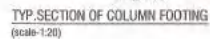
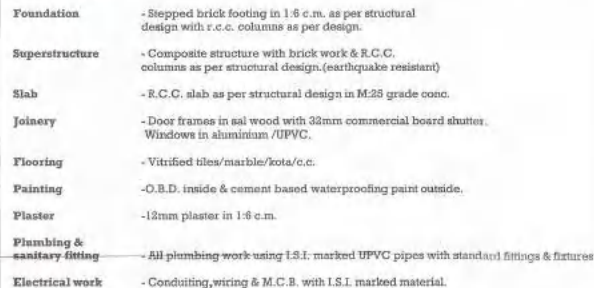
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D. A SUBMISSION

3. Layout approved wide permit no.2095, dated 16.03.2021

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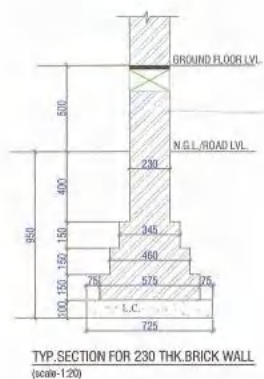
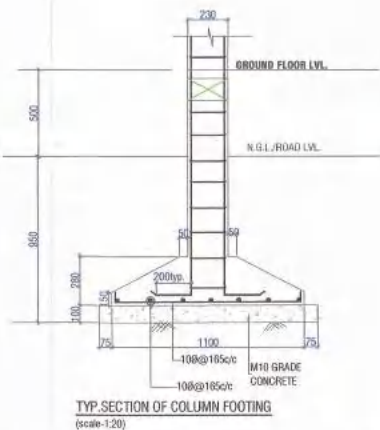
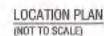
AREA STATEMENT :	SQ. MT.
1.) TOTAL PLOT AREA	112.50sq.mt.
2.) COVERED AREA ON GROUND FLOOR	72.51sq.mt.
3.) OPEN AREA	39.99sq.mt.
4.) TOTAL BUILT-UP AREA(2)-FOR F.A.R.	72.51sq. mt.
5.) GROUND COVERAGE ACHIEVED	64.45%
6.) F.A.R. ACHIEVED	0.64

DEVELOPER	ARCHITECT
	



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DEVELOPER	ARCHITECT
	 <p> <b>enpaces</b>  <b>Dr. Sanjay Kumar Gupta</b>              108/F, Phase, Corporate Chawls,              Mahesh Khind Goshik Nagar,              Lucknow-226015              Ph. No. +915225915412+91522              email-enpaces@enpaces.com           </p>

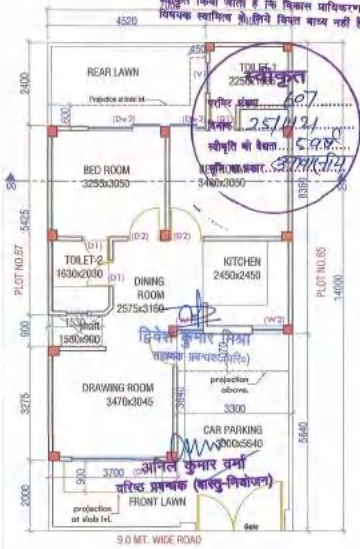




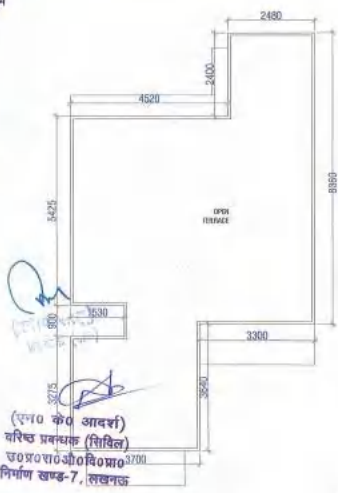
<b>Foundation</b>	- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
<b>Superstructure</b>	- Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
<b>Slab</b>	- R.C.C. slab as per structural design in M-28 grade conc.
<b>Joinery</b>	- Door frames in sal wood with 32mm commercial board shutter, Windows in aluminium /UPVC.
<b>Flooring</b>	- Vitrified tile/marble/kota/c.c.
<b>Painting</b>	- O.B.D. inside & cement based waterproofing paint outside.
<b>Plaster</b>	- 12mm plaster in 1:6 c.m.
<b>Plumbing &amp; sanitary fitting</b>	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
<b>Electrical work</b>	- Conduiting, wiring & M.C.B. with I.S.I. marked material.

DEVELOPER	ARCHITECT
	 <p><b>Dr. Sanjay Kumar Gupta</b>          108-A, Phase-1, Chhatrapati Shivaji Maharaj Kirti, Gopal Nagar,          Lucknow-226010          Ph. No. 0522-2412511/2412511          Email: sanjay.arch@satnet.com</p>

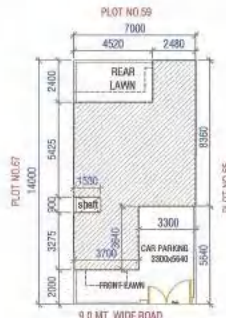
भारतीय अंतर प्रदेश औद्योगिक क्षेत्र विकास आयोग  
1978 की धारा 10 के अंतर्गत इस प्रतिबंधित तहसील  
में निर्माण किया जाता है कि विकास अधिकरण भूमि  
विषयक स्थानिक नियंत्रण विधायक कार्य नहीं है।



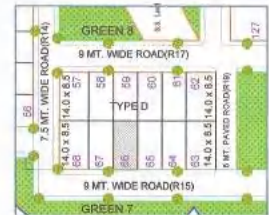
GROUND FLOOR PLAN  
(SCALE=1:100)



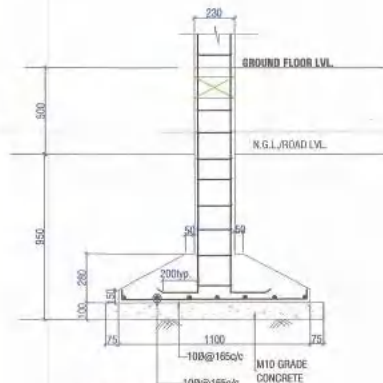
TERRACE PLAN  
(SCALE=1:100)



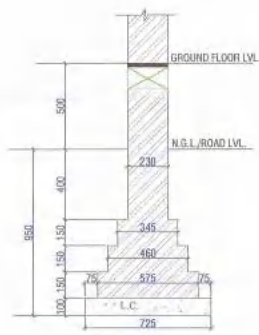
SITE PLAN  
(SCALE=1:200)



LOCATION PLAN  
(NOT TO SCALE)



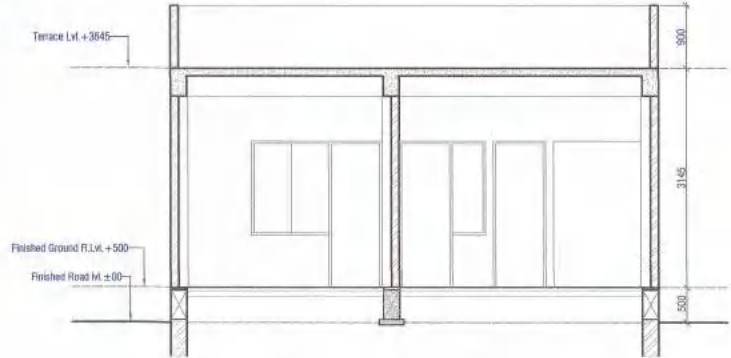
TYP. SECTION OF COLUMN FOOTING  
(Scale=1:20)



TYP. SECTION FOR 230 THK. BRICK WALL  
(Scale=1:20)



FRONT ELEVATION  
(SCALE=1:100)



SECTION X-X  
(SCALE=1:50)

#### SPECIFICATIONS:

- Foundation** - Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
- Superstructure** - Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
- Slab** - R.C.C. slab as per structural design in M:25 grade conc.
- Joinery** - Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
- Flooring** - Vitrified tiles/marble/kota/c.c.
- Painting** - O.B.D. inside & cement based waterproofing paint outside.
- Plaster** - 12mm plaster in 1:6 c.m.
- Plumbing & sanitary fitting** - All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
- Electrical work** - Conduiting, wiring & M.C.B. with I.S.I. marked material.

**HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITIKHERA, PARGANA-BUNAUR, TENSIL-SAROJINI NAGAR, LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW**

PLOT NO. 66  
Developer:  
**Eldeco housing & industries Ltd.**

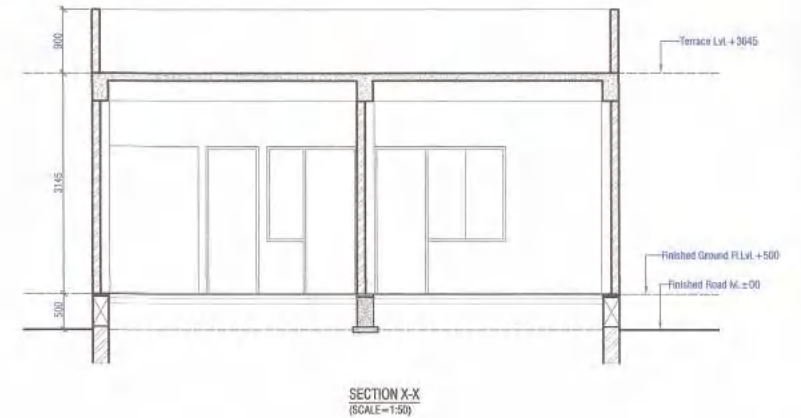
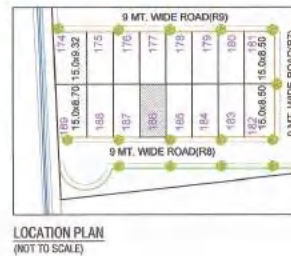
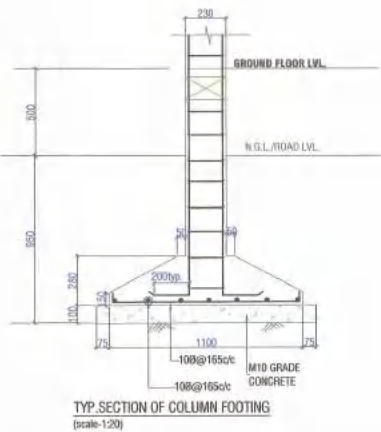
**NOTES:**  
1. Architect shall not be responsible for any deviation at site by the developer.  
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A. SUBMISSION.  
3. Layout approved vide permit no.2095, dated 10.03.2021.

DOOR/ WINDOW SCHEDULE :		
S.NO.	TYPE	SIZE
1.	D1	765 X 2100
2.	W1	950 X 2100
3.	W2	735 X 1200
4.	W3	765 X 1050
5.	DW1	2145 X 2400
6.	W4	600 X 600
7.	DW2	1035 X 2100
8.	DW3	2075 X 2100

AREA STATEMENT :		SQ. MT.
1.)	TOTAL PLOT AREA	98.00sq.mt.
2.)	COVERED AREA ON GROUND FLOOR	61.04sq.mt.
3.)	OPEN AREA	36.96sq.mt.
4.)	TOTAL BUILT-UP AREA(2)-FOR F.A.R.	61.04sq.mt.
5.)	GROUND COVERAGE ACHIEVED	62.29%
6.)	F.A.R. ACHIEVED	0.623

DEVELOPER	ARCHITECT
 <b>Eldeco Housing &amp; Industries Ltd.</b>	 <b>Ar. Sanjay Kumar Gupta</b> 108/2, Panch Corporate Office, Vikas Road, Gomti Nagar, Lucknow-226015 Ph.No-4260054 (0522) 4260054 email-espacesarch@gmail.com





#### SPECIFICATIONS:

<b>Foundation</b>	- Stopped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
<b>Superstructure</b>	- Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
<b>Slab</b>	- R.C.C. slab as per structural design in M:25 grade conc.
<b>Joinery</b>	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
<b>Flooring</b>	- Vitrified tiles/marble/kota/c.c.
<b>Painting</b>	- O.B.D. inside & cement based waterproofing paint outside.
<b>Plaster</b>	- 12mm plaster in 1:6 c.m.
<b>Plumbing &amp; sanitary fitting</b>	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
<b>Electrical work</b>	- Conducting, wiring & M.C.B. with I.S.I. marked material.

**HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITIKHERA, PARGANA-BIJNAUR, TEHSIL-SAROJINI NAGAR, LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW**

PLOT NO. 185

Developer:  
**Eldeco housing & industries Ltd.**

NOTES:

1. Architect shall not be responsible for any deviation at site by the developer.
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A SUBMISSION.
3. Layout approved vide permit no.2095, dated 16.03.2021.

S.NO.	TYPE	SIZE
1.	D1	780 X 2100
2.	D2	850 X 2100
3.	W1	530 X 1200
4.	W2	785 X 1050
5.	DW1	2250 X 2400
6.	V1	600 X 600
7.	DW2	1600 X 2100
8.	DW3	1280 X 2100

#### AREA STATEMENT :

	SQ. MT.
1.) TOTAL PLOT AREA	112.50sq.mt.
2.) COVERED AREA ON GROUND FLOOR	72.51sq.mt.
3.) OPEN AREA	39.99sq.mt.
4.) TOTAL BUILT-UP AREA(2)-FOR F.A.R.	72.51sq.mt.
5.) GROUND COVERAGE ACHIEVED	64.45%
6.) F.A.R. ACHIEVED	0.64

#### DEVELOPER



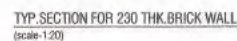
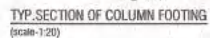
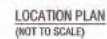
#### ARCHITECT




30/10/24









<b>Foundation</b>	- Lapped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
<b>Superstructure</b>	- Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
<b>Slab</b>	- R.C.C. slab as per structural design in M.25 grade conc.
<b>Joinery</b>	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
<b>Flooring</b>	- Vitrified tiles/marble/kota/c.c.
<b>Painting</b>	- O.B.D. inside & cement based waterproofing paint outside.
<b>Plaster</b>	- 12mm plaster in 1:6 c.m.
<b>Plumbing &amp; sanitary fitting</b>	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
<b>Electrical work</b>	- Conducting, wiring & M.C.B. with I.S.I. marked material.

DEVELOPER	ARCHITECT
	 <b>EXPRESS</b> <b>Engineering &amp; Construction Pvt. Ltd.</b> Ar. Sanjay Kumar Gupta 80/2, Plot, Conquest, Greater Noida, Uttar Pradesh 201308 Lucknow-226 006 Tel. No. 4006611/4161459 Email- <a href="mailto:expcon@rediffmail.com">expcon@rediffmail.com</a>

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**TERRACE PLAN**  
(SCALE=1:100)



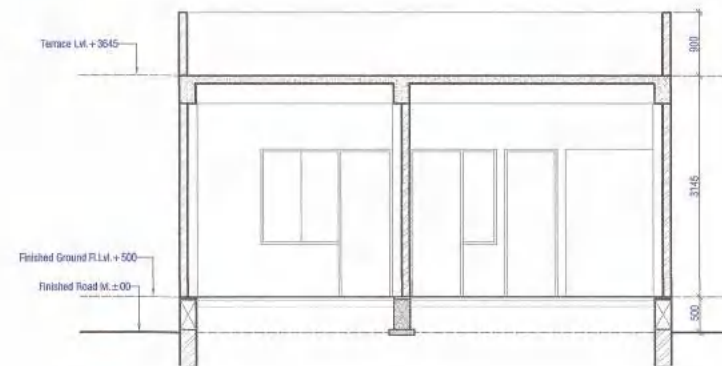
**SITE PLAN**  
(SCALE=1:200)



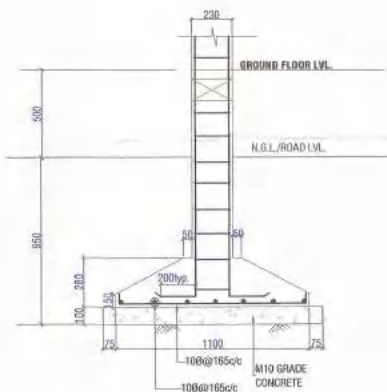
LOCATION PLAN  
(NOT TO SCALE)



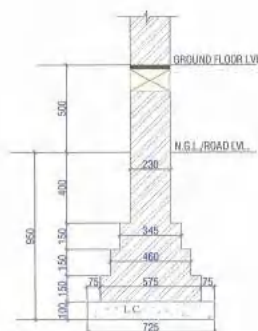
FRONT ELEVATION  
(SCALE = 1:100)



SECTION X-X  
(SCALE=1/50)



TYP. SECTION OF COLUMN FOOTING  
(scale-1:20)



TYP. SECTION FOR 230 THK. BRICK WALL  
(scale-1/20)

<b>Foundation</b>	- Lapped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
<b>Superstructure</b>	- Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
<b>Slab</b>	- R.C.C. slab as per structural design in M:35 grade conc.
<b>Joinery</b>	- Door frames in sal wood with 32mm commercial board shutter, Windows in aluminium /UPVC.
<b>Flooring</b>	- Vitrified tiles/marble/kota/c.c.
<b>Painting</b>	- O.B.D. inside & cement based waterproofing paint outside.
<b>Plaster</b>	- 12mm plaster in 1:6 c.m.
<b>Plumbing &amp; sanitary fitting</b>	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
<b>Electrical work</b>	- Conducting, wiring & M.C.B. with I.S.I. marked material.

NOTES:

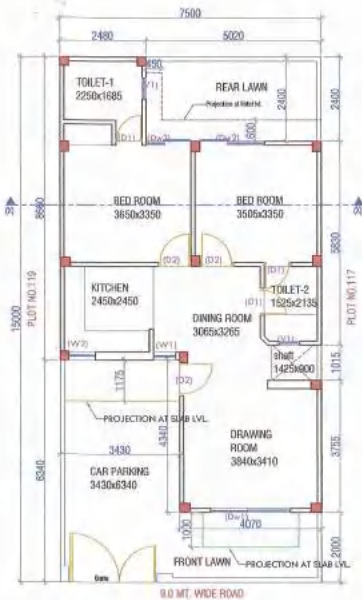
1. Architect shall not be responsible for any deviation at site by the developer.
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A. SUBMISSION
3. Layout approved vide permit no.2095, dated 16.03.2021.

S.NO	TYPE	SIZE
1	D1	760 X 2100
2	D2	950 X 2100
3	W1	735 X 1200
4	W2	765 X 1050
5	DW1	2145 X 2400
6	V1	800 X 600
7	DW2	1035 X 2100
8	DW3	2075 X 2100

AREA STATEMENT :	SQ. MT.
1.) TOTAL PLOT AREA	98.00sq.mt.
2.) COVERED AREA ON GROUND FLOOR	61.04sq.mt.
3.) OPEN AREA	36.96sq.mt.
4.) TOTAL BUILT-UP AREA(2)-FOR F.A.R.	61.04sq.mt.
5.) GROUND COVERAGE ACHIEVED	62.29%
6.) F.A.R. ACHIEVED	0.623

DEVELOPER	ARCHITECT
	 <p><b>enpaccon</b></p> <p>Ar. Sanjay Kumar Gupta 104/F, Pitha Corporate, Chhatra Vikram Khairi, Ganga Nagar, Lucknow-226010 Ph.No. 435200, 441511, 4720 email-enpaccon.architect@gmail.com</p>





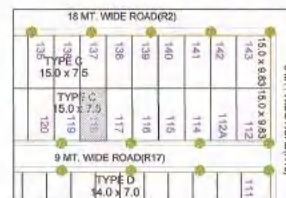
GROUND FLOOR PLAN  
(SCALE=1:100)



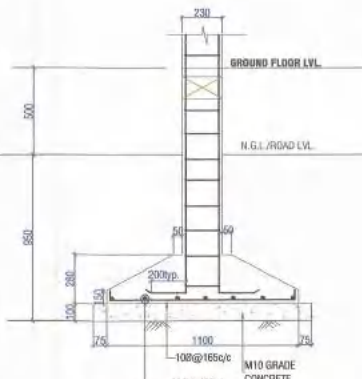
TERRACE PLAN  
(SCALE=1:100)



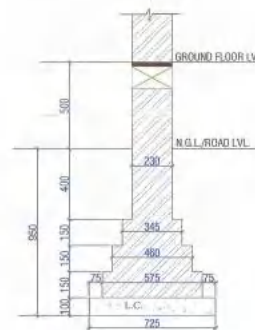
SITE PLAN  
(SCALE=1:200)



LOCATION PLAN  
(NOT TO SCALE)



TYP. SECTION OF COLUMN FOOTING  
(Scale=1:20)



TYP. SECTION FOR 230 THK. BRICK WALL  
(Scale=1:20)

#### SPECIFICATIONS:

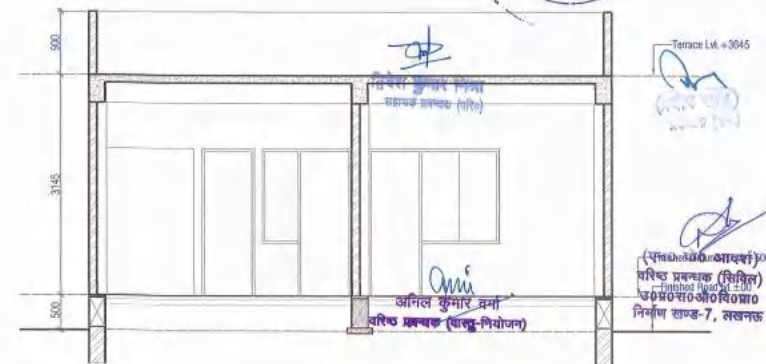
<b>Foundation</b>	- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
<b>Superstructure</b>	- Composite structure with brick work & R.C.C. columns as per structural design.(earthquake resistant)
<b>Slab</b>	- R.C.C. slab as per structural design in M:25 grade conc.
<b>Joinery</b>	- Door frames in sai wood with 32mm commercial board shutter, Windows in aluminium /UPVC.
<b>Flooring</b>	- Vitrified tiles/marble/kota/c.c.
<b>Painting</b>	- O.B.D. inside & cement based waterproofing paint outside.
<b>Plaster</b>	- 12mm plaster in 1:6 c.m.
<b>Plumbing &amp; sanitary fitting</b>	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
<b>Electrical work</b>	- Conduiting,wiring & M.C.B. with I.S.I. marked material.



FRONT ELEVATION  
(SCALE=1:100)

गणपति बस्तर वीरक औद्योगिक क्षेत्र विकास अर्जितकर  
1978 की कानूनी 19 के अंतर्गत इस प्रमाणित संहिता  
स्वीकृत किया जाता है कि विकास प्राधिकरण द्वारा  
प्रिपक स्थापित के लिये कितना कार्य नहीं है।

स्वीकृत  
संविदा संख्या... 579  
दिनांक... 25/11/21  
स्वीकृति की तिथि... 5/2/22  
भूमि का प्रकार... कृषि/वाणिज्य



SECTION X-X  
(SCALE=1:50)

(पंजाब) (पंजाब) (पंजाब)  
संविदा प्रकचक (सिद्धि)  
उपप्राप्त 05/02/2022  
निर्माण शाखा-7, लखनऊ

HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITHKHERA,  
PARGANA-BIJNAUR, TEHSIL-SAROJINI NAGAR,  
LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW

PLOT NO. 118

Developer:

Eldeco housing & industries ltd.

NOTES:

1. Architect shall not be responsible for any deviation at site by the developer.
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A SUBMISSION.
3. Layout approved vide permit no.2095, dated 16.03.2021.

#### DOOR/WINDOW SCHEDULE :

S.NO.	TYPE	SIZE
1.	D1	750 X 2100
2.	D2	950 X 2100
3.	W1	835 X 1280
4.	W2	700 X 1050
5.	DW1	2250 X 2800
6.	W1	800 X 900
7.	DW2	1870 X 2100
8.	DW3	1285 X 2100

#### AREA STATEMENT :

	SQ. MT.
1.) TOTAL PLOT AREA	112.50sq.mt.
2.) COVERED AREA ON GROUND FLOOR	72.51sq.mt.
3.) OPEN AREA	39.99sq.mt.
4.) TOTAL BUILT-UP AREA(2)-FOR F.A.R.	72.51sq. mt.
5.) GROUND COVERAGE ACHIEVED	64.45%
6.) F.A.R. ACHIEVED	0.64

#### DEVELOPER

#### ARCHITECT

Ar. Sanjay Kumar Gupta

198.F. Pawan Corporation (Lucknow)

Village: Pawan, Gopal Nagar,

Lucknow-226010.

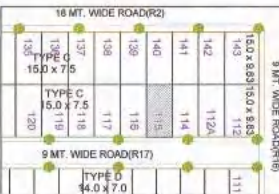
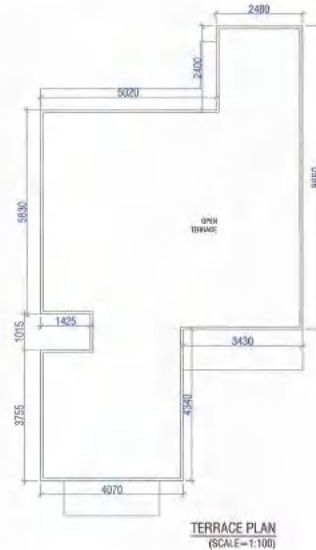
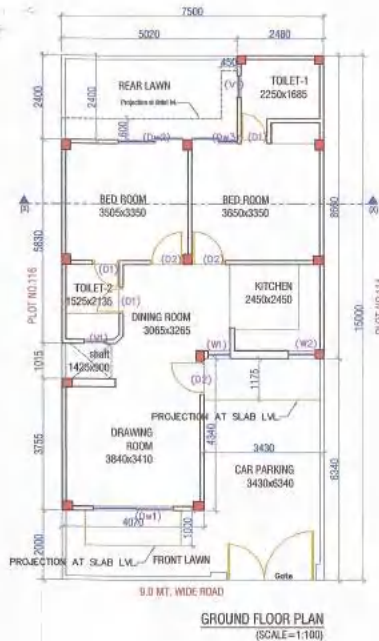
PH. No. 8000000000, 8000000000

email: sanjaykumar@sanjaykumar.com

Eldeco housing & industries ltd.







मानविक अंतर होत असोविक होत विकास अधिकार  
1976 की वारा 19 के अंतर्गत इस अधिकार संहिता  
स्वीकृत किया जाता है कि विकास अधिकार पुन  
विचारक स्वामित्व के त्विने विचार कार्य नहीं है।

स्वीकृत  
परीक्षा संख्या: 597  
दिनांक: 25/11/22  
स्वीकृत की गया: 5/12/22  
पुनः का प्रस्ताव: 2/12/22

दिवेश कुमार मिश्रा  
राज्यक सचिव (रि०)

(एन० के० आवर)  
अतिरिक्त प्रबन्धक (सिविल)  
उ०प्र०रा०औ०वि०प्रा०  
निर्माण खण्ड-7, राखनड

- SPECIFICATIONS:**
- Foundation - Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
  - Superstructure - Composite structure with brick work & R.C.C. columns as per structural design.(earthquake resistant)
  - Slab - R.C.C. slab as per structural design in M:25 grade conc.
  - Joinery - Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
  - Flooring - Vitrified tiles/marble/kota/c.c.
  - Painting - O.B.D. inside & cement based waterproofing paint outside.
  - Plaster - 12mm plaster in 1:5 c.m.
  - Plumbing & sanitary fitting - All plumbing work using I.S.I marked UPVC pipes with standard fittings & fixtures.
  - Electrical work - Conducting wiring & M.C.B. with I.S.I. marked material.

HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JATHIHERA, PARGANA-BIJNAUR, TEHSIL-SAROJINI NAGAR, LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, PLOT NO. 115

Developer: **Eldeco housing & industries Ltd.**

NOTES:  
1. Architect shall not be responsible for any deviation at site by the developer.  
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A SUBMISSION.  
3. Layout approved vide permit no.2095, dated 16.03.2021.

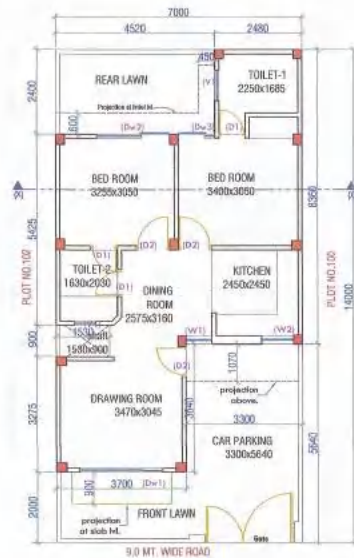
DOOR/ WINDOW SCHEDULE :		
Sl. No.	TYPE	SIZE
1.	D1	750 X 2100
2.	D2	850 X 2100
3.	W1	635 X 1200
4.	W2	765 X 1050
5.	DW1	2230 X 2400
6.	V1	600 X 600
7.	DW2	1870 X 2100
8.	DW3	1285 X 2100

AREA STATEMENT :		SQ. MT.
1.)	TOTAL PLOT AREA	112.50sq.mt.
2.)	COVERED AREA ON GROUND FLOOR	72.51sq.mt.
3.)	OPEN AREA	39.99sq.mt.
4.)	TOTAL BUILT-UP AREA(2)-FOR F.A.R.	72.51sq.mt.
5.)	GROUND COVERAGE ACHIEVED	64.45%
6.)	F.A.R. ACHIEVED	0.64

DEVELOPER

ARCHITECT

**As-Sangay Kumar Gupta**  
100/1, Phase Corporate (Jharkhand)  
Vishal Khandu (Gandhi Nagar)  
Lucknow-226010  
Ph No-9838564115/9838564116  
email-asangay\_kumar@rediffmail.com



GROUND FLOOR PLAN  
(SCALE=1:100)



TERRACE PLAN  
(SCALE=1:100)

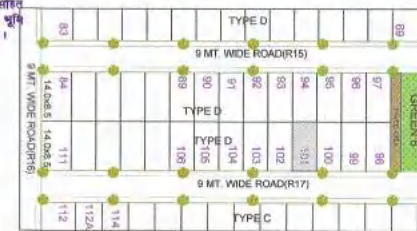


SITE PLAN  
(SCALE=1:200)

भारतीय कानून प्रकृत औद्योगिक क्षेत्र विकास अधिनियम 1976 की धारा 19 के अंतर्गत इस प्रतिबंधक सहित स्वीकृत किया जाता है कि विकास प्राधिकरण भूमि विनियमन स्थानिक के तहत कियत बाध्य नहीं है।

स्वीकृत  
तारीख 25/11/21  
संख्या 5/2021  
प्लान नं. 101

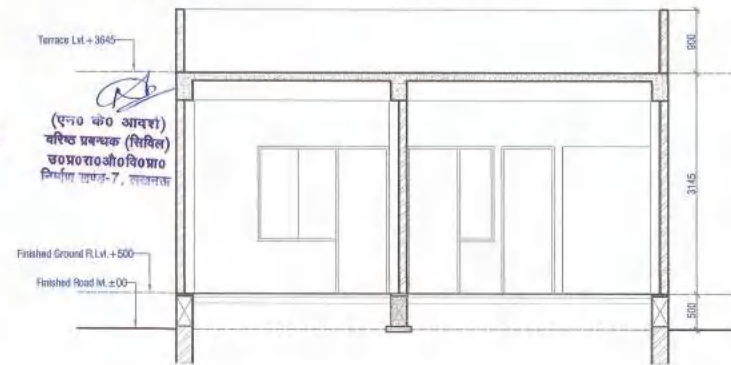
हिंदेश कुमार मिश्रा  
सहायक प्रबंधक (सिटी)



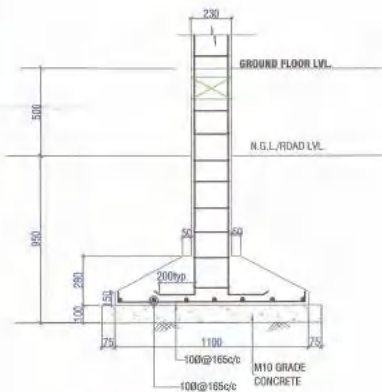
LOCATION PLAN  
(NOT TO SCALE)



FRONT ELEVATION  
(SCALE=1:100)



SECTION X-X  
(SCALE=1:50)



TYP. SECTION OF COLUMN FOOTING  
(Scale=1:20)



TYP. SECTION FOR 230 THK. BRICK WALL  
(Scale=1:20)

#### SPECIFICATIONS:

- Foundation** - Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
- Superstructure** - Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
- Slab** - R.C.C. slab as per structural design in M-25 grade conc.
- Joinery** - Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
- Flooring** - Vitrified tiles/marble/kota/c.c.
- Painting** - O.B.D. inside & cement based waterproofing paint outside.
- Plaster** - 12mm plaster in 1:6 c.m.
- Plumbing & Sanitary fitting** - All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
- Electrical work** - Conduiting, wiring & M.C.B. with I.S.I. marked material.

HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITHKHERA, PARGANA-BUNAU, TENSIL-SARJINI NAGAR, LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW

PLOT NO. 101

Developer:  
Eldeco housing & industries Ltd.

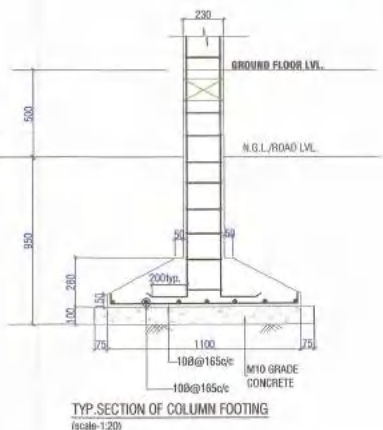
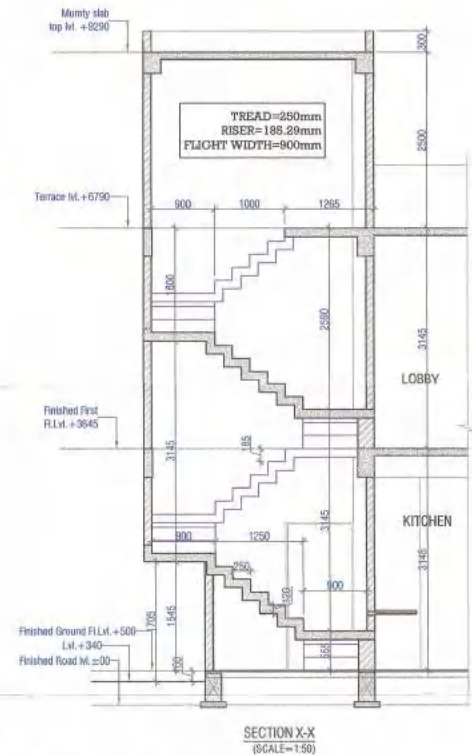
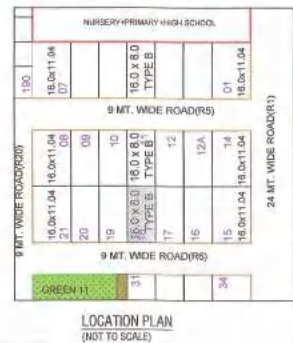
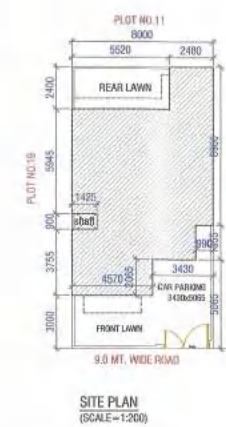
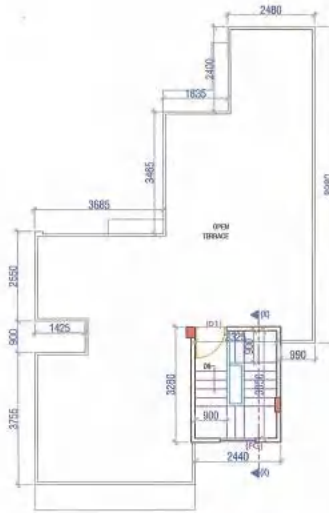
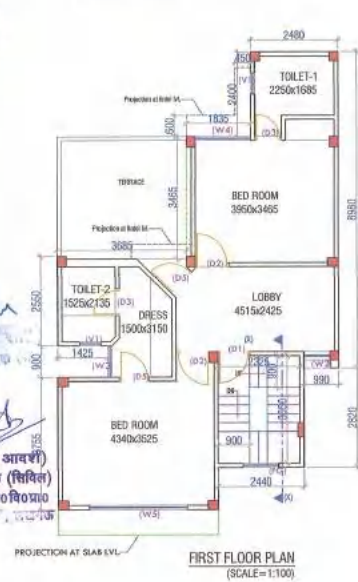
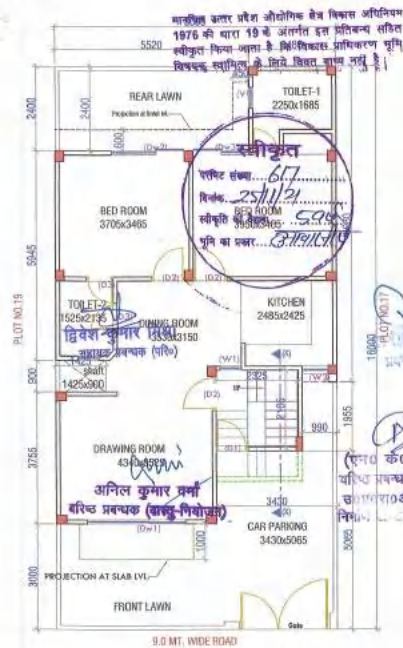
- NOTES:
1. Architect shall not be responsible for any deviation at site by the developer.
  2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A. SUBMISSION.
  3. Layout approved vide permit no.2095, dated 16.03.2021.

DOOR/ WINDOW SCHEDULE :		
S.NO.	TYPE	SIZE
1	D1	760 X 2100
2	D2	950 X 2100
3	W1	725 X 1200
4	W2	785 X 1050
5	DW1	2145 X 2400
6	V1	500 X 900
7	DW2	1035 X 2100
8	DW3	2675 X 2100

AREA STATEMENT :	SQ. MT.
1.) TOTAL PLOT AREA	98.00sq.mt.
2.) COVERED AREA ON GROUND FLOOR	61.04sq.mt.
3.) OPEN AREA	36.96sq.mt.
4.) TOTAL BUILT-UP AREA(2)-FOR F.A.R.	61.04sq.mt.
5.) GROUND COVERAGE ACHIEVED	62.29%
6.) F.A.R. ACHIEVED	0.623

DEVELOPER	ARCHITECT





**SPECIFICATIONS:**

<b>Foundation</b>	- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
<b>Superstructure</b>	- Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
<b>Slab</b>	- R.C.C. slab as per structural design in M:25 grade conc.
<b>Joinery</b>	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
<b>Flooring</b>	- Vitrified tiles/marble/ Kota/c.c.
<b>Painting</b>	- O.B.D. inside & cement based waterproofing paint outside.
<b>Plaster</b>	- 12mm plaster in 1:6 c.m.
<b>Plumbing &amp; sanitary fitting</b>	- All plumbing work using 1.5 L. marked UPVC pipes with standard fittings & fixtures.
<b>Electrical work</b>	- Conducting wiring & M.C.B. with I.S.I. marked material.

**HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITIKHERA, PARGANA-BUNAUR, TEHSIL-SAROJINI NAGAR, LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW**

PLOT NO. 18

Developer:  
**Eldeco housing & industries Ltd.**

NOTES:  
1. Architect shall not be responsible for any deviation at site by the developer.  
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A. SUBMISSION.  
3. Layout approved vide permit no.2095, dated 16.03.2021.

**DOOR/ WINDOW SCHEDULE:**

S.NO.	TYPE	SIZE
1	D1	900 X 2100
2	D2	900 X 2100
3	D3	700 X 2100
4	W1	800 X 1200
5	W2	740 X 1050
6	W3	800 X 1200
7	DW1	2790 X 2500
8	W1	900 X 900
9	W4	1585 X 1200
10	W5	2790 X 1200
11	DW2	2070 X 2100
12	DW3	1585 X 2100

**AREA STATEMENT :**

S.NO.	DESCRIPTION	SQ. MT.
1.)	TOTAL PLOT AREA	128.00sq.mt.
2.)	COVERED AREA ON GROUND FLOOR	82.08sq.mt.
3.)	COVERED AREA ON FIRST FLOOR	71.45sq.mt.
4.)	OPEN AREA	45.95sq.mt.
5.)	MUMTY AREA	8.00sq.mt.
6.)	TOTAL BUILT-UP AREA(2+3+5)-FOR F.A.R.	161.53sq.mt.

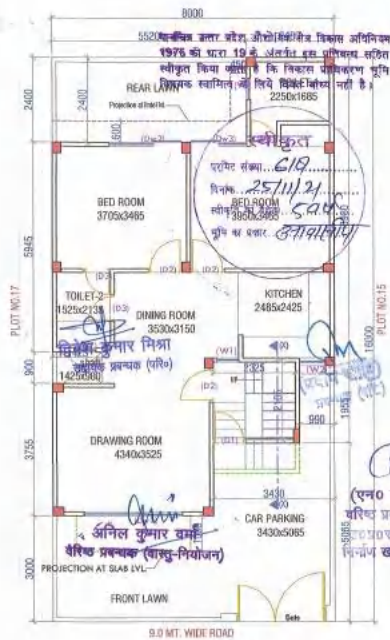
**AREA STATEMENT :**

S.NO.	DESCRIPTION	SQ. MT.
7.)	GROUND COVERAGE ACHIEVED	64.13%
8.)	F.A.R. ACHIEVED	1.26

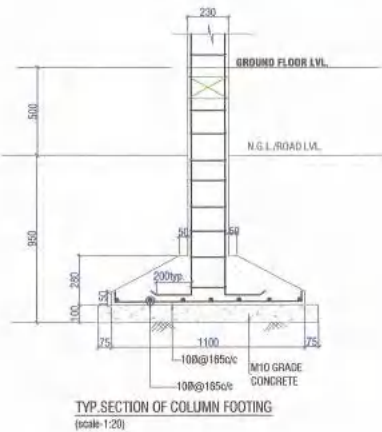
**DEVELOPER**

**ARCHITECT**

**Ar. Sanjay Kumar Gupta**  
108/F. Floor Corporate Complex-1,  
Village-Rand, District-Rampur,  
Lucknow-226010  
Ph.No. 9855853, 9412114238  
email: sanjaygupta108@gmail.com



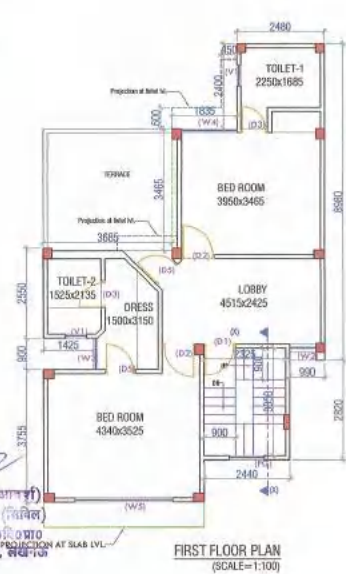
GROUND FLOOR PLAN  
(SCALE=1:100)



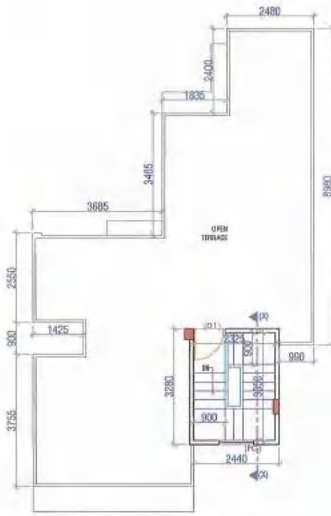
TYP. SECTION OF COLUMN FOOTING  
(SCALE=1:20)



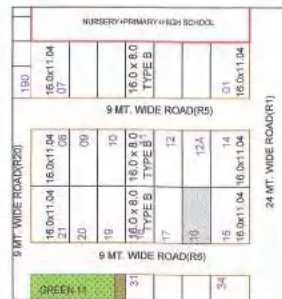
TYP. SECTION FOR 230 THK. BRICK WALL  
(SCALE=1:20)



FIRST FLOOR PLAN  
(SCALE=1:100)



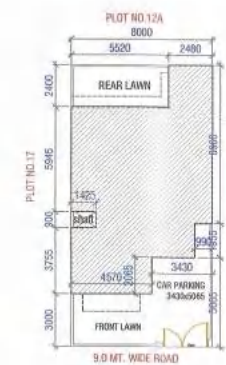
TERRACE PLAN  
(SCALE=1:100)



LOCATION PLAN  
(NOT TO SCALE)

#### SPECIFICATIONS:

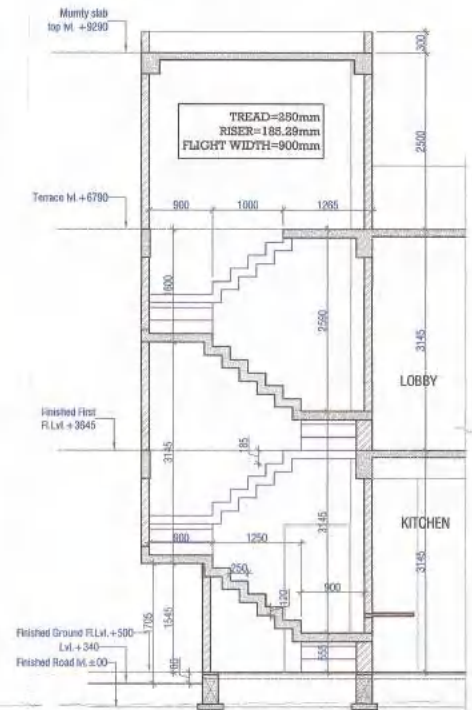
- Foundation** - Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
- Superstructure** - Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
- Slab** - R.C.C. slab as per structural design in M:25 grade conc.
- Joinery** - Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
- Flooring** - Vitrified tiles/marble/kota/c.c.
- Painting** - O.B.D. inside & cement based waterproofing paint outside.
- Plaster** - 12mm plaster in 1:6 c.m.
- Plumbing & sanitary fitting** - All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
- Electrical work** - Conducting, wiring & M.C.B. with I.S.I. marked material.



SITE PLAN  
(SCALE=1:200)



FRONT ELEVATION  
(SCALE=1:100)



SECTION X-X  
(SCALE=1:50)

**HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITIKHERA, PARGANA-BIJNAUR, TEHSIL-SAROJINI NAGAR, LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW**

PLOT NO. 16

Developer:  
**Eldeco housing & industries Ltd.**

- NOTES:**
1. Architect shall not be responsible for any deviation of site by the developer.
  2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A. SUBMISSION.
  3. Layout approved vide permit no.2095, dated 16.03.2021.

#### DOOR/WINDOW SCHEDULE:

S.NO.	TYPE	SIZE
1.	D1	900 X 2100
2.	D2	950 X 2100
3.	D3	700 X 2100
4.	W1	600 X 1200
5.	W2	740 X 1050
6.	W3	900 X 1200
7.	W4	2700 X 2400
8.	W5	600 X 600
9.	W6	1585 X 1200
10.	W7	2750 X 1200
11.	W8	2670 X 2100
12.	W9	1585 X 2100

#### AREA STATEMENT:

S.NO.	TYPE	SIZE
1.)	TOTAL PLOT AREA	128.00sq.mt.
2.)	COVERED AREA ON GROUND FLOOR	82.08sq.mt.
3.)	COVERED AREA ON FIRST FLOOR	71.45sq.mt.
4.)	OPEN AREA	45.95sq.mt.
5.)	MUMTY AREA	8.00sq.mt.
6.)	TOTAL BUILT-UP AREA(2+3+5)-FOR F.A.R.	161.53sq.mt.

#### AREA STATEMENT:

S.NO.	TYPE	SIZE
7.)	GROUND COVERAGE ACHIEVED	64.13%
8.)	F.A.R. ACHIEVED	1.26

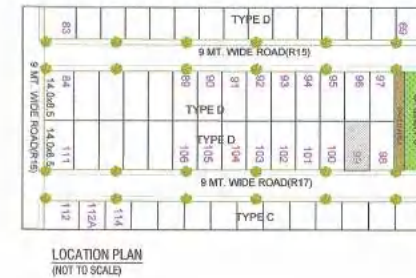
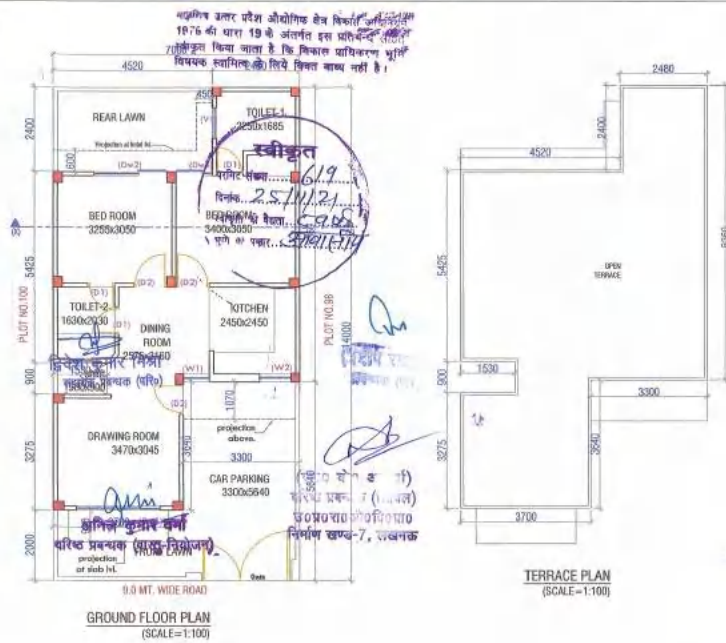
#### DEVELOPER

**Eldeco housing & industries Ltd.**

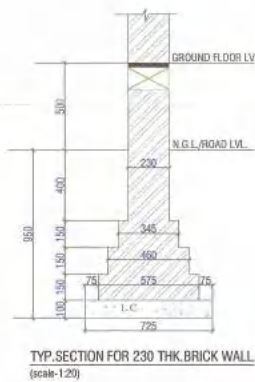
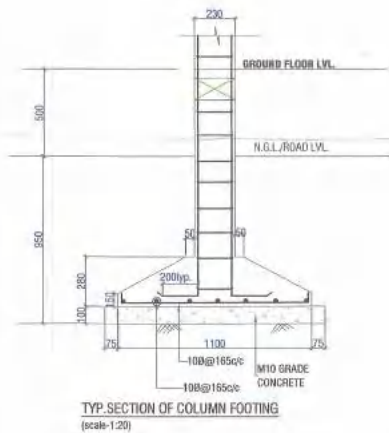
#### ARCHITECT

**Ar. Sargay Kumar Gupta**  
108/F, Panch Corporate, Phase-1,  
Vidya Vihar, Ganga Nagar,  
Lucknow-226001  
Ph No. 9959335347/994699  
email-espaces architects@gmail.com





**TERRACE PLAN**  
(SCALE=1:100)



#### SPECIFICATIONS:

<b>Foundation</b>	- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
<b>Superstructure</b>	- Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
<b>Slab</b>	- R.C.C. slab as per structural design in M:25 grade conc.
<b>Joinery</b>	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
<b>Flooring</b>	- Vitrified tiles/marble/kota/c.c.
<b>Painting</b>	- O.B.D. inside & cement based waterproofing paint outside.
<b>Plaster</b>	- 12mm plaster in 1:6 c.m.
<b>Plumbing &amp; sanitary fitting</b>	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
<b>Electrical work</b>	- Conduiting, wiring & M.C.B. with I.S.I. marked material.

**HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITIKHERA, PARGANA-BIJNAUR, TEHSIL-SAROJINI NAGAR, LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW**

Plot No. 99

Developer:  
**Eldeco housing & industries ltd.**

NOTES:  
1. Architect shall not be responsible for any deviation at site by the developer.  
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A. SUBMISSION.  
3. Layout approved vide permit no.2095, dated 16.03.2021.

#### DOOR/WINDOW SCHEDULE :

S.NO	TYPE	SIZE
1	D1	760 X 2100
2	D2	950 X 2100
3	W1	735 X 1200
4	W2	765 X 1050
5	DW1	2145 X 2400
6	W1	600 X 600
7	DW2	1035 X 2100
8	DW3	2075 X 2100

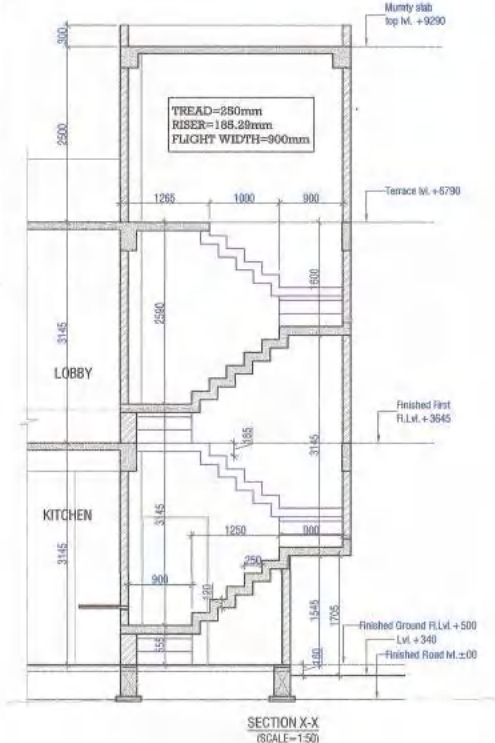
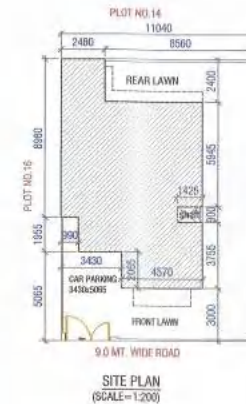
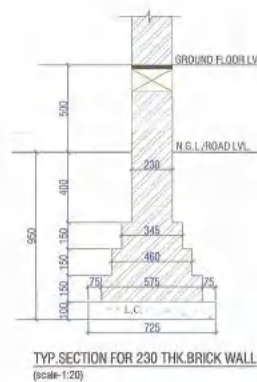
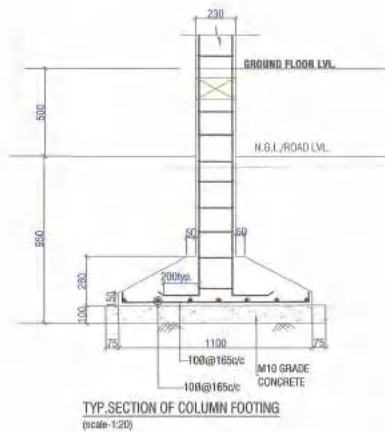
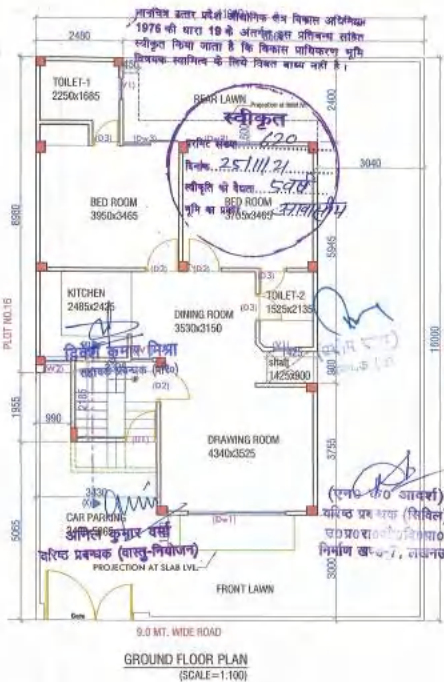
#### AREA STATEMENT :

	SQ. MT.
1.) TOTAL PLOT AREA	98.00sq.mt.
2.) COVERED AREA ON GROUND FLOOR	61.04sq.mt.
3.) OPEN AREA	36.96sq.mt.
4.) TOTAL BUILT-UP AREA(2)-FOR F.A.R.	61.04sq.mt.
5.) GROUND COVERAGE ACHIEVED	62.29%
6.) F.A.R. ACHIEVED	0.623

#### DEVELOPER

#### ARCHITECT

**Ar. Sanjay Kumar Gupta**  
108, P. P. Road, Gopabandhu Chauraha-1,  
Vill. Sahi, Parg. Gopabandhu Chauraha-1,  
Lucknow-226001  
Ph. No. 4080008, 9107145000  
email: sanjaykumar108@gmail.com



#### SPECIFICATIONS:

<b>Foundation</b>	- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
<b>Superstructure</b>	- Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
<b>Slab</b>	- R.C.C. slab as per structural design in M:25 grade conc.
<b>Joinery</b>	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminum /UPVC.
<b>Flooring</b>	- Vitrified tiles/marble/kote/c.c.
<b>Painting</b>	- O.B.D. inside & cement based waterproofing paint outside.
<b>Plaster</b>	- 12mm plaster in 1:6 c.m.
<b>Plumbing &amp; sanitary fitting</b>	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
<b>Electrical work</b>	- Conducting, wiring & M.C.B. with I.S.I. marked material.

**HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITIKHERA, PARGANA-BIJNAUR, TEHSIL-SAROJINI NAGAR, LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW**

PLOT NO. 15  
Developer:  
Eldeco housing & industries ltd.

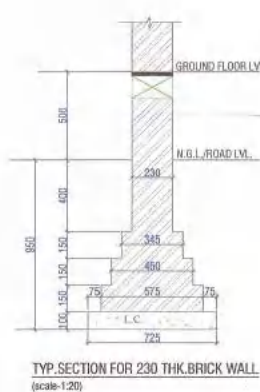
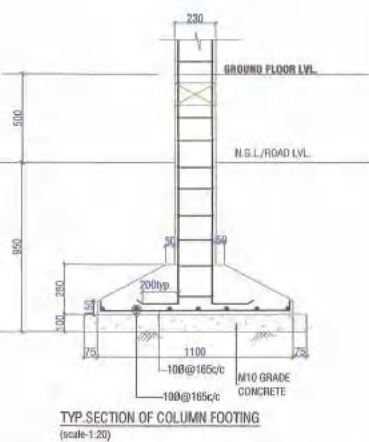
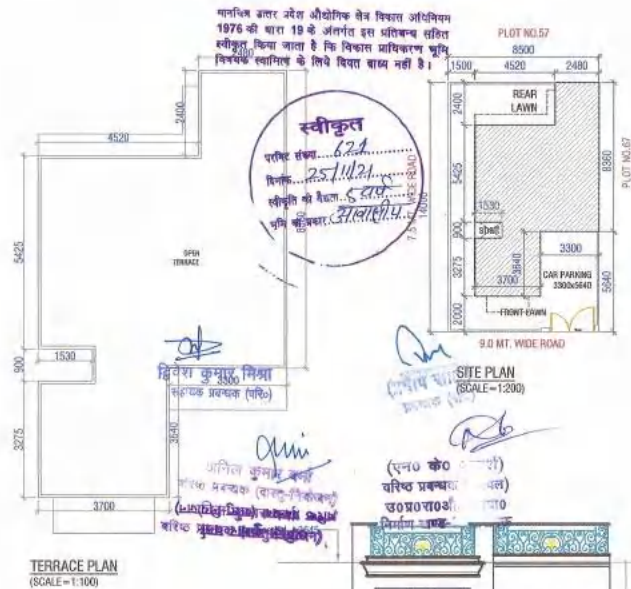
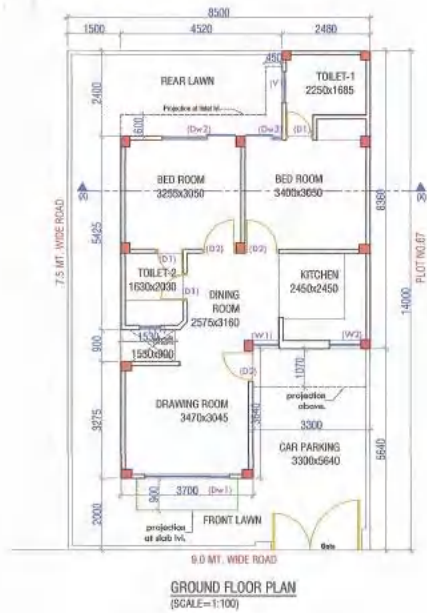
NOTES:  
1. Architect shall not be responsible for any deviation at site by the developer.  
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A. SUBMISSION.  
3. Layout approved vide permit no 2095, dated 16.03.2021.

S.NO.	TYPE	SIZE
1.	D1	800 X 2100
2.	D2	950 X 2100
3.	D3	750 X 2100
4.	W1	900 X 1200
5.	W2	740 X 1050
6.	W3	900 X 1200
7.	DH1	2750 X 2400
8.	V1	800 X 600
9.	W4	1585 X 1200
10.	W5	2750 X 1200
11.	DH2	2070 X 2100
12.	DH3	1565 X 2100

AREA STATEMENT :	SQ. MT.	AREA STATEMENT :	SQ. MT.
1.) TOTAL PLOT AREA	176.64sq.mt.	7.) GROUND COVERAGE ACHIEVED	46.47%
2.) COVERED AREA ON GROUND FLOOR	82.08sq.mt.	8.) F.A.R. ACHIEVED	0.914
3.) COVERED AREA ON FIRST FLOOR	71.45sq.mt.		
4.) OPEN AREA	94.56sq.mt.		
5.) MUMTY AREA	8.00sq.mt.		
6.) TOTAL BUILT-UP AREA(2+3+5)-FOR F.A.R.	161.53sq.mt.		

DEVELOPER	ARCHITECT





FRONT ELEVATION  
(SCALE=1:100)



#### SPECIFICATIONS:

<b>Foundation</b>	- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
<b>Superstructure</b>	- Composite structure with brick work & R.C.C. columns as per structural design (earthquake resistant)
<b>Slab</b>	- R.C.C. slab as per structural design in M-25 grade conc.
<b>Joinery</b>	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
<b>Flooring</b>	- Vitrified tiles/marble/kota/c.c.
<b>Painting</b>	- O.B.D. inside & cement based waterproofing paint outside.
<b>Plaster</b>	- 12mm plaster in 1:6 c.m.
<b>Plumbing &amp; sanitary fitting</b>	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
<b>Electrical work</b>	- Conduiting, wiring & M.C.B. with I.S.I. marked material.

**HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITHKHERA, PARGANA-BIJNAUR, TEHSIL-SAROJINI NAGAR, LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW**

PLOT NO. 68

Developer: **Eldeco housing & industries Ltd.**

NOTES:  
1. Architect shall not be responsible for any deviation at site by the developer.  
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A. SUBMISSION.  
3. Layout approved vide permit no.2095, dated 16.03.2021.

#### DOOR/WINDOW SCHEDULE :

S.NO.	TYPE	SIZE
1.	D1	760 X 2100
2.	D2	990 X 2100
3.	W1	735 X 1200
4.	W2	765 X 1050
5.	DW1	2145 X 2400
6.	W1	600 X 600
7.	DW2	1035 X 2100
8.	DW3	2075 X 2100

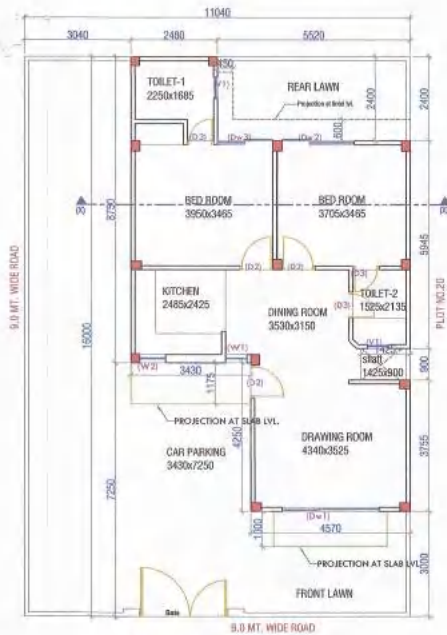
#### AREA STATEMENT :

	SQ. MT.
1.) TOTAL PLOT AREA	119.00sq.mt.
2.) COVERED AREA ON GROUND FLOOR	61.04sq.mt.
3.) OPEN AREA	57.96sq.mt.
4.) TOTAL BUILT-UP AREA(2)-FOR F.A.R.	61.04sq.mt.
5.) GROUND COVERAGE ACHIEVED	51.29%
6.) F.A.R. ACHIEVED	0.513

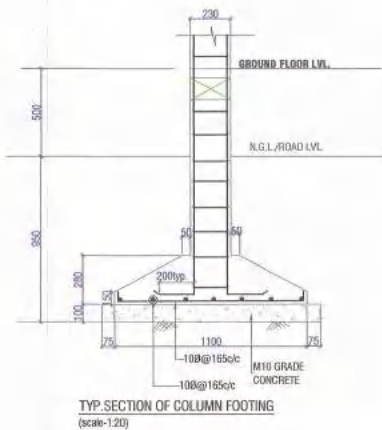
#### DEVELOPER

#### ARCHITECT





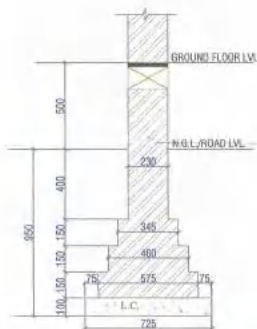
GROUND FLOOR PLAN  
(SCALE=1:100)



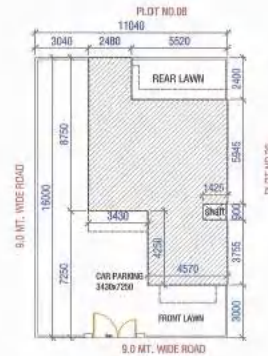
TYP. SECTION OF COLUMN FOOTING  
(Scale=1:20)



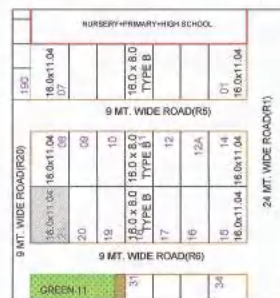
TERRACE PLAN  
(SCALE=1:100)



TYP. SECTION FOR 230 THK BRICK WALL  
(Scale=1:20)



SITE PLAN  
(SCALE=1:200)



LOCATION PLAN  
(NOT TO SCALE)

#### SPECIFICATIONS:

- Foundation** - Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
- Superstructure** - Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
- Slab** - R.C.C. slab as per structural design in M:25 grade conc.
- Joinery** - Door frames in sal wood with 38mm commercial board shutter. Windows in aluminium /UPVC.
- Flooring** - Vitrified tiles/marble/kota/c.c.
- Painting** - O.B.D. inside & cement based waterproofing paint outside.
- Plaster** - 12mm plaster in 1:6 c.m.
- Plumbing & sanitary fitting** - All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
- Electrical work** - Conducting, wiring & M.C.B. with I.S.I. marked material.



FRONT ELEVATION  
(SCALE=1:100)



SECTION X-X  
(SCALE=1:50)

मानविक उत्तर प्रदेश औद्योगिक गैर विवास अधिनियम 1976 की धारा 19 के अंतर्गत इस अधिनियम सहित स्वीकृत किया जाता है कि विक्रय प्राधिकरण भूमि विपक्ष स्वामित्व के लिये विवाद बाधक नहीं है।

स्वीकृत

परमिटर संख्या: 6222

दिनांक: 25.11.24

अधिकारी का नाम: श्री. अ. स. गुप्ता

लिवर-अधिकारी: श्री. अ. स. गुप्ता

फिनिश रोड M.L. 500

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फिनिश रोड M.L. 500

फिनिश रोड M.L. 500

HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITIKHERA, PARGANA-BIJNAUR, TENSIL-SAROHINI NAGAR, LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW

PLOT NO. 21

Developer:  
Eldeco housing & industries Ltd.

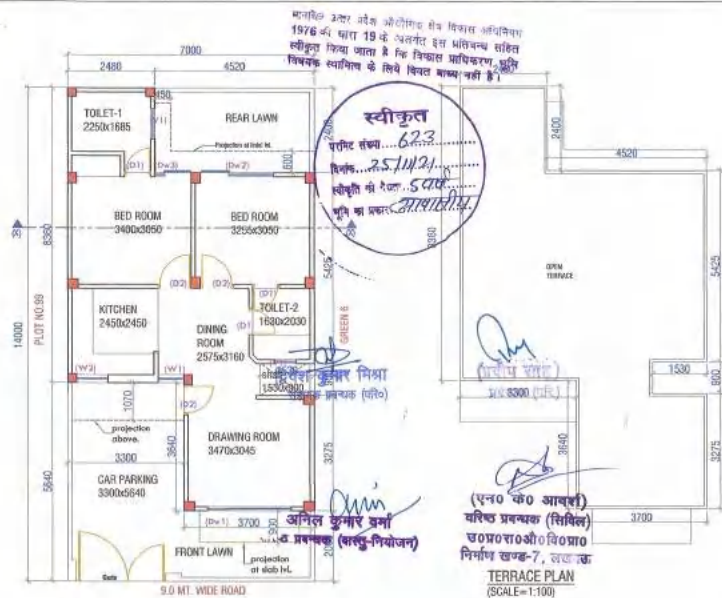
- NOTES:
1. Architect shall not be responsible for any deviation at site by the developer.
  2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A SUBMISSION.
  3. Layout approved vide permit no.2095, dated 16.03.2021.

DOOR/WINDOW SCHEDULE :		
S.NO.	TYPE	SIZE
1.	D1	950 X 2100
2.	D2	750 X 2100
3.	W1	600 X 1200
4.	W2	740 X 1050
5.	DW1	2750 X 2400
6.	W1	600 X 600
7.	DW2	2075 X 2100
8.	DW3	1895 X 2100

AREA STATEMENT :		SQ. MT.
1.)	TOTAL PLOT AREA	176.64sq.mt.
2.)	COVERED AREA ON GROUND FLOOR	78.53sq.mt.
3.)	OPEN AREA	98.11sq.mt.
4.)	TOTAL BUILT-UP AREA(2)-FOR F.A.R.	78.53sq.mt.
5.)	GROUND COVERAGE ACHIEVED	44.46%
6.)	F.A.R. ACHIEVED	0.445

DEVELOPER	ARCHITECT

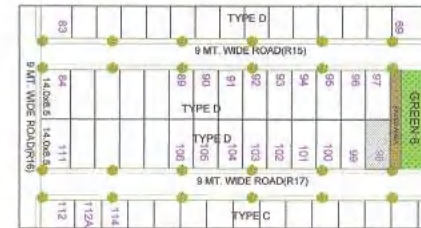




GROUND FLOOR PLAN  
(SCALE=1:100)



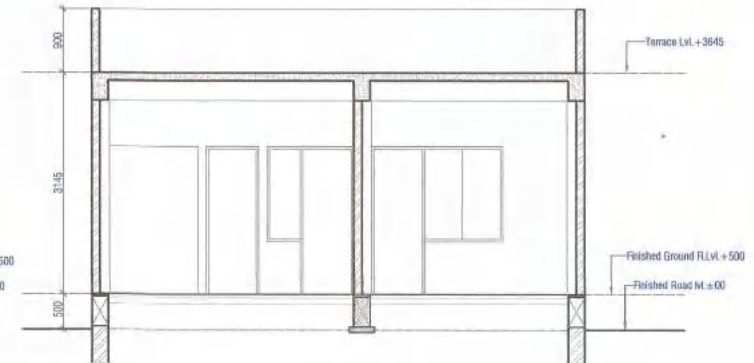
SITE PLAN  
(SCALE=1:200)



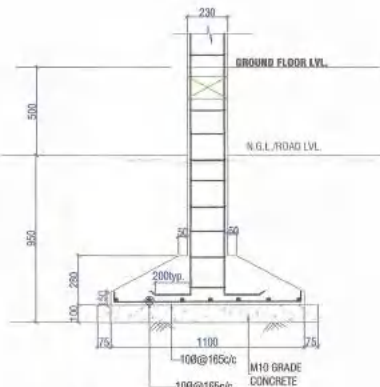
LOCATION PLAN  
(NOT TO SCALE)



FRONT ELEVATION  
(SCALE=1:100)



SECTION X-X  
(SCALE=1:50)



TYP. SECTION OF COLUMN FOOTING  
(SCALE=1:20)



TYP. SECTION FOR 230 THK. BRICK WALL  
(SCALE=1:20)

#### SPECIFICATIONS:

<b>Foundation</b>	- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
<b>Superstructure</b>	- Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
<b>Slab</b>	- R.C.C. slab as per structural design in M:25 grade conc.
<b>Joinery</b>	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium / UPVC.
<b>Flooring</b>	- Vitrified tiles/marble/kota/c.c.
<b>Painting</b>	- O.B.D. inside & cement based waterproofing paint outside.
<b>Plaster</b>	- 12mm plaster in 1:8 c.m.
<b>Plumbing &amp; sanitary fitting</b>	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
<b>Electrical work</b>	- Conducting, wiring & M.C.B. with I.S.I. marked material.

**HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITHKHERA, PARGANA-BIJNAUR, TEHSIL-SAROJINI NAGAR, LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW**

PLOT NO. 98

Developer:  
**Eldeco housing & industries Ltd.**

NOTES:  
1. Architect shall not be responsible for any deviation at site by the developer.  
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A. SUBMISSION.  
3. Layout approved vide permit no.2095, dated 16.03.2021.

#### DOOR/ WINDOW SCHEDULE :

S.NO.	TYPE	SIZE
1.	D1	760 X 2100
2.	D2	950 X 2100
3.	W1	725 X 1200
4.	W2	785 X 1050
5.	DW1	2145 X 2400
6.	W1	680 X 800
7.	DW2	1035 X 2100
8.	DW3	2075 X 2100

#### AREA STATEMENT :

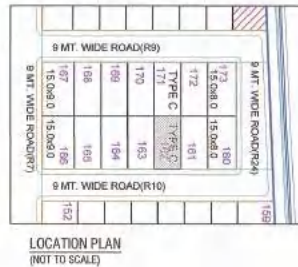
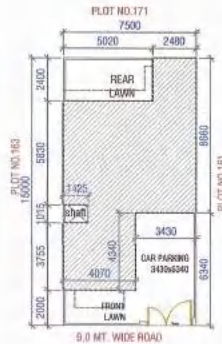
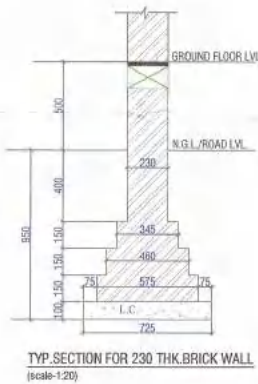
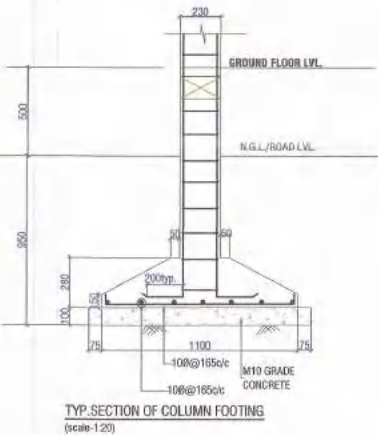
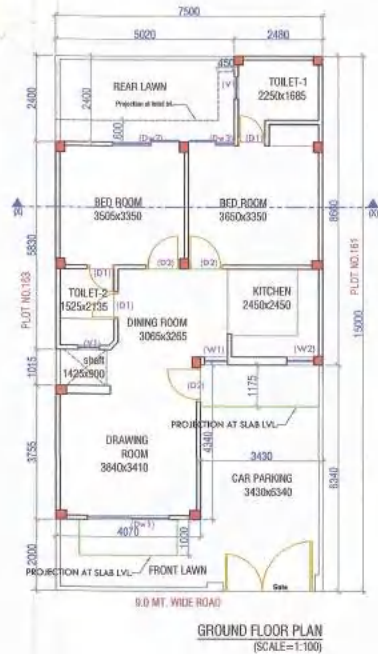
	SQ. MT.
1.) TOTAL PLOT AREA	98.00sq.mt.
2.) COVERED AREA ON GROUND FLOOR	61.04sq.mt.
3.) OPEN AREA	36.96sq.mt.
4.) TOTAL BUILT-UP AREA(2)-FOR F.A.R.	61.04sq.mt.
5.) GROUND COVERAGE ACHIEVED	62.29%
6.) F.A.R. ACHIEVED	0.623

#### DEVELOPER



#### ARCHITECT





भारतीय नगर नियोजन अधिनियम 1976 की धारा 15 में अंगणत इत प्रतिपत्त सहित स्वीकृत किया जाया है कि पंचायत भूमि विचयक स्थानित के सिने विवत बाय नडा है।

स्वीकृत  
परीक्षा संख्या 25/11/21  
दिनांक 25/11/21  
नगरपालिका क्षेत्र  
पुनर्वास प्रशासन

अनिल कुमार मिश्रा  
नगरपालिका प्रशासन (नगर)

अनिल कुमार मिश्रा  
नगरपालिका प्रशासन (नगर)

अनिल कुमार मिश्रा  
नगरपालिका प्रशासन (नगर)

अनिल कुमार मिश्रा  
नगरपालिका प्रशासन (नगर)

अनिल कुमार मिश्रा  
नगरपालिका प्रशासन (नगर)

अनिल कुमार मिश्रा  
नगरपालिका प्रशासन (नगर)

अनिल कुमार मिश्रा  
नगरपालिका प्रशासन (नगर)

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नगरपालिका प्रशासन (नगर)

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नगरपालिका प्रशासन (नगर)

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अनिल कुमार मिश्रा  
नगरपालिका प्रशासन (नगर)

अनिल कुमार मिश्रा  
नगरपालिका प्रशासन (नगर)

अनिल कुमार मिश्रा  
नगरपालिका प्रशासन (नगर)

अनिल कुमार मिश्रा  
नगरपालिका प्रशासन (नगर)

SPECIFICATIONS:	
<b>Foundation</b>	- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
<b>Superstructure</b>	- Composite structure with brick work & R.C.C. columns as per structural design (earthquake resistant)
<b>Slab</b>	- R.C.C. slab as per structural design in M.25 grade conc.
<b>Joinery</b>	- Door frames in sal wood with 32mm commercial board shutter, Windows in aluminium /UPVC.
<b>Flooring</b>	- Vitrified tiles/marble/kota/c.c.
<b>Painting</b>	- O.B.D. inside & cement based waterproofing paint outside.
<b>Plaster</b>	- 12mm plaster in 1:6 c.m.
<b>Plumbing &amp; sanitary fitting</b>	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
<b>Electrical work</b>	- Conduiting, wiring & M.C.B. with I.S.I. marked material.

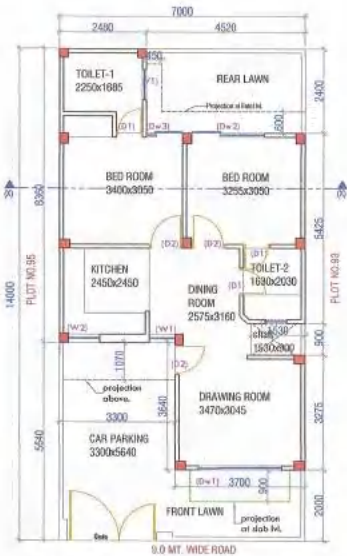
<b>HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITIKHERA, PARGANA-BIJNAUR, TEHSIL-SAROJINI NAGAR, LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW</b>	
PLOT NO. 162	
Developer:	Eldeco housing & industries ltd.
NOTES:	
1. Architect shall not be responsible for any deviation at site by the developer.	
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A. SUBMISSION.	
3. Layout approved vide permit no 2095, dated 16.03.2021.	

DOOR/WINDOW SCHEDULE :	
S.NO.	TYPE
1.	D1
2.	D2
3.	W1
4.	W2
5.	W3
6.	V1
7.	W4
8.	W5

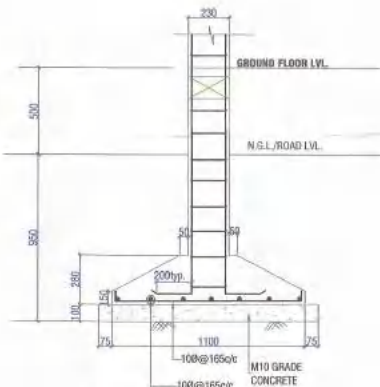
AREA STATEMENT :	SQ. MT.
1.) TOTAL PLOT AREA	112.50sq.mt.
2.) COVERED AREA ON GROUND FLOOR	72.51sq.mt.
3.) OPEN AREA	39.99sq.mt.
4.) TOTAL BUILT-UP AREA(2)-FOR F.A.R.	72.51sq.mt.
5.) GROUND COVERAGE ACHIEVED	64.45%
6.) F.A.R. ACHIEVED	0.64

DEVELOPER	ARCHITECT
	Ar. Sreyas Kumar Gupta
	101/F- Preet Corporate Chambers-1,
	Vicinity A/road, Gomti Nagar,
	Lucknow-226010
	Ph No. 2666666, 2415114550
	email: spaces.arch@gmail.com

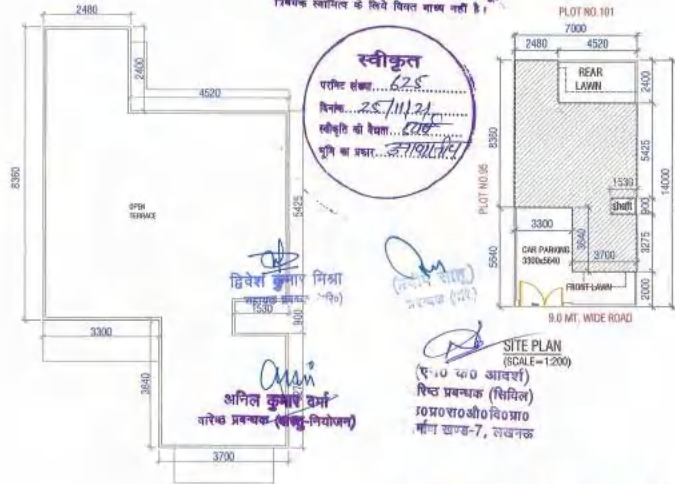




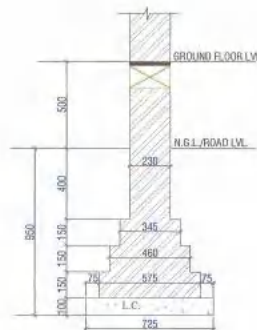
GROUND FLOOR PLAN  
(SCALE=1:100)



TYP. SECTION OF COLUMN FOOTING  
(Scale=1:20)



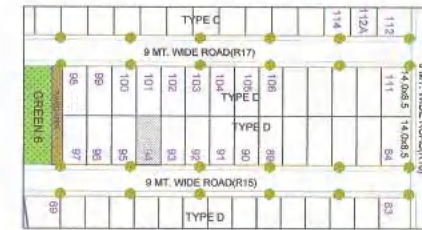
TERRACE PLAN  
(SCALE=1:100)



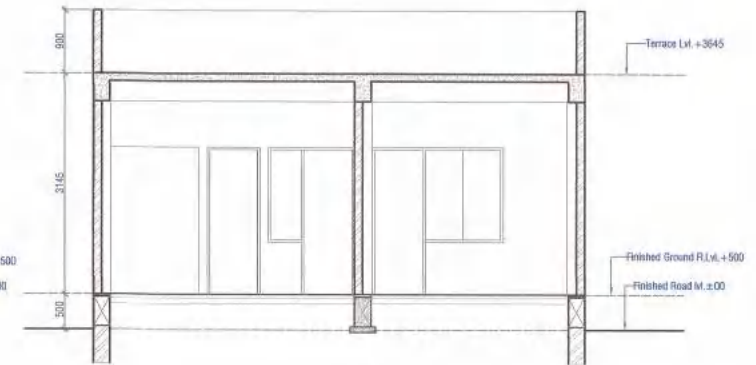
TYP. SECTION FOR 230 THK BRICK WALL  
(Scale=1:20)



FRONT ELEVATION  
(SCALE=1:100)



LOCATION PLAN  
(NOT TO SCALE)



SECTION X-X  
(SCALE=1:50)

#### SPECIFICATIONS:

<b>Foundation</b>	- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
<b>Superstructure</b>	- Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
<b>Slab</b>	- R.C.C. slab as per structural design in M:25 grade conc.
<b>Joinery</b>	- Door frames in sal wood with 32mm commercial board shutter, Windows in aluminium / UPVC.
<b>Flooring</b>	- Vitrified tiles/marble/kota/c.c.
<b>Painting</b>	- O.I.D. inside & cement based waterproofing paint outside.
<b>Plaster</b>	- 12mm plaster in 1:6 c.m.
<b>Plumbing &amp; sanitary fitting</b>	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
<b>Electrical work</b>	- Conduiting, wiring & M.C.B. with I.S.I. marked material.

HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITIKHERA, PARGANA-BUNAUR, TEHSIL-SARAJINI NAGAR, LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW

PLOT NO. 94

Developer:  
Eldeco housing & industries Ltd.

NOTES:  
1. Architect shall not be responsible for any deviation at site by the developer.  
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A. SUBMISSION.  
3. Layout approved vide permit no.2095, dated 10.03.2021.

S.NO.	TYPE	SIZE
1.	DT	760 X 2100
2.	DT	950 X 2100
3.	W1	735 X 1200
4.	W2	765 X 1050
5.	DNV1	2145 X 2400
6.	V1	600 X 800
7.	DNV2	1185 X 2100
8.	DNV3	2075 X 2100

#### AREA STATEMENT :

	SQ. MT.
1.) TOTAL PLOT AREA	98.00sq.mt.
2.) COVERED AREA ON GROUND FLOOR	61.04sq.mt.
3.) OPEN AREA	36.96sq.mt.
4.) TOTAL BUILT-UP AREA(2)-FOR F.A.R.	61.04sq.mt.
5.) GROUND COVERAGE ACHIEVED	62.29%
6.) F.A.R. ACHIEVED	0.623

#### DEVELOPER

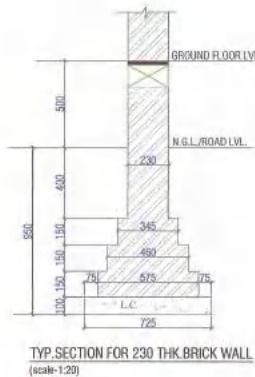
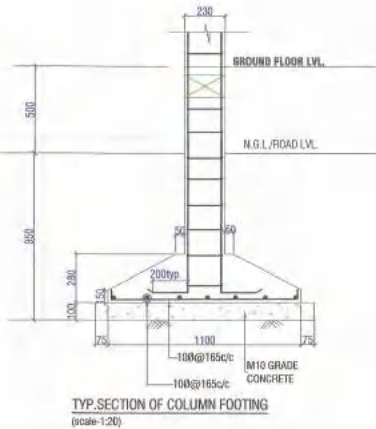
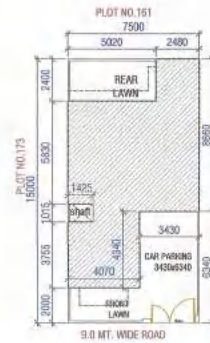
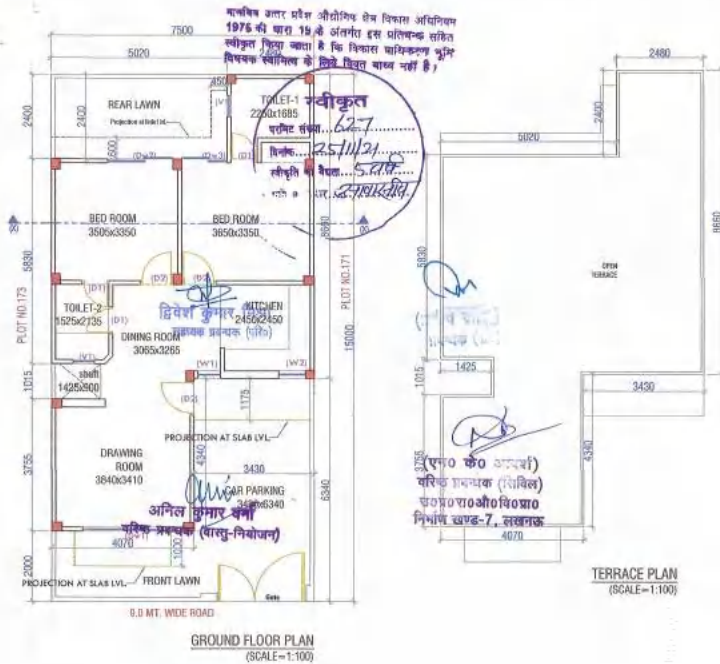


#### ARCHITECT









#### SPECIFICATIONS:

<b>Foundation</b>	- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
<b>Superstructure</b>	- Composite structure with brick work & R.C.C. columns as per structural design (earthquake resistant)
<b>Slab</b>	- R.C.C. slab as per structural design in M:25 grade conc.
<b>Joinery</b>	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
<b>Flooring</b>	- Vitrified tiles/marble/kota/c.c.
<b>Painting</b>	- O.B.D. inside & cement based waterproofing paint outside.
<b>Plaster</b>	- 12mm plaster in 1:6 c.m.
<b>Plumbing &amp; Sanitary Fitting</b>	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
<b>Electrical work</b>	- Conducting, wiring & M.C.B. with I.S.I. marked material.

**HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITIKHERA, PARGANA-BIJNAUR, TEHSIL-SAROJINI NAGAR, LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW**

PLOT NO. 172

Developer:

Eldeco housing & industries ltd.

NOTES:

1. Architect shall not be responsible for any deviation at site by the developer.
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A. SUBMISSION.
3. Layout approved vide permit no.2095, dated 16.03.2021.

#### DOOR/ WINDOW SCHEDULE :

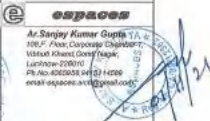
S.NO.	TYPE	SIZE
1.	D1	760 X 2100
2.	D2	650 X 2100
3.	W1	635 X 1200
4.	W2	765 X 1050
5.	DW1	2290 X 2400
6.	W1	600 X 600
7.	DW2	1870 X 2100
8.	DW3	1285 X 2100

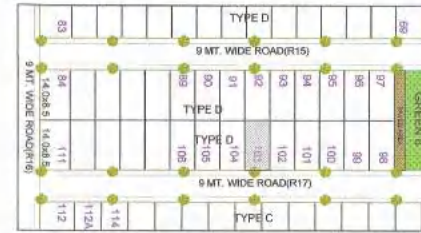
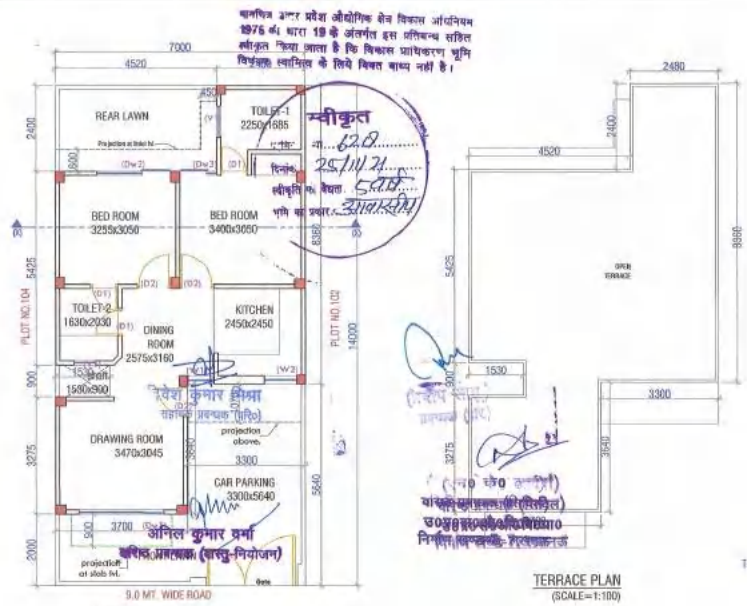
#### AREA STATEMENT :

	SQ. MT.
1.) TOTAL PLOT AREA	112.50sq.mt.
2.) COVERED AREA ON GROUND FLOOR	72.51sq.mt.
3.) OPEN AREA	39.99sq.mt.
4.) TOTAL BUILT-UP AREA(2)-FOR F.A.R.	72.51sq.mt.
5.) GROUND COVERAGE ACHIEVED	64.45%
6.) F.A.R. ACHIEVED	0.64

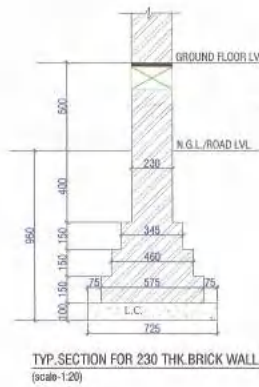
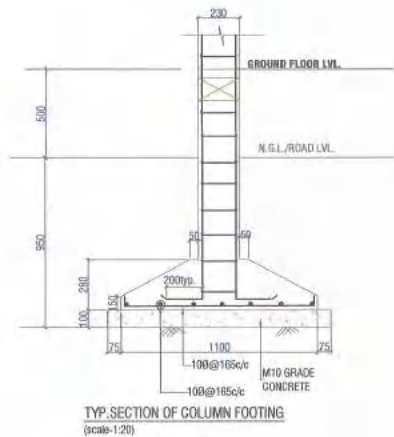
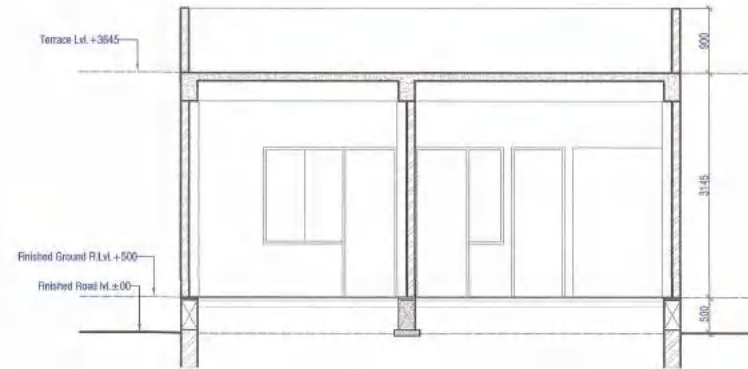
#### DEVELOPER

#### ARCHITECT





**TERRACE PLAN**  
(SCALE=1:100)



#### SPECIFICATIONS:

<b>Foundation</b>	- Stopped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
<b>Superstructure</b>	- Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant).
<b>Slab</b>	- R.C.C. slab as per structural design in M.25 grade conc.
<b>Joinery</b>	- Door frames in sal wood with 32mm commercial board shutter, Windows in aluminium /UPVC.
<b>Flooring</b>	- Vitrified tiles/marble/kota/c.c.
<b>Painting</b>	- O.B.D. inside & cement based waterproofing paint outside.
<b>Plaster</b>	- 12mm plaster in 1:6 c.m.
<b>Plumbing &amp; Sanitary fitting</b>	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
<b>Electrical work</b>	- Conducting, wiring & M.C.B. with I.S.I. marked material.

**HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITHIKHERA, PARGANA-BIJNAUR, TEHSIL-SAROJINI NAGAR, LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW**

PLOT NO. 103

Developer:  
**Eldeco housing & industries Ltd.**

#### NOTES:

1. Architect shall not be responsible for any deviation at site by the developer.
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A SUBMISSION.
3. Layout approved vide permit no.2095, dated 16.03.2021.

DOOR/ WINDOW SCHEDULE :		
S.NO.	TYPE	SIZE
1.	D1	760 X 2100
2.	D2	950 X 2100
3.	W1	735 X 1200
4.	W2	765 X 1050
5.	DW1	2145 X 2400
6.	V1	600 X 600
7.	DW2	1035 X 2100
8.	DW3	2075 X 2100

#### AREA STATEMENT :

	SQ. MT.
1.) TOTAL PLOT AREA	98.00sq.mt.
2.) COVERED AREA ON GROUND FLOOR	61.04sq.mt.
3.) OPEN AREA	36.96sq.mt.
4.) TOTAL BUILT-UP AREA(2)-FOR F.A.R.	61.04sq.mt.
5.) GROUND COVERAGE ACHIEVED	62.29%
6.) F.A.R. ACHIEVED	0.623

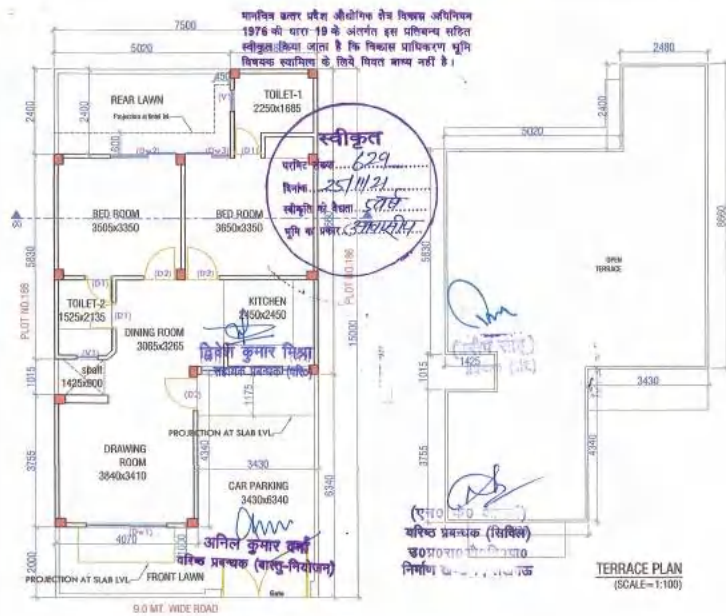
#### DEVELOPER



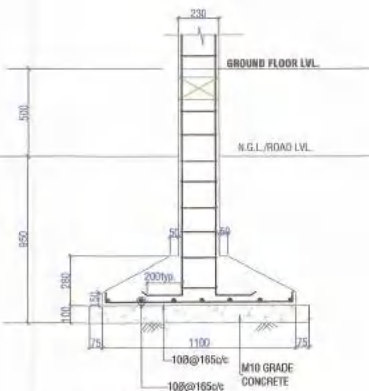
#### ARCHITECT



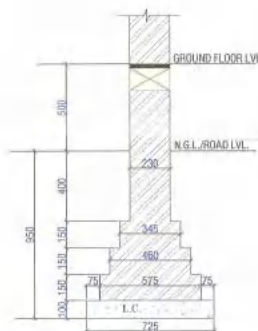




GROUND FLOOR PLAN  
(SCALE=1:100)



TYP. SECTION OF COLUMN FOOTING  
(scale=1:20)



TYP. SECTION FOR 230 THK. BRICK WALL  
(scale=1:20)



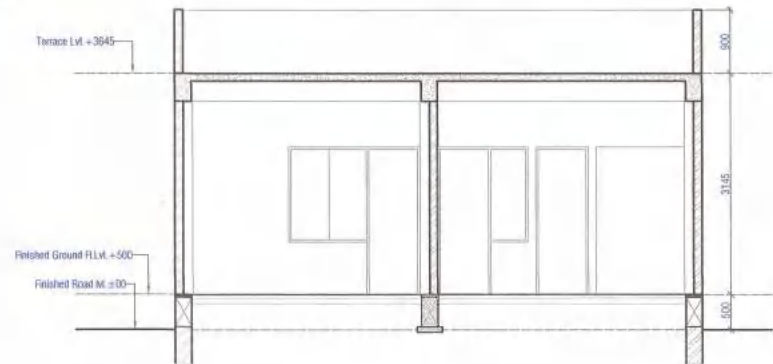
SITE PLAN  
(SCALE=1:200)



LOCATION PLAN  
(NOT TO SCALE)



FRONT ELEVATION  
(SCALE=1:100)



SECTION X-X  
(SCALE=1:50)

#### SPECIFICATIONS:

<b>Foundation</b>	- Stopped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
<b>Superstructure</b>	- Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
<b>Slab</b>	- R.C.C. slab as per structural design in M.25 grade conc.
<b>Joinery</b>	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
<b>Flooring</b>	- Vitrified tiles/marble/kota/c.c.
<b>Painting</b>	- O.B.D. inside & cement based waterproofing paint outside.
<b>Plaster</b>	- 12mm plaster in 1:6 c.m.
<b>Plumbing &amp; sanitary fitting</b>	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
<b>Electrical work</b>	- Conduiting, wiring & M.C.B. with I.S.I. marked material.

**HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITHIKHERA, PARGANA-BIJNAUR, TEHSIL-SAROJINI NAGAR, LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW**

PLOT NO. 187

Developer:  
**Eldeco housing & industries ltd.**

NOTES:

1. Architect shall not be responsible for any deviation at site by the developer.
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A. SUBMISSION.
3. Layout approved vide permit no.2095, dated 16.03.2021.

#### DOOR/ WINDOW SCHEDULE :

S.NO.	TYPE	SIZE
1	D1	780 X 2100
2	D2	950 X 2100
3	W1	835 X 1200
4	W2	765 X 1050
5	OW1	2250 X 2400
6	V1	800 X 600
7	DW2	1870 X 2100
8	DW3	1285 X 2100

#### AREA STATEMENT :

	SQ. MT.
1.) TOTAL PLOT AREA	112.50sq.mt.
2.) COVERED AREA ON GROUND FLOOR	72.51sq.mt.
3.) OPEN AREA	39.99sq.mt.
4.) TOTAL BUILT-UP AREA(2)-FOR F.A.R.	72.51sq.mt.
5.) GROUND COVERAGE ACHIEVED	64.45%
6.) F.A.R. ACHIEVED	0.64

#### DEVELOPER



#### ARCHITECT

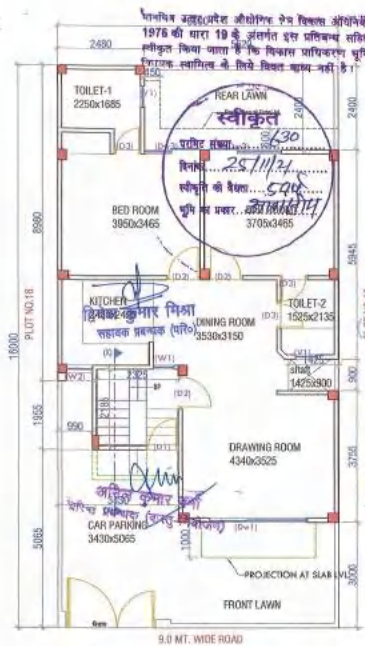
**Ar. Sanjay Kumar Gupta**

100 F. Floor, Ganga Sagar, Lucknow-226005

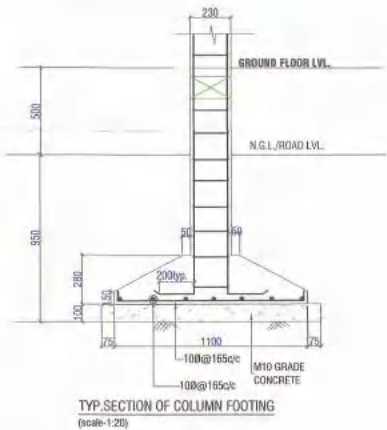
Ph No. 405566, 405567, 405568

email: sanjaygupta100f@gmail.com

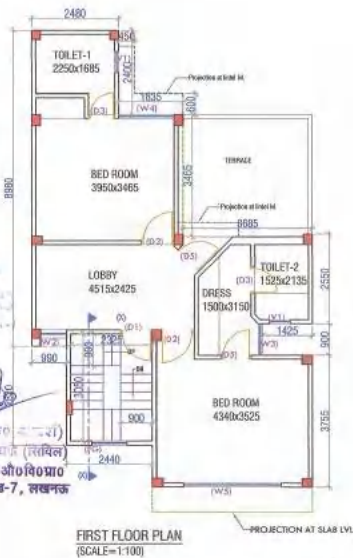




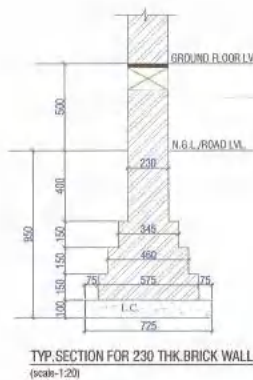
GROUND FLOOR PLAN  
(SCALE=1:100)



TYP. SECTION OF COLUMN FOOTING  
(Scale=1:20)



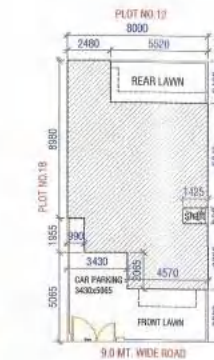
FIRST FLOOR PLAN  
(SCALE=1:100)



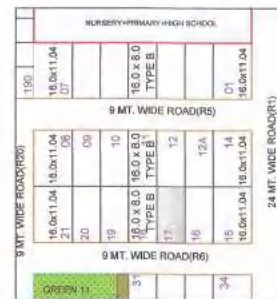
TYP. SECTION FOR 230 THK BRICK WALL  
(Scale=1:20)



TERRACE PLAN  
(SCALE=1:100)



SITE PLAN  
(SCALE=1:200)



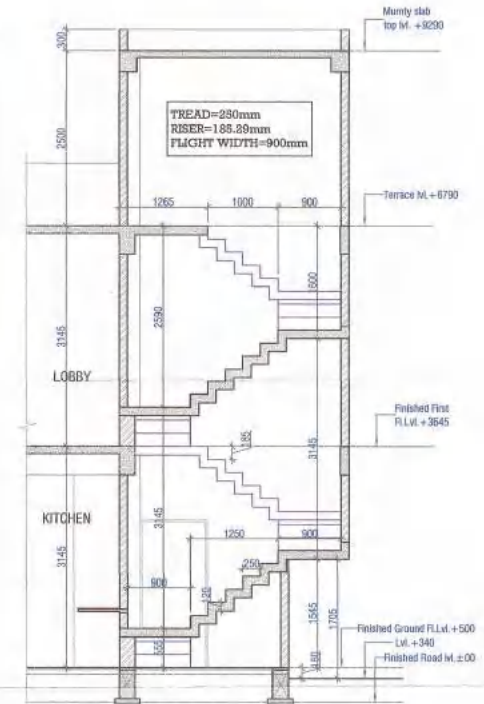
LOCATION PLAN  
(NOT TO SCALE)

#### SPECIFICATIONS:

<b>Foundation</b>	- Stepped brick footing in 1:8 c.m. as per structural design with r.c.c. columns as per design.
<b>Superstructure</b>	- Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
<b>Slab</b>	- R.C.C. slab as per structural design in M.25 grade conc.
<b>Joinery</b>	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
<b>Flooring</b>	- Vitrified tiles/marble/kota/c.c.
<b>Painting</b>	- O.B.D. inside & cement based waterproofing paint outside.
<b>Plaster</b>	- 12mm plaster in 1:8 c.m.
<b>Plumbing &amp; Sanitary fitting</b>	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
<b>Electrical work</b>	- Conduiting, wiring & M.C.B. with I.S.I. marked material.



FRONT ELEVATION  
(SCALE=1:100)



SECTION X-X  
(SCALE=1:50)

<b>HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITIKHERA, PARGANA-BIJNAUR, TEHSIL-SAROJINI NAGAR, LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW</b>	
PLOT NO. 17	
Developer: <b>Eldeco housing &amp; Industries Ltd.</b>	
NOTES:	
1. Architect shall not be responsible for any deviation at site by the developer.	
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A. SUBMISSION.	
3. Layout approved vide permit no.2095, dated 16.03.2021.	

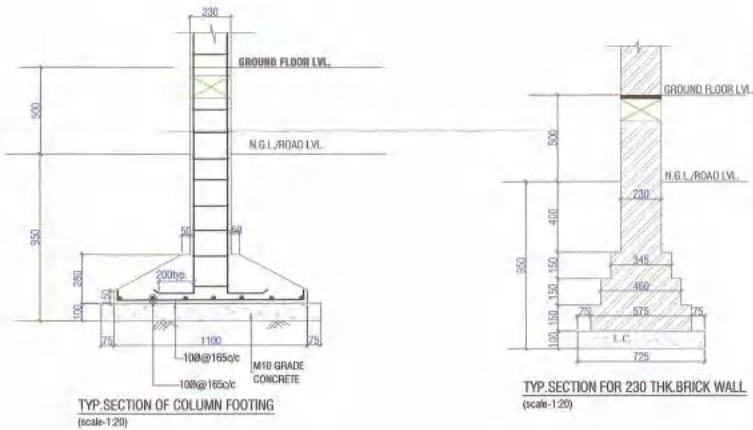
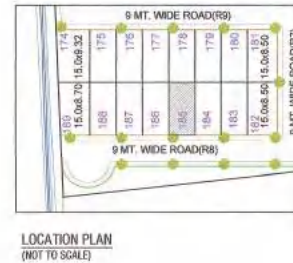
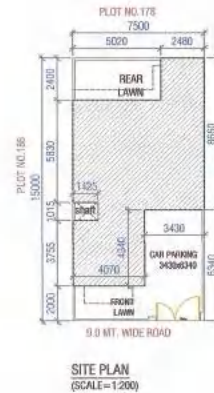
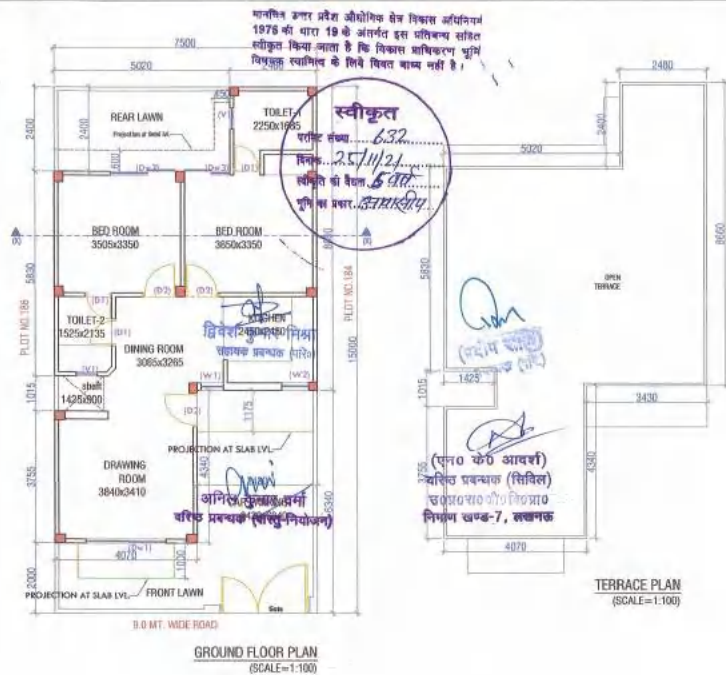
S.NO.	TYPE	SIZE
1.	D1	900 X 2100
2.	D2	950 X 2100
3.	D3	750 X 2100
4.	W1	600 X 1200
5.	W2	740 X 1050
6.	W3	800 X 1200
7.	DW1	2700 X 2400
8.	W1	600 X 600
9.	W4	1585 X 1200
10.	W5	2700 X 1200
11.	DW2	2070 X 2100
12.	DW3	1585 X 2100

AREA STATEMENT :	SQ. MT.	AREA STATEMENT :	SQ. MT.
1.) TOTAL PLOT AREA	128.00sq.mt.	7.) GROUND COVERAGE ACHIEVED	64.13%
2.) COVERED AREA ON GROUND FLOOR	82.08sq.mt.	8.) F.A.R. ACHIEVED	1.26
3.) COVERED AREA ON FIRST FLOOR	71.45sq.mt.		
4.) OPEN AREA	45.95sq.mt.		
5.) MUMTY AREA	8.00sq.mt.		
6.) TOTAL BUILT-UP AREA(2+3+5)-FOR F.A.R.	161.53sq.mt.		

DEVELOPER	ARCHITECT
	<b>Dr. Sanjay Kumar Gupta</b> ROK.F. Peer Cooperative Chak 177 Village: Khandwa, District: Gwalior Lucknow-226010 PH (0522) 226010 Email: sanjaygupta@eldecoproperties.com







**SPECIFICATIONS:**

<b>Foundation</b>	- Stepped brick footing in 1:6 c.m. as per structural design with t.c.c. columns as per design.
<b>Superstructure</b>	- Composite structure with brick work & R.C.C. columns as per structural design.(earthquake resistant)
<b>Slab</b>	- R.C.C. slab as per structural design in M:25 grade conc.
<b>Joinery</b>	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
<b>Flooring</b>	- Vitrified tiles/marble/kota/c.c.
<b>Painting</b>	- O.B.D. inside & cement based waterproofing paint outside.
<b>Plaster</b>	- 12mm plaster in 1:6 c.m.
<b>Plumbing &amp; Sanitary fitting</b>	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
<b>Electrical work</b>	- Conduiting, wiring & M.C.B. with I.S.I. marked material.

**HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITIKHERA, PARGANA-BIJNAUR, TEHSIL-SAROJINI NAGAR, LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW**

PLOT NO. 185

Developer:  
**Eldeco housing & industries Ltd.**

**NOTES:**  
1. Architect shall not be responsible for any deviation at site by the developer.  
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE I.D.A. SUBMISSION.  
3. Layout approved vide permit no.2095, dated 16.03.2021.

**DOOR/WINDOW SCHEDULE :**

S.NO.	TYPE	SIZE
1.	D1	780 X 2100
2.	D2	950 X 2100
3.	W1	635 X 3200
4.	W2	785 X 1050
5.	DW1	2250 X 2400
6.	V1	600 X 600
7.	W22	1810 X 2100
8.	DW3	1285 X 2100

**AREA STATEMENT :**

	SQ. MT.
1.) TOTAL PLOT AREA	112.50sq.mt.
2.) COVERED AREA ON GROUND FLOOR	72.51sq.mt.
3.) OPEN AREA	39.99sq.mt.
4.) TOTAL BUILT-UP AREA(2)-FOR F.A.R.	72.51sq.mt.
5.) GROUND COVERAGE ACHIEVED	64.45%
6.) F.A.R. ACHIEVED	0.64

**DEVELOPER**

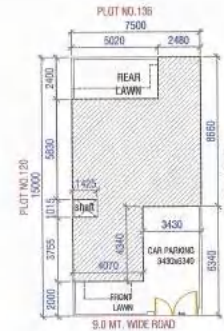
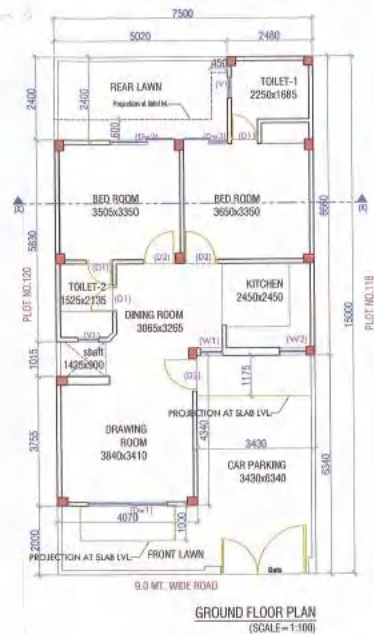
**ARCHITECT**

**Eldeco housing & industries Ltd.**

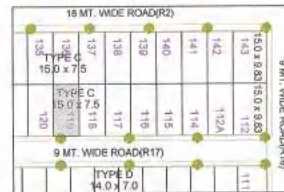
**Ar. Sanjay Kumar Gupta**  
106/F. Floor, Durgam Chatterjee, Vaidya Prasad Chatterjee, Lucknow-226002, U.P. India  
Ph No. 4082855, 4081188  
email: sanjaykumar@eldecopvt.com

20/10/21

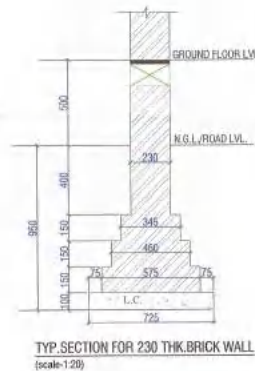
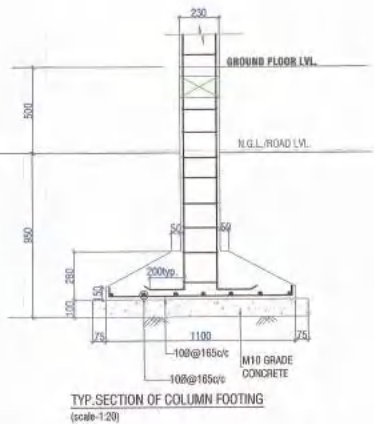
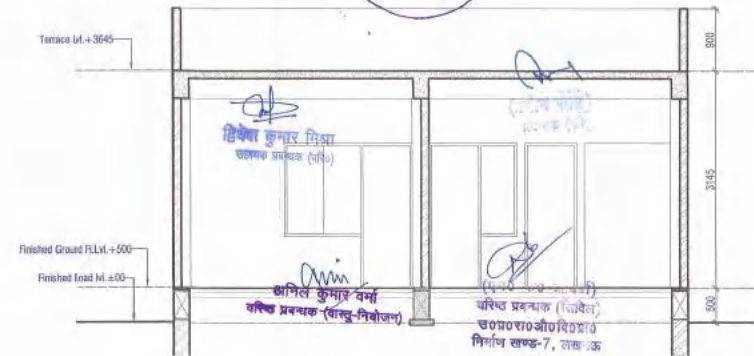




**SITE PLAN**  
(SCALE=1:200)



स्वीकृत  
राशि संख्या... 59.6  
दिनांक... 25/11/21  
स्थिति का स्थान... 59.6  
श्री व. प्रकाश... अग्रिम



#### SPECIFICATIONS:

- Foundation** - Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
- Superstructure** - Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
- Slab** - R.C.C. slab as per structural design in M.20 grade conc.
- Joinery** - Door frames in sal wood with 32mm commercial board shutters. Windows in aluminium /UPVC.
- Flooring** - Vitrified tiles/marble/kota/c.c.
- Painting** - O.B.D. inside & cement based waterproofing paint outside.
- Plaster** - 12mm plaster in 1:6 c.m.
- Plumbing & sanitary fitting** - All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
- Electrical work** - Conducting, wiring & M.C.B. with I.S.I. marked material.

**HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITHKHERA, PARGANA-BIJNAUR, TEHSIL-SARAJINI NAGAR, LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW**

PLOT NO. 119

Developer:

Eldeco housing & industries Ltd.

NOTES:

1. Architect shall not be responsible for any deviation at site by the developer.
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A. SUBMISSION.
3. Layout approved vide permit no.2055, dated 16.03.2021.

#### DOOR/WINDOW SCHEDULE :

S.NO.	TYPE	SIZE
1.	D1	750 X 2100
2.	D2	850 X 2100
3.	W1	635 X 1200
4.	W2	705 X 1000
5.	DW1	2200 X 2400
6.	W1	600 X 600
7.	DW2	1870 X 2100
8.	DW3	1285 X 2100

#### AREA STATEMENT :

	SQ. MT.
1.) TOTAL PLOT AREA	112.50sq.mt.
2.) COVERED AREA ON GROUND FLOOR	72.51sq.mt.
3.) OPEN AREA	39.99sq.mt.
4.) TOTAL BUILT-UP AREA(2)-FOR F.A.R.	72.51sq.mt.
5.) GROUND COVERAGE ACHIEVED	64.45%
6.) F.A.R. ACHIEVED	0.64

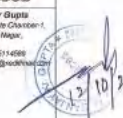
#### DEVELOPER

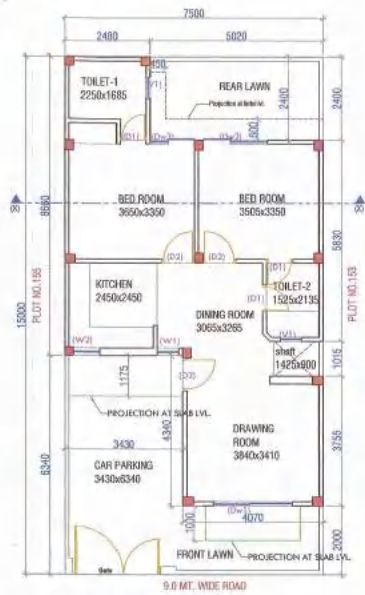


#### ARCHITECT

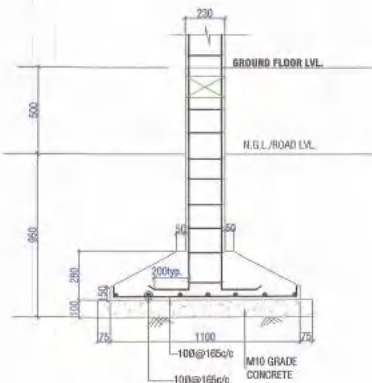
**Ar. Sanjay Kumar Gupta**

100, F. Floor, Corporate Chandra-1,  
Industrial Estate, Gurgaon, Haryana,  
Lucknow-226001  
P.O. Box 42058002, 110017-0500  
email: s.k.gupta@eldecoindia.com





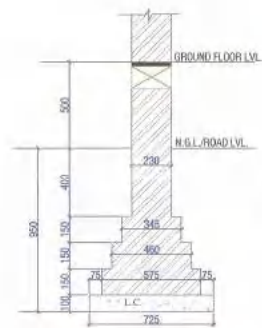
GROUND FLOOR PLAN  
(SCALE=1:100)



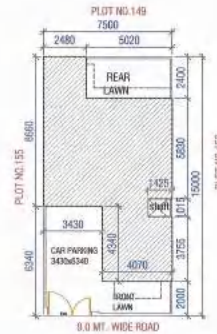
TYP. SECTION OF COLUMN FOOTING  
(Scale=1:20)



TERRACE PLAN  
(SCALE=1:100)



TYP. SECTION FOR 230 THK. BRICK WALL  
(Scale=1:20)



SITE PLAN  
(SCALE=1:200)



LOCATION PLAN  
(NOT TO SCALE)

#### SPECIFICATIONS:

<b>Foundation</b>	- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
<b>Superstructure</b>	- Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
<b>Slab</b>	- R.C.C. slab as per structural design in M-25 grade conc.
<b>Joinery</b>	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
<b>Flooring</b>	- Vitrified tiles/marble/kota/c.e.
<b>Painting</b>	- O.B.D. inside & cement based waterproofing paint outside.
<b>Plaster</b>	- 12mm plaster in 1:6 c.m.
<b>Plumbing &amp; sanitary fitting</b>	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
<b>Electrical work</b>	- Conduiting, wiring & M.C.B. with I.S.I. marked material.



FRONT ELEVATION  
(SCALE=1:100)



SECTION X-X  
(SCALE=1:50)

मानविक अंतर और औद्योगिक क्षेत्र विकास और नियंत्रण  
1975 की धारा 19 के अंतर्गत इस प्रतिक्रिया तहत  
स्वीकृत किया जाता है कि विकास प्राधिकरण भूमि  
विकास प्राधिकरण के विषय में विवाद नहीं है।

स्वीकृत  
तारीख 25/11/21  
विवरण 595  
विवरण 595  
भूमि का प्रकार 595

HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITHIKHERA,  
PARGANA-BIJNAUR, TEHSIL-SAROJINI NAGAR,  
LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW

PLOT NO. 154

Developer:  
Eldeco housing & industries ltd.

NOTES:  
1. Architect shall not be responsible for any deviation at site by the developer.  
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A. SUBMISSION.  
3. Layout approved vide permit no.2095, dated 16.03.2021.

DOOR/ WINDOW	SCHEDULE :
1. D1	780 X 2100
2. D2	850 X 2100
3. W1	835 X 1500
4. W2	755 X 1050
5. W3	2250 X 2500
6. W4	600 X 800
7. D3	1870 X 2100
8. D4	1285 X 2100

AREA STATEMENT :	SQ. MT.
1.) TOTAL PLOT AREA	112.50sq.mt.
2.) COVERED AREA ON GROUND FLOOR	72.51sq.mt.
3.) OPEN AREA	39.99sq.mt.
4.) TOTAL BUILT-UP AREA(2)-FOR F.A.R.	72.51sq.mt.
5.) GROUND COVERAGE ACHIEVED	64.45%
6.) F.A.R. ACHIEVED	0.64

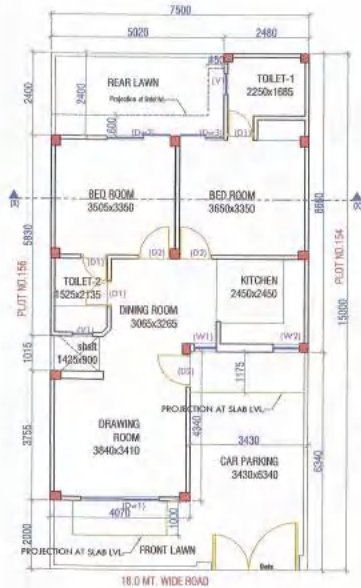
DEVELOPER

ARCHITECT



Ar. Sanjay Kumar  
108/2, Preeti Complex, Lucknow  
Lucknow  
Ar. Sanjay Kumar  
108/2, Preeti Complex, Lucknow  
Lucknow

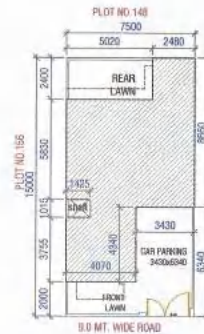




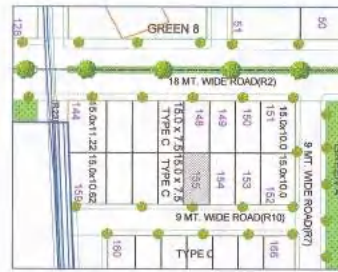
GROUND FLOOR PLAN  
(SCALE=1:100)



TERRACE PLAN  
(SCALE=1:100)



SITE PLAN  
(SCALE=1:200)



LOCATION PLAN  
(NOT TO SCALE)



FRONT ELEVATION  
(SCALE=1:100)

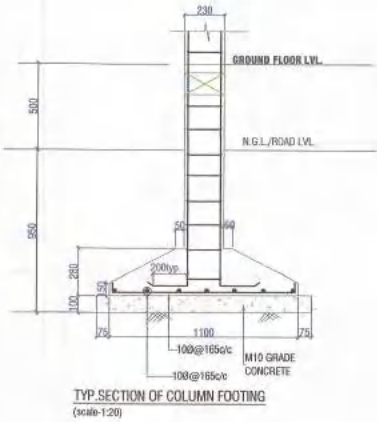


SECTION X-X  
(SCALE=1:50)

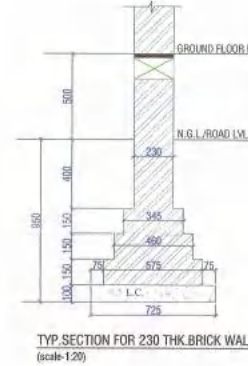
कनिष्ठ अंतर ग्रौंड कोटिंग वीर विकास ऑनियम  
1976 की बारा 18 के अंतर्गत इस प्रोपियरिटी माफत  
स्वीकृत किया जाता है कि विकास प्राधिकरण नति  
नियमक स्वागित के सिवे बिना काम नही है।

स्वीकृत  
परीक संख्या.....5.9.4  
दिनांक.....25/11/21  
स्वीकृत की वेतन.....5.7.18  
भूमि का प्रकार.....(आवासीय)

(1:10 की आधारी)  
वरिष्ठ प्रबन्धक (सिपिल)  
सुश्रुत राठौर वि० प्रा०  
सिपिल एजन्ट-7, लखनऊ



TYP. SECTION OF COLUMN FOOTING  
(Scale=1:20)



TYP. SECTION FOR 230 THK. BRICK WALL  
(Scale=1:20)

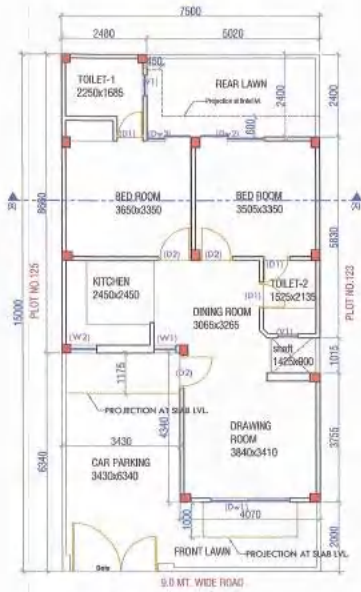
SPECIFICATIONS:	
Foundation	- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
Superstructure	- Composite structure with brick work & R.C.C. columns as per structural design (earthquake resistant)
Slab	- R.C.C. slab as per structural design in M:25 grade conc.
Joinery	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium/UPVC.
Flooring	- Vitrified tiles/marble/kota/c.c.
Painting	- O.B.D. inside & cement based waterproofing paint outside.
Plaster	- 12mm plaster in 1:6 c.m.
Plumbing & sanitary fitting	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
Electrical work	- Conducting, wiring & M.C.B. with I.S.I. marked material.

HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITIKHERA, PARGANA-BIJNAUR, TEHSIL-SARAJINI NAGAR, LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW	
PLOT NO. 155	
Developer: Eldeco housing & industries Ltd.	
NOTES: 1. Architect shall not be responsible for any deviation at site by the developer. 2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A. SUBMISSION. 3. Layout approved vide permit no.2095, dated 19.03.2021.	

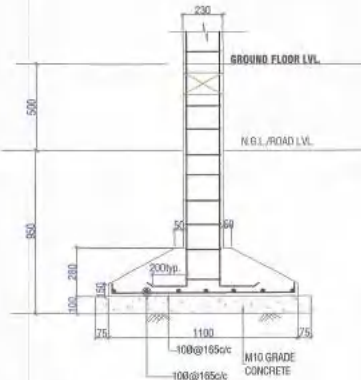
DOOR / WINDOW SCHEDULE :			
S.NO.	TYPE	SIZE	
1.	D1	750 X 2100	
2.	D2	950 X 2100	
3.	W1	635 X 1200	
4.	W2	705 X 1050	
5.	DW1	2250 X 2400	
6.	V1	600 X 600	
7.	DW2	1870 X 2100	
8.	DW3	1285 X 2100	

AREA STATEMENT :		SQ. MT.
1.) TOTAL PLOT AREA		112.50sq.mt.
2.) COVERED AREA ON GROUND FLOOR		72.51sq.mt.
3.) OPEN AREA		39.99sq.mt.
4.) TOTAL BUILT-UP AREA(2)-FOR F.A.R.		72.51sq.mt.
5.) GROUND COVERAGE ACHIEVED		64.45%
6.) F.A.R. ACHIEVED		0.64

DEVELOPER	ARCHITECT
	
	A.S. Sanjay Kumar Gupta 100% Floor Corporate Chamber-5, Vasant Vihar, New Delhi-110047. A.S. Sanjay Kumar Gupta 100% Floor Corporate Chamber-5, Vasant Vihar, New Delhi-110047. 100% Floor Corporate Chamber-5, Vasant Vihar, New Delhi-110047.



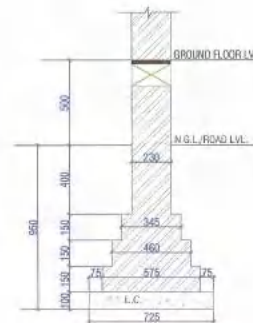
GROUND FLOOR PLAN  
(SCALE=1:100)



TYP. SECTION OF COLUMN FOOTING  
(Scale=1:20)



TERRACE PLAN  
(SCALE=1:100)



TYP. SECTION FOR 230 THK. BRICK WALL  
(Scale=1:20)



SITE PLAN  
(SCALE=1:200)



LOCATION PLAN  
(NOT TO SCALE)

#### SPECIFICATIONS:

##### Foundation

- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.

##### Superstructure

- Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)

##### Slab

- R.C.C. slab as per structural design in M:25 grade conc.

##### Joinery

- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.

##### Flooring

- Vitrified tiles/marble/kota/c.c.

##### Painting

- O.B.D. inside & cement based waterproofing paint outside.

##### Plaster

- 12mm plaster in 1:6 c.m.

##### Plumbing & sanitary fitting

- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.

##### Electrical work

- Conduiting, wiring & M.C.B. with I.S.I. marked material.



FRONT ELEVATION  
(SCALE=1:100)



SECTION X-X  
(SCALE=1:50)

स्वीकृत  
प्रति संख्या 593  
दिनांक 25/11/21  
स्थिति की तैयारी 5/12/21  
प्रति का प्रकार आवासीय

विश्व कुमार मिश्रा  
सहस्रक प्रबंधक (सिविल)  
अनिल कुमार वर्मा  
सहस्रक प्रबंधक (सिविल-निर्माण)

Finished Ground R.L. = +500  
Lvl. = +340  
Finished Road Lvl. = 00  
सहस्रक प्रबंधक (सिविल) M. = 00  
सहस्रक प्रबंधक (सिविल) M. = 00  
सहस्रक प्रबंधक (सिविल) M. = 00

HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITIKHERA,  
PARGANA-BIJNAUR, TEHSIL-SAROJINI NAGAR,  
LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW

PLOT NO. 124

Developer:  
Eldeco housing & industries Ltd.

NOTES:  
1. Architect shall not be responsible for any deviation at site by the developer.  
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A. SUBMISSION.  
3. Layout approved vide permit no.2095, dated 16.03.2021.

#### DOOR/ WINDOW SCHEDULE:

S.NO.	TYPE	SIZE
1.	D1	750 X 2100
2.	D2	150 X 2100
3.	W1	635 X 1200
4.	W2	750 X 1050
5.	DW1	2250 X 2400
6.	V1	150 X 500
7.	DW2	1570 X 2100
8.	DW3	1285 X 2100

#### AREA STATEMENT:

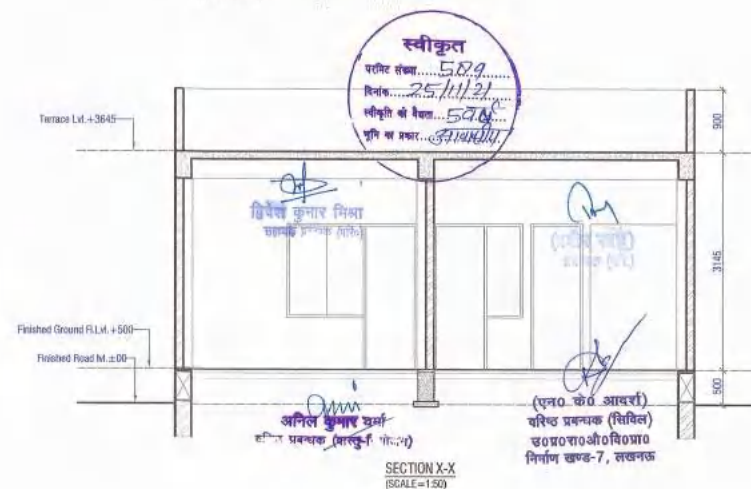
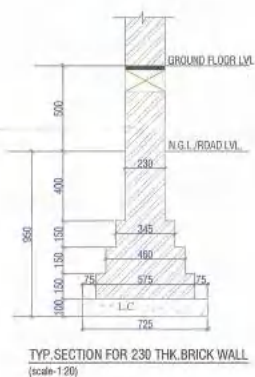
	SQ. MT.
1.) TOTAL PLOT AREA	112.50sq.mt.
2.) COVERED AREA ON GROUND FLOOR	72.51sq.mt.
3.) OPEN AREA	39.99sq.mt.
4.) TOTAL BUILT-UP AREA(2)-FOR F.A.R.	72.51sq.mt.
5.) GROUND COVERAGE ACHIEVED	64.45%
6.) F.A.R. ACHIEVED	0.64

#### DEVELOPER

#### ARCHITECT

Ar. Sanjay Kumar Gupta  
108/F, Preet Corporate Complex-1,  
Vikram Khand Gated Colony,  
Lucknow-226010  
Ph: 9405050505, 9405050505  
Email: sanjaykumar@eldecoproperties.com







<b><u>SPECIFICATIONS:</u></b>	
<b>Foundation</b>	- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
<b>Superstructure</b>	- Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
<b>Slab</b>	- R.C.C. slab as per structural design in M:25 grade conc.
<b>Joinery</b>	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
<b>Flooring</b>	- Vitrified tiles/marble/kota/c.c.
<b>Painting</b>	- O.B.D. inside & cement based waterproofing paint outside.
<b>Plaster</b>	- 12mm plaster in 1:6 c.m.
<b>Plumbing &amp; sanitary fitting</b>	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
<b>Electrical work</b>	- Cabling, wiring & M.C.B. with I.S.I. marked material.

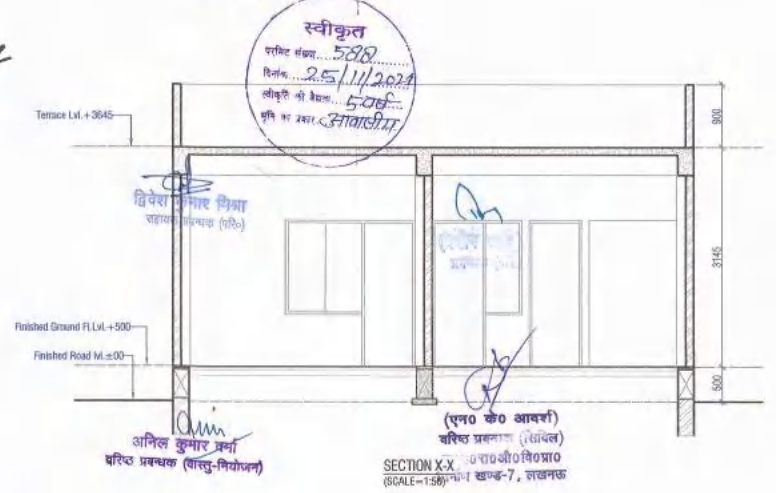
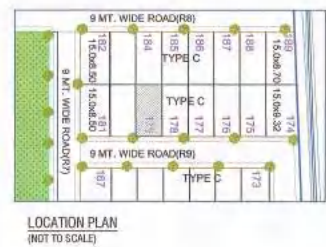
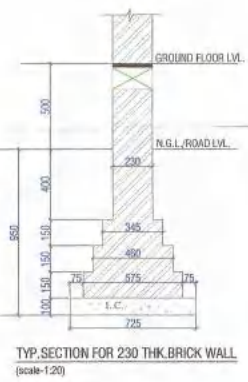
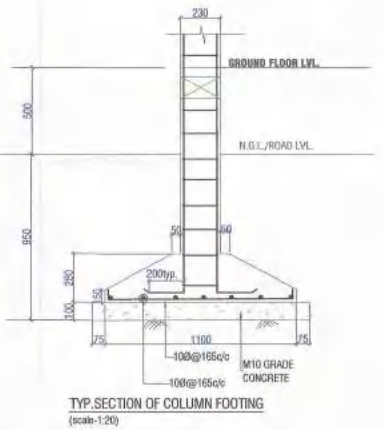
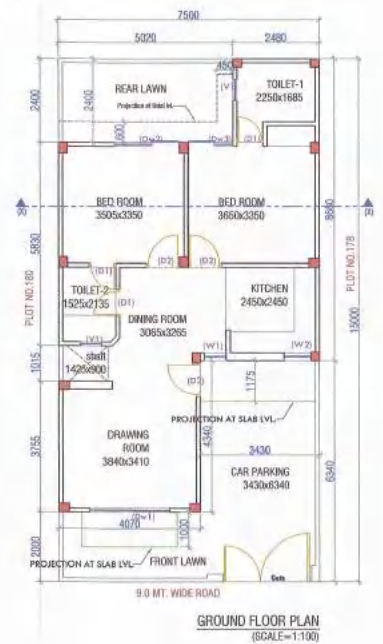
NOTES:

1. Architect shall not be responsible for any deviation at site by the developer.
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A SUBMISSION.
3. Layout approved vide permit no.2095, dated 16.03.2021.

[illegible]

AREA STATEMENT :	SQ. MT.
1.) TOTAL PLOT AREA	112.50sq.mt.
2.) COVERED AREA ON GROUND FLOOR	72.51sq.mt.
3.) OPEN AREA	39.99sq.mt.
4.) TOTAL BUILT-UP AREA(2)-FOR F.A.R.	72.51sq.mt.
5.) GROUND COVERAGE ACHIEVED	64.45%
6.) F.A.R. ACHIEVED	0.64

DEVELOPER	ARCHITECT
	 <p>Ac. Sanjay Kumar Gupta 202-F, Preeti, Gurgaon Vishnu Khanna, Gurgaon Lucknow-226010 Ph. No. 4020930, 44171436 email-expdesigns@gmail.com</p>



**SPECIFICATIONS:**

<b>Foundation</b>	- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
<b>Superstructure</b>	- Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
<b>Slab</b>	- R.C.C. slab as per structural design in M-28 grade conc.
<b>Joinery</b>	- Door frames in sal wood with 32mm commercial board shutter, Windows in aluminium /UPVC.
<b>Flooring</b>	- Vitrified tiles/marble/kota/c.c.
<b>Painting</b>	- O.B.D. inside & cement based waterproofing paint outside.
<b>Plaster</b>	- 12mm plaster in 1:6 c.m.
<b>Plumbing &amp; sanitary fitting</b>	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
<b>Electrical work</b>	- Conduiting, wiring & M.C.B. with I.S.I. marked material.

**HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITIKHERA, PARGANA-BIJNAUR, TEHSIL-SAROJINI NAGAR, LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW**

PLOT NO. 179

Developer:  
**Eldeco housing & industries Ltd.**

**NOTES:**

1. Architect shall not be responsible for any deviation at site by the developer.
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A. SUBMISSION.
3. Layout approved vide permit no.2095, dated 16.03.2021.

**DOOR/ WINDOW SCHEDULE :**

S.NO.	TYPE	SIZE
1.	D1	760 X 2100
2.	D2	950 X 2100
3.	W1	635 X 1200
4.	W2	765 X 1050
5.	FW1	2500 X 2400
6.	V1	600 X 600
7.	OW2	1870 X 2100
8.	OW3	1285 X 2100

**AREA STATEMENT :**

	SQ. MT.
1.) TOTAL PLOT AREA	112.50sq.mt.
2.) COVERED AREA ON GROUND FLOOR	72.51sq.mt.
3.) OPEN AREA	39.99sq.mt.
4.) TOTAL BUILT-UP AREA(2)-FOR F.A.R.	72.51sq.mt.
5.) GROUND COVERAGE ACHIEVED	64.45%
6.) F.A.R. ACHIEVED	0.64

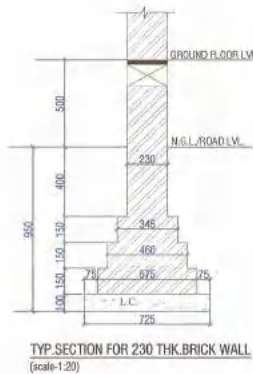
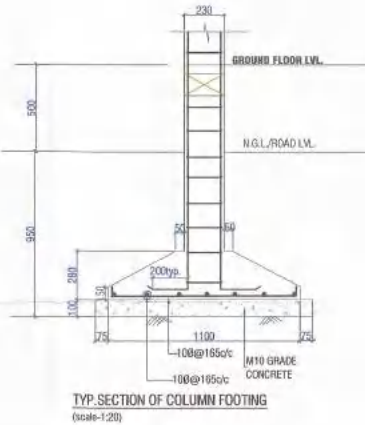
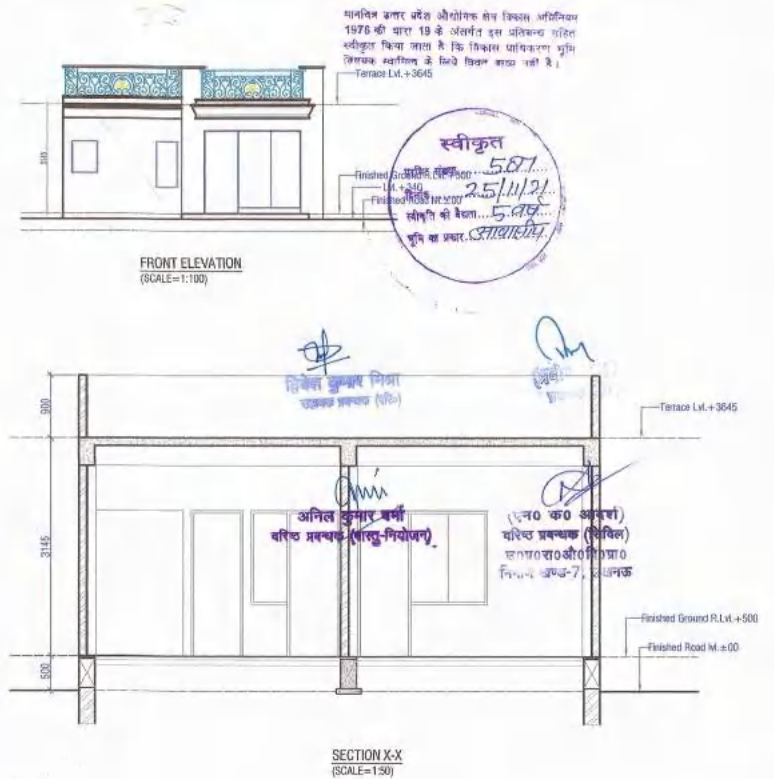
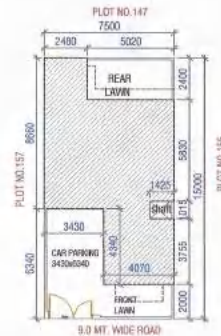
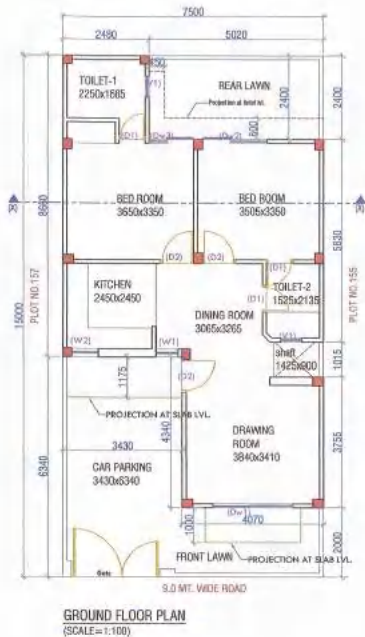
**DEVELOPER**

**ARCHITECT**

**Ar. Sanjay Kumar Gupta**  
100/1, Phase-2, Ganga Nagar, Lucknow-226010  
Email: sanjaykumar.gupta@eldecosolutions.com

**Kumar Gupta**  
100/1, Phase-2, Ganga Nagar, Lucknow-226010  
Email: kumar.gupta@eldecosolutions.com





#### SPECIFICATIONS:

<b>Foundation</b>	-Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
<b>Superstructure</b>	- Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
<b>Slab</b>	- R.C.C. slab as per structural design in M-25 grade conc.
<b>Joinery</b>	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
<b>Flooring</b>	- Vitrified tiles/marble/kota/c.e.
<b>Painting</b>	- O.B.D. inside & cement based waterproofing paint outside.
<b>Plaster</b>	- 12mm plaster in 1:6 c.m.
<b>Plumbing &amp; sanitary fitting</b>	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
<b>Electrical work</b>	- Conduiting, wiring & M.C.B. with I.S.I. marked material.

**HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITHKHERA, PARGANA-BIJNAUR, TEHSIL-SAROJINI NAGAR, LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW**

PLOT NO. 156

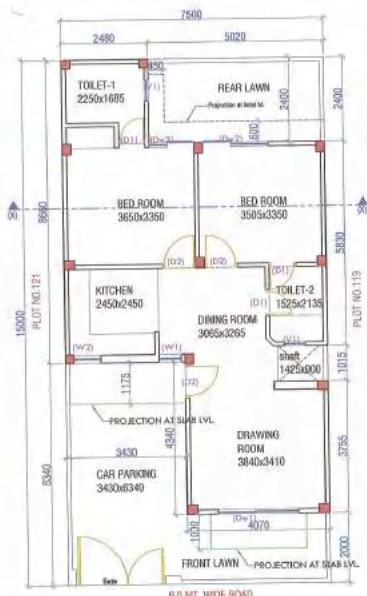
Developer:  
**Eldeco housing & industries ltd.**

- NOTES:
1. Architect shall not be responsible for any deviation at site by the developer.
  2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A SUBMISSION.
  3. Layout approved vide permit no 2095, dated 15.03.2021.

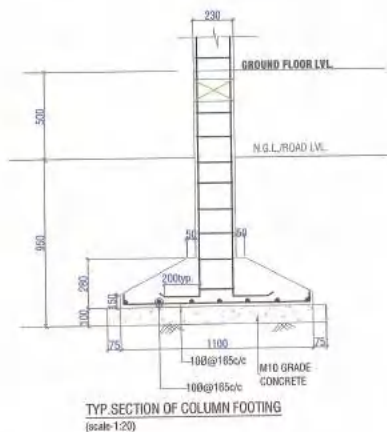
DOOR/WINDOW SCHEDULE:		
S.NO.	TYPE	SIZE
1.	D1	700 X 2100
2.	D2	850 X 2100
3.	W1	635 X 1200
4.	W2	755 X 1050
5.	DW1	2250 X 2400
6.	V1	800 X 800
7.	DW2	1875 X 2100
8.	DW3	1285 X 2100

AREA STATEMENT:	SQ. MT.
1.) TOTAL PLOT AREA	112.50sq.mt.
2.) COVERED AREA ON GROUND FLOOR	72.51sq.mt.
3.) OPEN AREA	39.99sq.mt.
4.) TOTAL BUILT-UP AREA(2)-FOR F.A.R.	72.51sq.mt.
5.) GROUND COVERAGE ACHIEVED	64.45%
6.) F.A.R. ACHIEVED	0.64

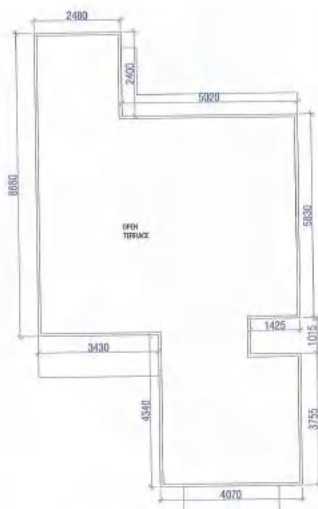
DEVELOPER	ARCHITECT
<b>Housing &amp; Industries Ltd.</b> Lucknow	<b>Ar. Sanjay Kumar Gupta</b> Reg. No. CA/08/12362 188, Corporate Chowk-1 Vikhili Khand, C.I.D. Nagar Lucknow-226015



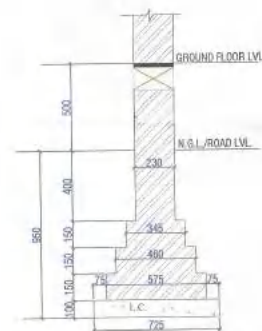
GROUND FLOOR PLAN  
(SCALE=1:100)



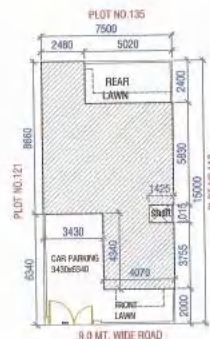
TYP. SECTION OF COLUMN FOOTING  
(scale=1:20)



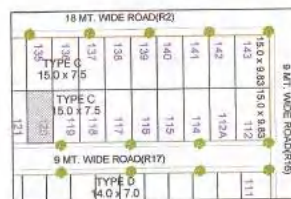
TERRACE PLAN  
(SCALE=1:100)



TYP. SECTION FOR 230 THK BRICK WALL  
(scale=1:20)



SITE PLAN  
(SCALE=1:200)



LOCATION PLAN  
(NOT TO SCALE)

#### SPECIFICATIONS:

<b>Foundation</b>	- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
<b>Superstructure</b>	- Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
<b>Slab</b>	- R.C.C. slab as per structural design in M:25 grade conc.
<b>Joinery</b>	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
<b>Flooring</b>	- Vitrified tiles/marble/kota/c.c.
<b>Painting</b>	- O.B.D. inside & cement based waterproofing paint outside.
<b>Plaster</b>	- 12mm plaster in 1:6 c.m.
<b>Plumbing &amp; sanitary fitting</b>	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
<b>Electrical work</b>	- Conducting, wiring & M.C.B. with I.S.I. marked material.

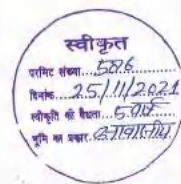


FRONT ELEVATION  
(SCALE=1:100)



SECTION X-X  
(SCALE=1:50)

आजीवन न्याय न्यायिक सेवा विकास अभियान  
1976-1980 के अन्तर्गत भारत सरकार द्वारा  
स्वीकृत की गई थी।  
निम्नलिखित स्थिति में है।



अनिल कुमार वर्मा  
सहायक अभियंता (सिविल)

अनिल कुमार वर्मा  
सहायक अभियंता (सिविल)  
उपप्रा. 10 और 10.00  
निर्माण खण्ड-7, खानपुर

**HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITHKHERA, PARGANA-BIJNAUR, TEHSIL-SARAJINI NAGAR, LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW**

PLOT NO. 120  
Developer: Eldeco housing & Industries Ltd.

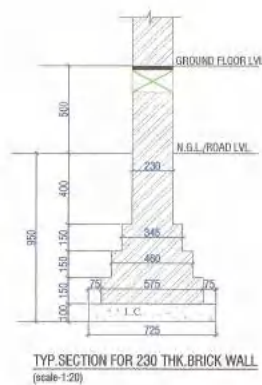
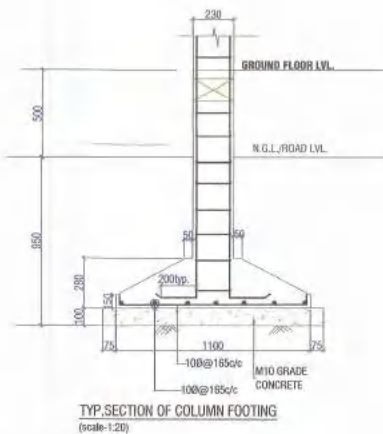
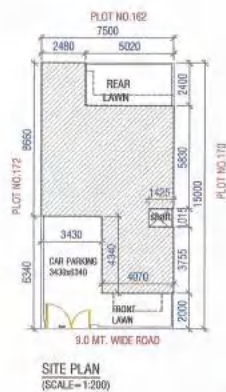
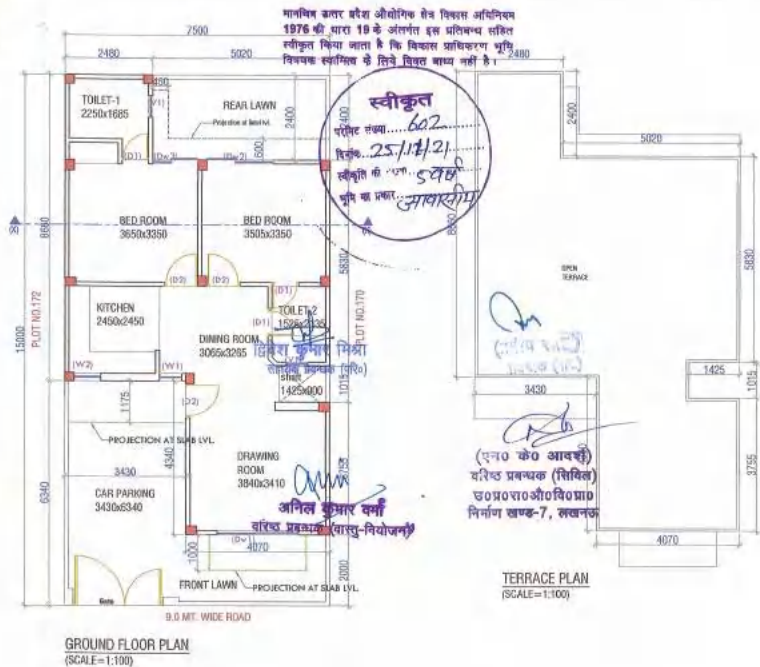
NOTES:  
1. Architect shall not be responsible for any deviation at site by the developer.  
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A SUBMISSION.  
3. Layout approved vide permit no.2095, dated 16.03.2021.

DOOR/WINDOW SCHEDULE:		
S.NO.	TYPE	SIZE
1.	D1	750 X 2100
2.	D2	950 X 2100
3.	W1	635 X 1200
4.	W2	750 X 1000
5.	DW1	2290 X 2400
6.	V1	500 X 600
7.	DW2	1870 X 2100
8.	DW3	1295 X 2100

AREA STATEMENT :	SQ. MT.
1.) TOTAL PLOT AREA	112.50sq.mt.
2.) COVERED AREA ON GROUND FLOOR	72.51sq.mt.
3.) OPEN AREA	39.99sq.mt.
4.) TOTAL BUILT-UP AREA(2)-FOR F.A.R.	72.51sq.mt.
5.) GROUND COVERAGE ACHIEVED	64.45%
6.) F.A.R. ACHIEVED	0.64

DEVELOPER	ARCHITECT
	Mr. Sanjay Kumar Gupta H.O.P., Floor Corporate Officer-I, Village-Khawal/Gand Nagar, Lucknow-226010 Ph.No-92000558, 9451145599 Email-eldesecore_nrc@rediffmail.com





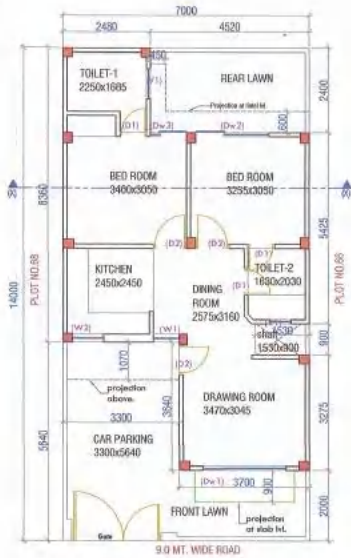
SPECIFICATIONS:	
<b>Foundation</b>	- Stepped brick footing in 1:4 c.m. as per structural design with r.c.c. columns as per design.
<b>Superstructure</b>	- Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
<b>Slab</b>	- R.C.C. slab as per structural design in M:25 grade conc.
<b>Joinery</b>	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
<b>Flooring</b>	- Vitrified tiles/marble/kota/c.c.
<b>Painting</b>	- O.B.D. inside & cement based waterproofing paint outside.
<b>Plaster</b>	- 12mm plaster in 1:6 c.m.
<b>Plumbing &amp; sanitary fitting</b>	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
<b>Electrical work</b>	- Conduiting, wiring & M.C.B. with I.S.I. marked material.

<b>HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITHKHERA, PARGANA-BIJNAUR, TEHSIL-SAROJINI NAGAR, LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW</b>	
PLOT NO. 171	
Developer: <b>Eldeco housing &amp; Industries Ltd.</b>	
NOTES: 1. Architect shall not be responsible for any deviation at site by the developer. 2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A. SUBMISSION. 3. Layout approved vide permit no.2095, dated 16.03.2021.	

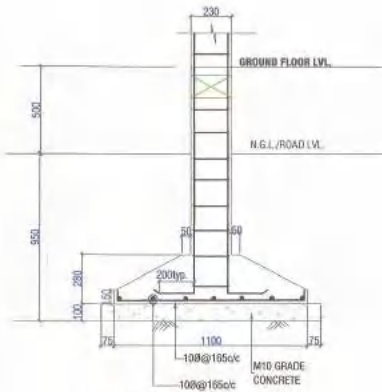
DOOR/ WINDOW SCHEDULE :		
S.NO.	TYPE	SIZE
1.	D1	760 X 2100
2.	D2	950 X 2100
3.	W1	638 X 1700
4.	W2	750 X 1050
5.	DW1	2290 X 2400
6.	V1	600 X 600
7.	DW2	1670 X 2190
8.	DW3	1285 X 2190

AREA STATEMENT :	SQ. MT.
1.) TOTAL PLOT AREA	112.50sq.mt.
2.) COVERED AREA ON GROUND FLOOR	72.51sq.mt.
3.) OPEN AREA	39.99sq.mt.
4.) TOTAL BUILT-UP AREA(2)-FOR F.A.R.	72.51sq.mt.
5.) GROUND COVERAGE ACHIEVED	64.45%
6.) F.A.R. ACHIEVED	0.64

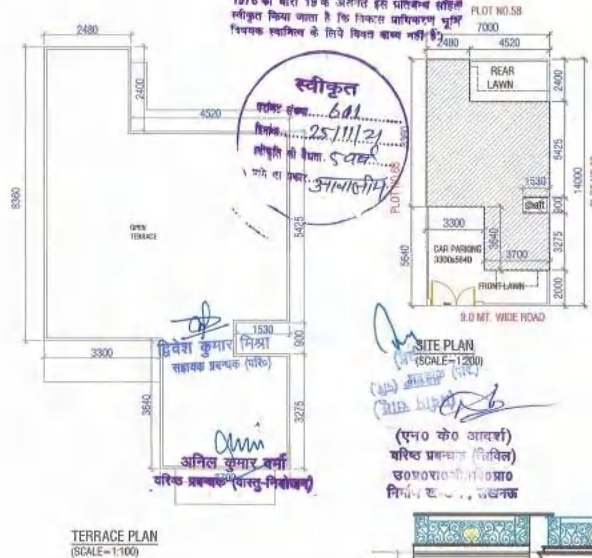
DEVELOPER	ARCHITECT



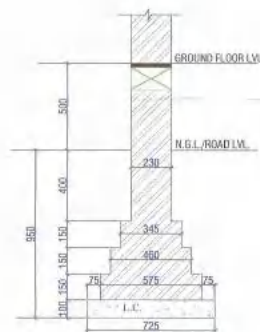
GROUND FLOOR PLAN  
(SCALE=1:100)



TYP. SECTION OF COLUMN FOOTING  
(Scale=1:20)



TERRACE PLAN  
(SCALE=1:100)



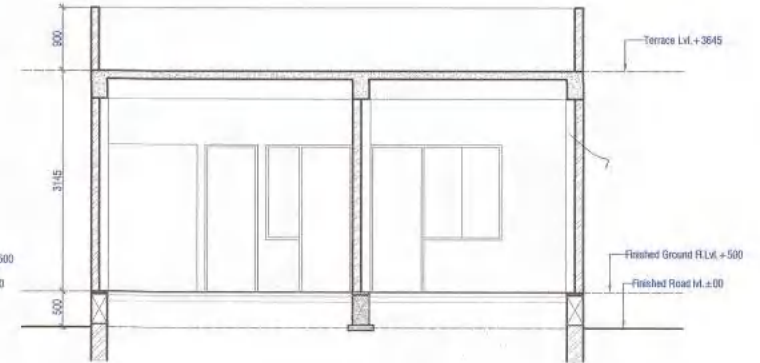
TYP. SECTION FOR 230 THK BRICK WALL  
(Scale=1:20)



FRONT ELEVATION  
(SCALE=1:100)



LOCATION PLAN  
(NOT TO SCALE)



SECTION X-X  
(SCALE=1:50)

#### SPECIFICATIONS:-

- Foundation** - Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
- Superstructure** - Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
- Slab** - R.C.C. slab as per structural design in M:25 grade conc.
- Joinery** - Door frames in sal wood with 32mm commercial board shutter, Windows in aluminium /UPVC.
- Flooring** - Vitrified tiles/marble/kota/c.c.
- Painting** - O.B.D. inside & cement based waterproofing paint outside.
- Plaster** - 12mm plaster in 1:6 c.m.
- Plumbing & Sanitary Fitting** - All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
- Electrical work** - Conducting, wiring & M.C.B. with I.S.I. marked material.

**HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITIKHERA, PARGANA-BUNAUR, TEHSIL-SAROJINI NAGAR, LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW**

PLOT NO. 67

Developer:

Eldeco housing & industries ltd.

NOTES:

1. Architect shall not be responsible for any deviation at site by the developer.
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A. SUBMISSION.
3. Layout approved vide permit no 2095, dated 16.03.2021.

#### DOOR/WINDOW SCHEDULE :

S.NO	TYPE	SIZE
1.	D1	750 X 2100
2.	D2	950 X 2100
3.	W1	750 X 1200
4.	W2	750 X 1050
5.	DW1	2145 X 2800
6.	V1	600 X 600
7.	DW2	1050 X 2100
8.	DW3	2075 X 2100

#### AREA STATEMENT :

	SQ. MT.
1.) TOTAL PLOT AREA	98.00sq.mt.
2.) COVERED AREA ON GROUND FLOOR	61.04sq.mt.
3.) OPEN AREA	36.96sq.mt.
4.) TOTAL BUILT-UP AREA(2)-FOR F.A.R.	61.04sq.mt.
5.) GROUND COVERAGE ACHIEVED	62.29%
6.) F.A.R. ACHIEVED	0.623

#### DEVELOPER



#### ARCHITECT

Ac. Sanjay Kumar Gupta

1607, Floor, Ganga Chauran-1,

Without Road, Ganga Chauran-1,

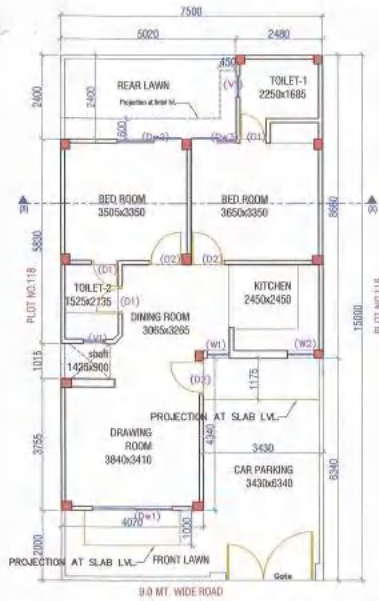
Lucknow-226001

Ph: 9632023, 9632111, 9632112

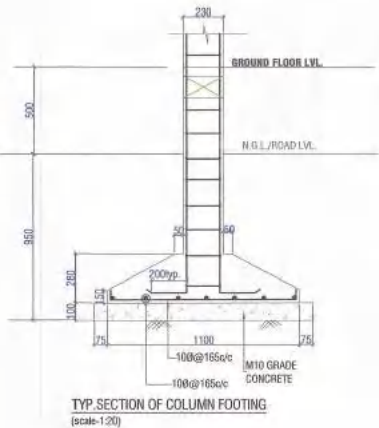
www.eldecohousing.com

10/11/21





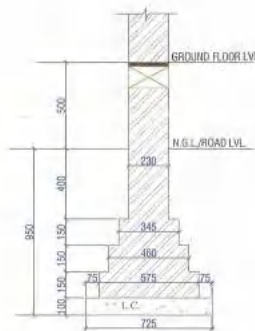
GROUND FLOOR PLAN  
(SCALE=1:100)



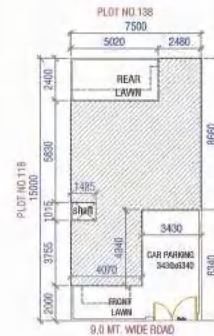
TYP. SECTION OF COLUMN FOOTING  
(Scale=1:20)



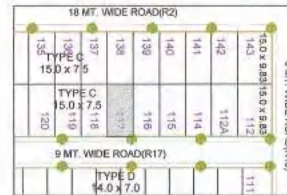
TERRACE PLAN  
(SCALE=1:100)



TYP. SECTION FOR 230 THK. BRICK WALL  
(Scale=1:20)



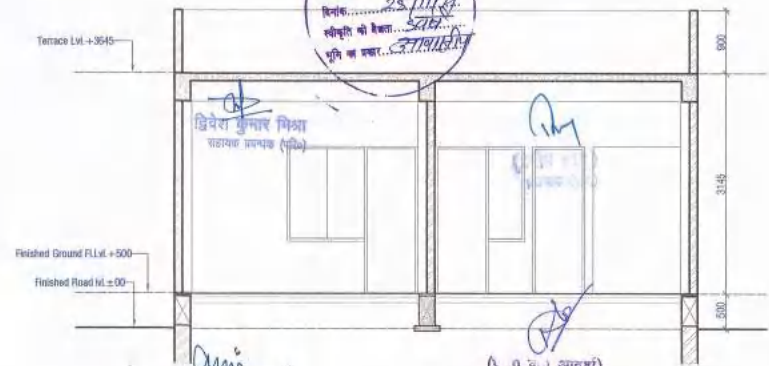
SITE PLAN  
(SCALE=1:200)



LOCATION PLAN  
(NOT TO SCALE)



FRONT ELEVATION  
(SCALE=1:100)



SECTION X-X  
(SCALE=1:50)

#### SPECIFICATIONS:

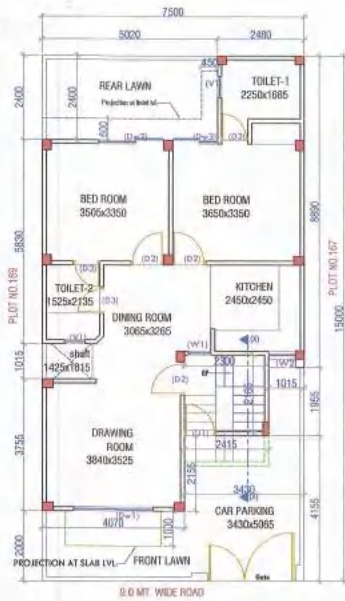
- Foundation - Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
- Superstructure - Composite structure with brick work & R.C.C. columns as per structural design (earthquake resistant).
- Slab - R.C.C. slab as per structural design in M:25 grade conc.
- Joinery - Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
- Flooring - Vitrified tiles/marble/kota/c.c.
- Painting - O.B.D. inside & cement based waterproofing paint outside.
- Plaster - 12mm plaster in 1:6 c.m.
- Plumbing & sanitary fitting - All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
- Electrical work - Conducting wiring & M.C.B. with I.S.I. marked material.

HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITHINERA, PARGANA-BIJNAUR, TEHSIL-SAROJINI NAGAR, LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW	
PLOT NO. 117	
Developer:	Eldeco housing & industries Ltd.
NOTES:	
1. Architect shall not be responsible for any deviation at site by the developer.	
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE I.D.A. SUBMISSION.	
3. Layout approved vide permit no.2095, dated 16.03.2021.	

DOOR/WINDOW SCHEDULE:	
TYPE	SIZE
01	750 X 2100
02	950 X 2100
03	635 X 1200
04	785 X 1050
05	2200 X 2400
06	950 X 800
07	1810 X 2100
08	1285 X 2100

AREA STATEMENT:	
	SQ. MT.
1.) TOTAL PLOT AREA	112.50sq.mt.
2.) COVERED AREA ON GROUND FLOOR	72.51sq.mt.
3.) OPEN AREA	39.99sq.mt.
4.) TOTAL BUILT-UP AREA(2)-FOR F.A.R.	72.51sq.mt.
5.) GROUND COVERAGE ACHIEVED	64.45%
6.) F.A.R. ACHIEVED	0.64

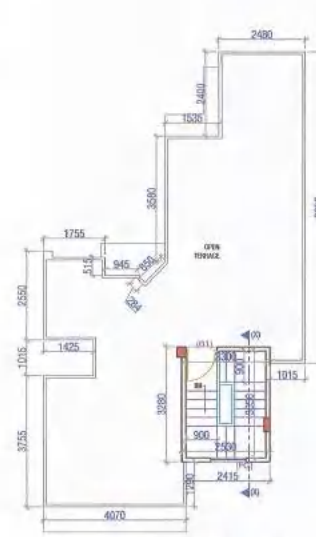
DEVELOPER	ARCHITECT
Eldeco housing & industries Ltd.	Ar. Sanjay Kumar Gupta 108/F. Floor Corporate Chambers, Vardaan Industrial Estate, Lucknow-226007 Ph: 9805050505, 9805050505 email: eldeco@eldecoindia.com



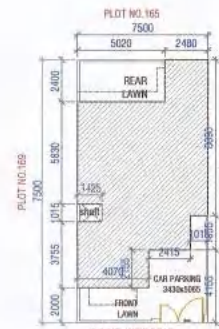
GROUND FLOOR PLAN  
(SCALE=1:100)



FIRST FLOOR PLAN  
(SCALE=1:100)



TERRACE PLAN  
(SCALE=1:100)



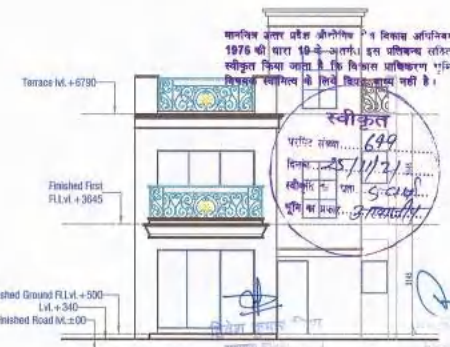
SITE PLAN  
(SCALE=1:200)



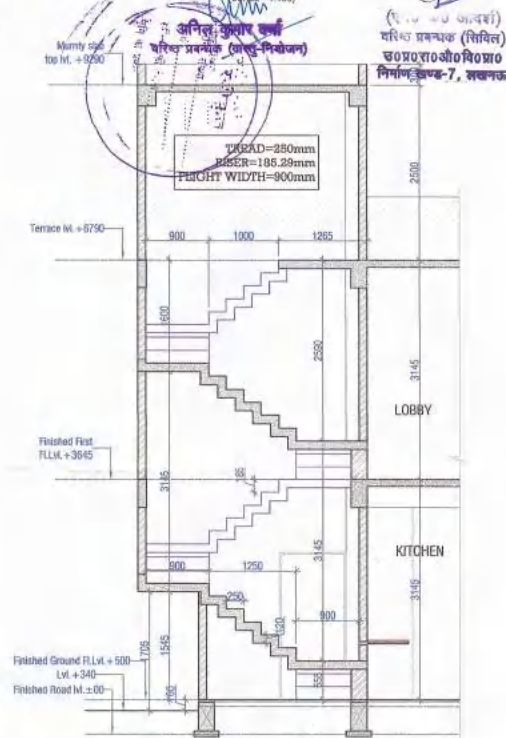
LOCATION PLAN  
(NOT TO SCALE)

#### SPECIFICATIONS:

<b>Foundation</b>	- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
<b>Superstructure</b>	- Composite structure with brick work & R.C.C. columns as per structural design (earthquake resistant)
<b>Slab</b>	- R.C.C. slab as per structural design in M-25 grade conc.
<b>Joinery</b>	- Door frames in sal wood with 32mm commercial board shutter, Windows in aluminium /UPVC.
<b>Flooring</b>	- Vitrified tiles/marble/kota/c.c.
<b>Painting</b>	- O.B.D. inside & cement based waterproofing paint outside.
<b>Plaster</b>	- 12mm plaster in 1:6 c.m.
<b>Plumbing &amp; Sanitary fitting</b>	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
<b>Electrical work</b>	- Conducting, wiring & M.C.B. with I.S.I. marked material.



FRONT ELEVATION  
(SCALE=1:100)



SECTION X-X  
(SCALE=1:50)

HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITIKHERA, PARGANA-BIJNAUR, TEHSIL-SARDJINI NAGAR, LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW

PLOT NO. 168

Developer:

Eldeco housing & industries ltd.

NOTES:  
1. Architect shall not be responsible for any deviation at site by the developer.  
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A. SUBMISSION.  
3. Layout approved vide permit no.2095, dated 16.03.2021.

#### DOOR / WINDOW SCHEDULE:

S.NO.	TYPE	SIZE
1.	D1	900 X 2100
2.	D2	950 X 2100
3.	D3	780 X 2100
4.	W1	635 X 1200
5.	W2	785 X 1050
6.	W3	1015 X 1200
7.	DW1	2230 X 2400
8.	W1	500 X 500
9.	W4	1285 X 1200
10.	W5	2230 X 1200
11.	DW2	1870 X 2100
12.	DW3	1785 X 2100

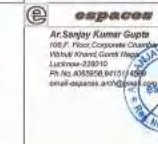
#### AREA STATEMENT:

S.NO.	TYPE	SIZE
1.)	TOTAL PLOT AREA	112.50sq.mt.
2.)	COVERED AREA ON GROUND FLOOR	76.01sq.mt.
3.)	COVERED AREA ON FIRST FLOOR	65.29sq.mt.
4.)	OPEN AREA	36.49sq.mt.
5.)	MUMTY AREA	8.30sq.mt.
6.)	TOTAL BUILT-UP AREA(2+3+5)-FOR F.A.R.	149.60sq.mt.

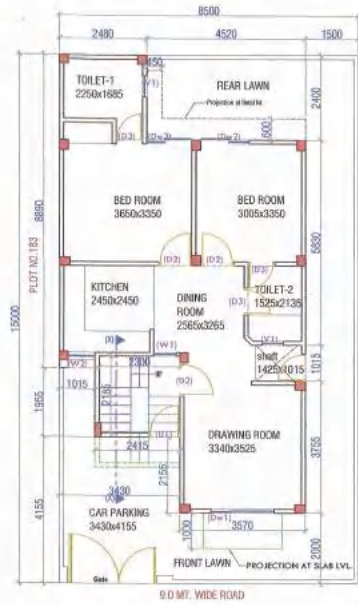
#### DEVELOPER



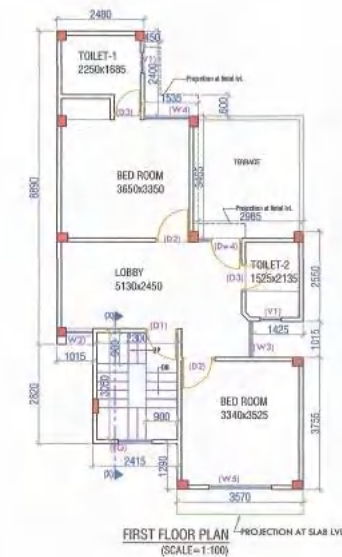
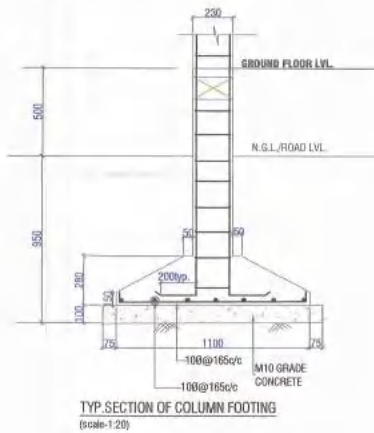
#### ARCHITECT



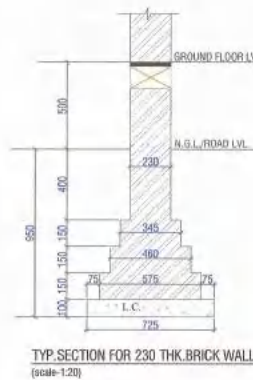




GROUND FLOOR PLAN  
(SCALE=1:100)



FIRST FLOOR PLAN  
(SCALE=1:100)



#### SPECIFICATIONS:

<b>Foundation</b>	- Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
<b>Superstructure</b>	- Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
<b>Slab</b>	- R.C.C. slab as per structural design in M-25 grade conc.
<b>Joinery</b>	- Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
<b>Flooring</b>	- Vitrified tiles/marble/kota/c.c.
<b>Painting</b>	- O.B.D. inside & cement based waterproofing paint outside.
<b>Plaster</b>	- 12mm plaster in 1:6 c.m.
<b>Plumbing &amp; sanitary fitting</b>	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
<b>Electrical work</b>	- Conducting, wiring & M.C.B. with I.S.I. marked material.

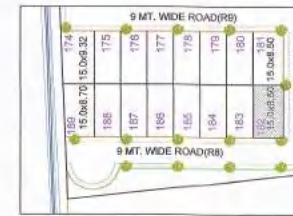
#### DOOR/WINDOW SCHEDULE:

S.NO.	TYPE	SIZE
1.	D1	900 X 2100
2.	D2	950 X 2100
3.	D3	750 X 2100
4.	W1	835 X 1200
5.	W2	765 X 1050
6.	W3	1015 X 1200
7.	DW1	2250 X 2400
8.	W1	850 X 600
9.	W4	1285 X 1200
10.	W5	2250 X 1200
11.	DW2	1870 X 2100
12.	DW3	1265 X 2100
13.	DW4	1230 X 2100

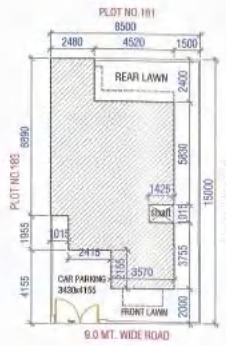
#### AREA STATEMENT:

SQ. MT.	AREA STATEMENT:	SQ. MT.
127.50sq.mt.	1.) TOTAL PLOT AREA	7.) GROUND COVERAGE ACHIEVED
70.46sq.mt.	2.) COVERED AREA ON GROUND FLOOR	8.) F.A.R. ACHIEVED
62.40sq.mt.	3.) COVERED AREA ON FIRST FLOOR	
57.04sq.mt.	4.) OPEN AREA	
8.30sq.mt.	5.) MUMTY AREA	
141.16sq.mt.	6.) TOTAL BUILT-UP AREA(2+3+5)-FOR F.A.R.	

#### LOCATION PLAN



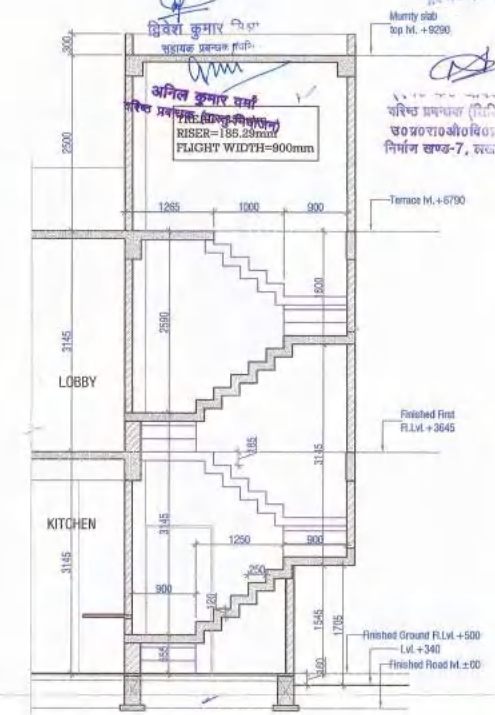
LOCATION PLAN  
(NOT TO SCALE)



SITE PLAN  
(SCALE=1:200)



FRONT ELEVATION  
(SCALE=1:100)



SECTION X-X  
(SCALE=1:50)

**HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITHKHERA, PARGANA-BIJNAUR, TEHSIL-SARAJINI NAGAR, LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW**

PLOT NO. 182

Developer:  
**Eldeco housing & Industries Ltd.**

NOTES:  
1. Architect shall not be responsible for any deviation at site by the developer.  
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A SUBMISSION.  
3. Layout approved vide permit no.2095, dated 16.03.2021.

S.NO.	TYPE	SIZE
1.	D1	900 X 2100
2.	D2	950 X 2100
3.	D3	750 X 2100
4.	W1	835 X 1200
5.	W2	765 X 1050
6.	W3	1015 X 1200
7.	DW1	2250 X 2400
8.	W1	850 X 600
9.	W4	1285 X 1200
10.	W5	2250 X 1200
11.	DW2	1870 X 2100
12.	DW3	1265 X 2100
13.	DW4	1230 X 2100

#### AREA STATEMENT:

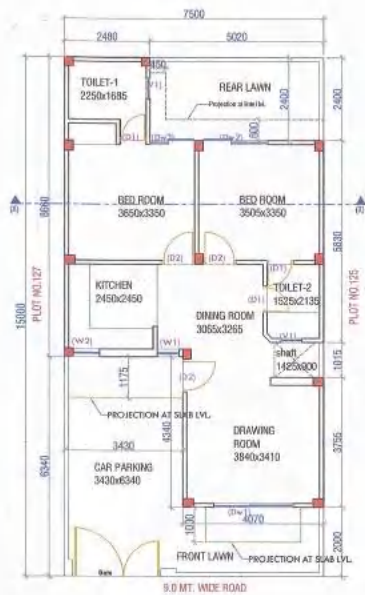
SQ. MT.	AREA STATEMENT:	SQ. MT.
127.50sq.mt.	1.) TOTAL PLOT AREA	7.) GROUND COVERAGE ACHIEVED
70.46sq.mt.	2.) COVERED AREA ON GROUND FLOOR	8.) F.A.R. ACHIEVED
62.40sq.mt.	3.) COVERED AREA ON FIRST FLOOR	
57.04sq.mt.	4.) OPEN AREA	
8.30sq.mt.	5.) MUMTY AREA	
141.16sq.mt.	6.) TOTAL BUILT-UP AREA(2+3+5)-FOR F.A.R.	

DEVELOPER

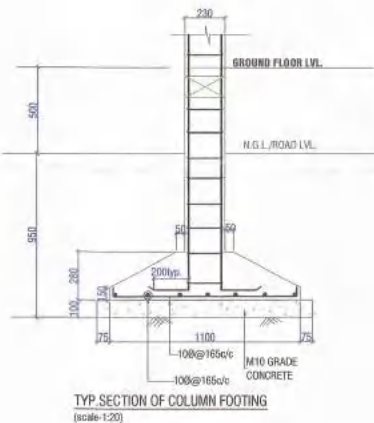
ARCHITECT

**ELDECO HOUSING & INDUSTRIES LTD.**

**Dr. Sanjay Kumar Gupta**  
106/F, Floor Corporate Office, B-1, Vardaan Industrial Estate, Lucknow-226001  
Ph.No. 4555555 & 4555555  
email:eldecopros@gmail.com



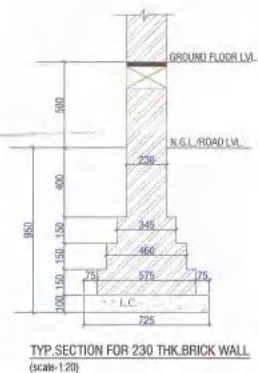
GROUND FLOOR PLAN  
(SCALE=1:100)



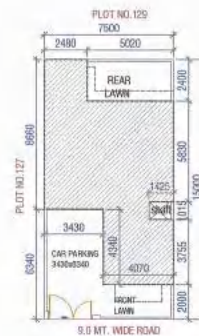
TYP. SECTION OF COLUMN FOOTING  
(scale=1:20)



TERRACE PLAN  
(SCALE=1:100)



TYP. SECTION FOR 230 THK. BRICK WALL  
(scale=1:20)



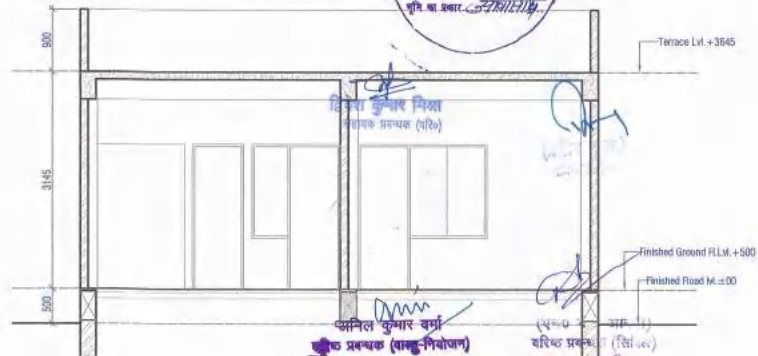
SITE PLAN  
(SCALE=1:200)



LOCATION PLAN  
(NOT TO SCALE)



FRONT ELEVATION  
(SCALE=1:100)



SECTION X-X  
(SCALE=1:50)

#### SPECIFICATIONS:

- Foundation** - Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
- Superstructure** - Composite structure with brick work & R.C.C. columns as per structural design. (earthquake resistant)
- Slab** - R.C.C. slab as per structural design in M:25 grade conc.
- Joinery** - Door frames in sal wood with 32mm commercial board shutter. Windows in aluminium /UPVC.
- Flooring** - Vitrified tiles/marble/kota/c.c.
- Painting** - O.B.D. inside & cement based waterproofing paint outside.
- Plaster** - 12mm plaster in 1:6 c.m.
- Plumbing & sanitary fitting** - All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
- Electrical work** - Conducting, wiring & M.C.B. with I.S.I. marked material.

**HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITHIKHERA, PARGANA-BIJNAUR, TEHSIL-SAROJINI NAGAR, LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW**

PLOT NO. 126

Developer  
**Eldeco housing & industries ltd.**

- NOTES:
1. Architect shall not be responsible for any deviation at site by the developer.
  2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A. SUBMISSION.
  3. Layout approved vide permit no.2056, dated 15.03.2021.

#### DOOR/ WINDOW SCHEDULE :

S.NO.	TYPE	SIZE
1.	D1	750 X 2100
2.	D2	950 X 2100
3.	W1	635 X 1200
4.	W2	735 X 1200
5.	DW1	2250 X 2400
6.	V1	600 X 600
7.	DW2	1870 X 2100
8.	DW3	1285 X 2100

#### AREA STATEMENT :

	SQ. MT.
1.) TOTAL PLOT AREA	112.50sq.mt.
2.) COVERED AREA ON GROUND FLOOR	72.51sq.mt.
3.) OPEN AREA	39.99sq.mt.
4.) TOTAL BUILT-UP AREA(2)-FOR F.A.R.	72.51sq.mt.
5.) GROUND COVERAGE ACHIEVED	64.45%
6.) F.A.R. ACHIEVED	0.64

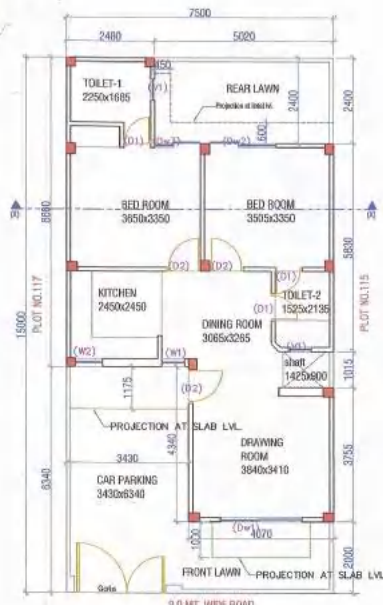
#### DEVELOPER

#### ARCHITECT

**ELDECO**  
Mr. Sanjay Kumar Gupta  
106/F. Floor, Corporate Chandra  
Water Road, Sarojini Nagar  
Lucknow-226010  
Pin No. 226010  
Email: eldeco@eldecogroup.com

**ARCHITECT**  
Mr. Sanjay Kumar Gupta  
106/F. Floor, Corporate Chandra  
Water Road, Sarojini Nagar  
Lucknow-226010  
Pin No. 226010  
Email: eldeco@eldecogroup.com





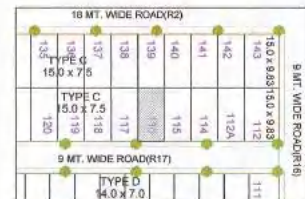
GROUND FLOOR PLAN  
(SCALE=1:100)



TERRACE PLAN  
(SCALE=1:100)



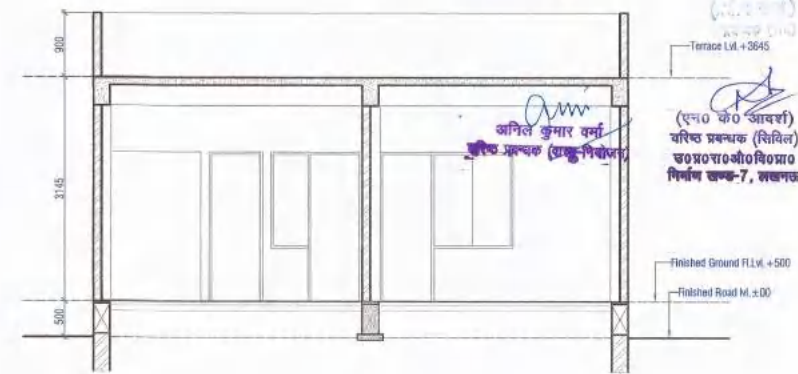
SITE PLAN  
(SCALE=1:200)



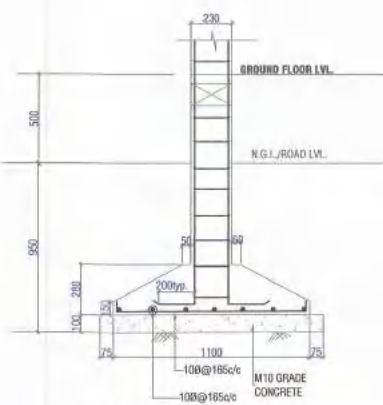
LOCATION PLAN  
(NOT TO SCALE)



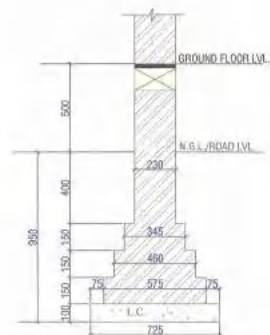
FRONT ELEVATION  
(SCALE=1:100)



SECTION X-X  
(SCALE=1:50)



TYP. SECTION OF COLUMN FOOTING  
(scale=1:20)



TYP. SECTION FOR 230 THK. BRICK WALL  
(scale=1:20)

- SPECIFICATIONS:**
- Foundation - Stepped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
  - Superstructure - Composite structure with brick work & R.C.C. columns as per structural design.(earthquake resistant)
  - Slab - R.C.C. slab as per structural design in M-25 grade conc.
  - Joinery - Door frames in sal wood with 32mm commercial board shutter. Windows in aluminum /UPVC.
  - Flooring - Vitrified tiles/marble/kota/c.c.
  - Painting - O.B.D. inside & cement based waterproofing paint outside.
  - Plaster - 12mm plaster in 1:6 c.m.
  - Plumbing & sanitary fitting - All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
  - Electrical work - Conducting, wiring & M.C.B. with I.S.I. marked material.

मान्यता प्राप्त प्रोपर्टी डेवलपर्स एसोसिएशन  
1976 की धारा 19 के अंतर्गत इस प्रमाणपत्र सहित  
लोकता किया जाता है कि इसका अधिकार भूमि  
अधिकार स्वामित्व के तहत प्राप्त किया गया है।

**स्वीकृत**  
परिचय संख्या: 652  
दिनांक: 25/11/21  
लोकता की वेबसाइट: 5.2.18  
भूमि का प्रकार: (अ) आवासीय

विशेष कुमार मिश्रा  
सहायक प्रबंधक (सिटी)

(एन.ओ. के.ओ. आदेश)  
परिचय प्रमाणपत्र (सिटी)  
उपप्राप्त 04/01/2020  
निर्माण खण्ड-7, लखनऊ

HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JANTIKHERA,  
PARGANA-BIJNAUR, TEHSIL-SAROJINI NAGAR,  
LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW

PLOT NO. 116

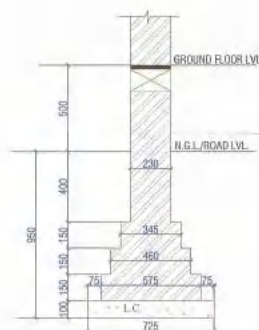
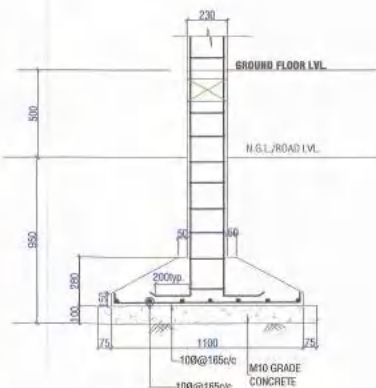
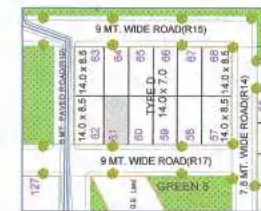
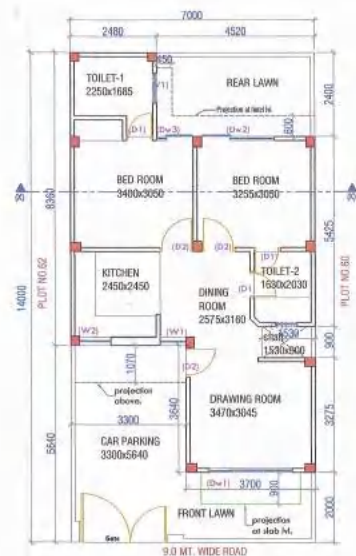
Developer:  
**Eldeco housing & industries ltd.**

NOTES:  
1. Architect shall not be responsible for any deviation at site by the developer.  
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A. SUBMISSION.  
3. Layout approved vide permit no.2095, dated 16.03.2021.

DOOR/WINDOW SCHEDULE:		
NO.	TYPE	SIZE
1.	D1	280 X 2100
2.	D2	950 X 2100
3.	D3	635 X 1200
4.	D4	765 X 1050
5.	D5	2200 X 2400
6.	D6	600 X 600
7.	D7	1870 X 2100
8.	D8	1285 X 2100

AREA STATEMENT:		SQ. MT.
1.) TOTAL PLOT AREA		112.50sq.mt.
2.) COVERED AREA ON GROUND FLOOR		72.51sq.mt.
3.) OPEN AREA		39.99sq.mt.
4.) TOTAL BUILT-UP AREA(2)-FOR F.A.R.		72.51sq.mt.
5.) GROUND COVERAGE ACHIEVED		64.45%
6.) F.A.R. ACHIEVED		0.64

DEVELOPER	ARCHITECT
<b>Eldeco housing &amp; industries ltd.</b>	<b>Ar. Sanjay Kumar Gupta</b> Sole Proprietor, Eldeco Housing & Industries Ltd., Lucknow-226010 P.O. Box: 400000, Lucknow-226010



**SPECIFICATIONS:**

<b>Foundation</b>	- Lapped brick footing in 1:6 c.m. as per structural design with r.c.c. columns as per design.
<b>Superstructure</b>	- Composite structure with brick work & R.C.C. columns as per structural design.(earthquake resistant)
<b>Slab</b>	- R.C.C. slab as per structural design in M:25 grade conc.
<b>Joinery</b>	- Door frames in sal wood with 32mm commercial board shutter, Windows in aluminium /UPVC.
<b>Flooring</b>	- Vitrified tiles/marble/kota/c.c.
<b>Painting</b>	- O.B.D. inside & cement based waterproofing paint outside.
<b>Plaster</b>	- 12mm plaster in 1:6 c.m.
<b>Plumbing &amp; sanitary fitting</b>	- All plumbing work using I.S.I. marked UPVC pipes with standard fittings & fixtures.
<b>Electrical work</b>	- Conducting, wiring & M.C.B. with I.S.I. marked material.

**HOUSING SCHEME-ELDECO IMPERIA- AT VILLAGE- JAITIKHERA,  
PARGANA-BIJNAUR, TEHSIL-SAROJINI NAGAR,  
LUCKNOW INDUSTRIAL DEVELOPMENT AUTHORITY AREA, LUCKNOW**

PLOT NO. 61

Developer

*Eldeco housing & industries ltd.*

## NOTES:

1. Architect shall not be responsible for any deviation at site by the developer.
2. DEVELOPER SHALL ENSURE LEGAL POSSESSION OF PLOT BEFORE L.I.D.A. SUBMISSION.
3. Layout approved vide permit no.2095, dated 16.03.2021.

[illegible]

AREA STATEMENT :	SQ. MT.
1.) TOTAL PLOT AREA	88.00sq.m
2.) COVERED AREA ON GROUND FLOOR	61.04sq.mt.
3.) OPEN AREA	36.96sq.mt.
4.) TOTAL BUILT-UP AREA(2)-FOR F.A.R.	61.04sq.mt.
5.) GROUND COVERAGE ACHIEVED	62.29%
6.) F.A.R. ACHIEVED	0.623

DEVELOPER	ARCHITECT
	 <b>espaces</b> <b>Dr. Sanjay Kumar Gupta</b> 100/F, Pooja Corporate Chamber- Unit-10, Khushi Road, Park Road, Lodhrone City, Ph. No. 011-26111611 email: <a href="mailto:drsanjaygupta@gmail.com">drsanjaygupta@gmail.com</a>