

ग्रेटर नौएडा औद्योगिक विकास प्राधिकरण

प्लॉट संख्या-01, सैक्टर-नॉलेज पार्क-4, ग्रेटर नौएडा सिटी,
गौतम बुद्ध नगर (उ०प्र०)

पत्रांक:-नियो०/2024/BP-3236/1129

दिनांक 11/03/2024

सेवा में,

M/s KV Developers Pvt. Ltd.
DV-GH-9B, Sector-Techzone-4,
Greater Noida

महोदय,

कृपया अपने पत्र दिनांक 07.03.2024 का सन्दर्भ ग्रहण करने का कष्ट करें, जिसमें आपके द्वारा भूखण्ड संख्या-DV-GH-9B, Sector-Techzone-4, Greater Noida पर दिनांक 15.12.2023 के द्वारा स्वीकृत मानचित्र की वैधता बढ़ाये जाने हेतु अनुरोध किया गया है।

उपरोक्त के सम्बन्ध में अवगत कराना है कि भूखण्ड संख्या- DV-GH-9B, Sector-Techzone-4, Greater Noida को पत्रांक:-PLNG(BP)3236/FTS-7528 दिनांक 07.10.2016 के स्वीकृत मानचित्र की वैधता सक्षम स्तर से अनुमोदन के उपरान्त 5 वर्ष तक बढ़ायी जाती है। दिनांक 07.10.2016 स्वीकृत पत्र में उल्लेखित शेष नियम व शर्तें यथावत् रहेगी।

11/3/2024

(लीनू सहगल)

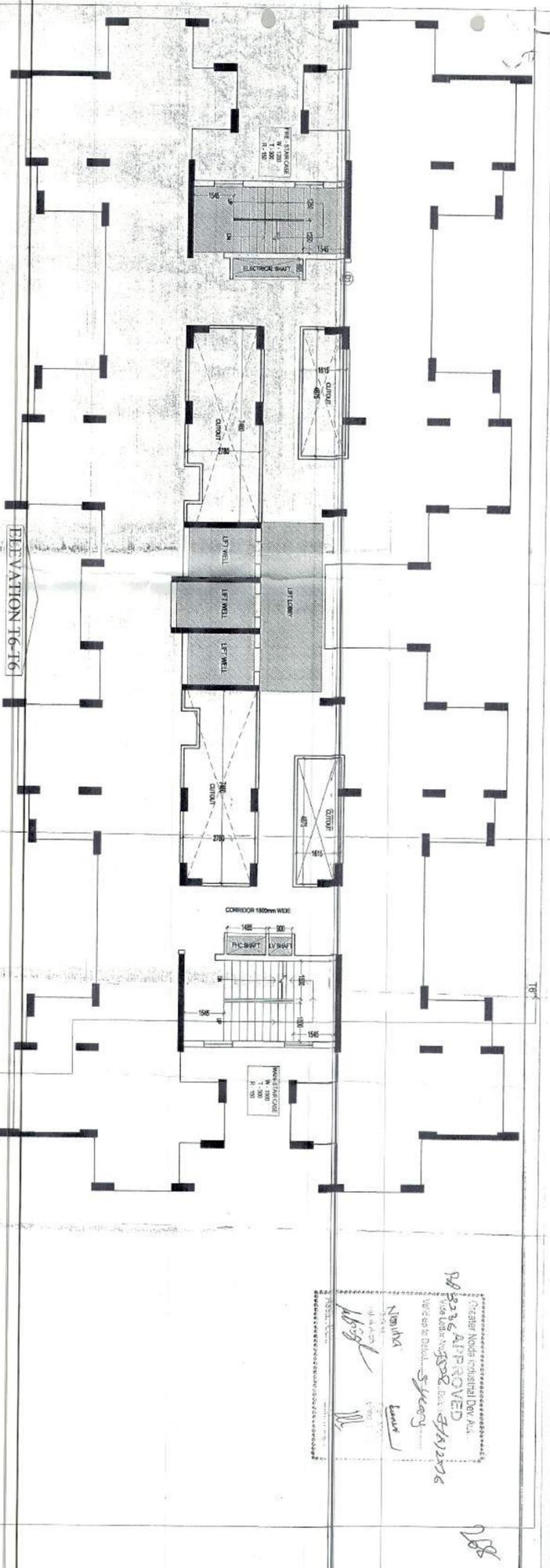
महाप्रबन्धक (नियो०/वास्तु०)

प्रतिलिपि:- विशेष कार्याधिकारी (बिल्डर) को सूचनार्थ।

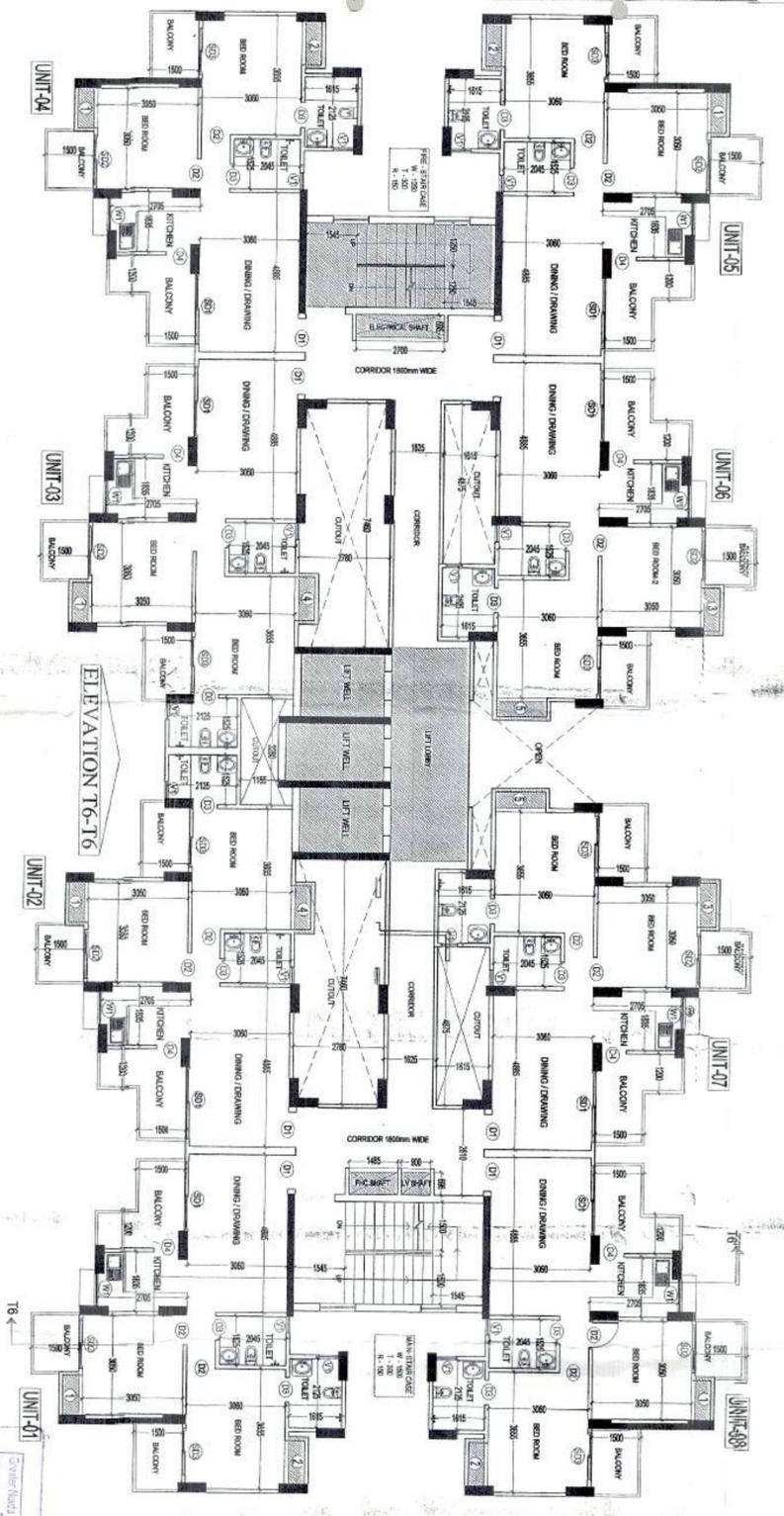
महाप्रबन्धक (नियो०/वास्तु०)

S.NO.	TOWER	TITLE	DRAWING NO.
1	T6	Elevation T7-T7	SD-41
2	T7	Flat Area Detail 15% facility area detail	SD-40
3		Landscape Plan	SD-45
4		Services Plan	SD-01
5	T5	Boundary wall Detail, Guard Room Detail, Meter Room Detail	SD-46
6	T7	Section T7-T7	SD-42
7		Commercial Ground Floor Plan, Community Hall First Floor Plan	SD-43
8		Commercial Ground Floor Plan	SD-44
9	T7	2nd to 24th floor plan & Terrace Floor	SD-39
10	T7	Stilt floor & 1st floor	SD-38
11	T6	Section T6-T6	SD-37
12	T6	Elevation T6-T6	SD-36
S.NO.	TOWER	TITLE	DRAWING NO.
13	T4	Section T4-T4	SD-27
14	T5	Stilt floor to 9th & 13th, 24th floor	SD-28
15	T5	10 to 12th & Terrace floor circulation F.A.R Area Detail of 1st to 24th floor	SD-29
16	T5	Section T5-T5	SD-32
17	T-4	Elevation T4-T4	SD-26
18	T5	Flat Area Detail 15% Facility Area Detail	SD-30
19	T5	Elevation T5-T5	SD-31
20	T6	Stilt to 9th & 13th to 24th floor plan	SD-33
21	T6	Flat Area Detail 15% Facility Area Detail	SD-35
22	T6	10th to 12th floor & Terrace floor circulation F.A.R Area Detail of stilt floor to 24th floor	SD-34
23	T4	15% Facility Area Detail stilt to 22th floor Area Statement	SD-25
24	T4	Terrace Plan, Flat at Area detail circulation F.A.R Detail of Stilt to 22th floor	SD-24
25	T4	Stilt Floor plan, Stilt Floor to 9th & 13th to 22th Floor	SD-23
26	T3	Section T3-T3'	SD-22
27	T3	Elevation T3-T3'	SD-21
28	T-3	10th to 12th floor & Terrace Plan, Detail of flat Area circulation F.A.R Area Detail of Stilt floor to 22th floor	SD-20
29	T3	Stilt floor Plan, Stilt Floor to 9th & 13th to 22th Floor, 15% facility area detail	SD-19
S.NO.	TOWER	TITLE	DRAWING NO.
30	T2	Section T2-T2'	SD-17
31	T2	Elevation T2-T2'	SD-18
32	T2	Flat at area detail, circulation F.A.R Detail of stilt to 22nd floor	SD-16
33	T2	22th floor, Terrace Plan, 15% facility Area Detail	SD-15
34	T2	Stilt floor Plan, stilt floor to 21th floor	SD-14
35	T1	Section T1-T1'	SD-13
36	T1	Elevation T1-T1'	SD-12
37	T1	Area Statement 15% facility of stilt to 21st floor	SD-11
38	T1	22th & Terrace floor, flat area detail, circulation F.A.R Detail of 1st to 22st floor	SD-10
39	T1	Stilt floor to 21th floor	SD-09
40		Podium floor plan	SD-08
41		Basement Deduction Area Detail	SD-07
42		Total Basement Area Detail	SD-06
43		1st floor Plan	SD-05
44		Basement Plan	SD-04
45		Podium floor plan	SD-03
46		Area Statement	SD-02
47		Site Plan	SD-01

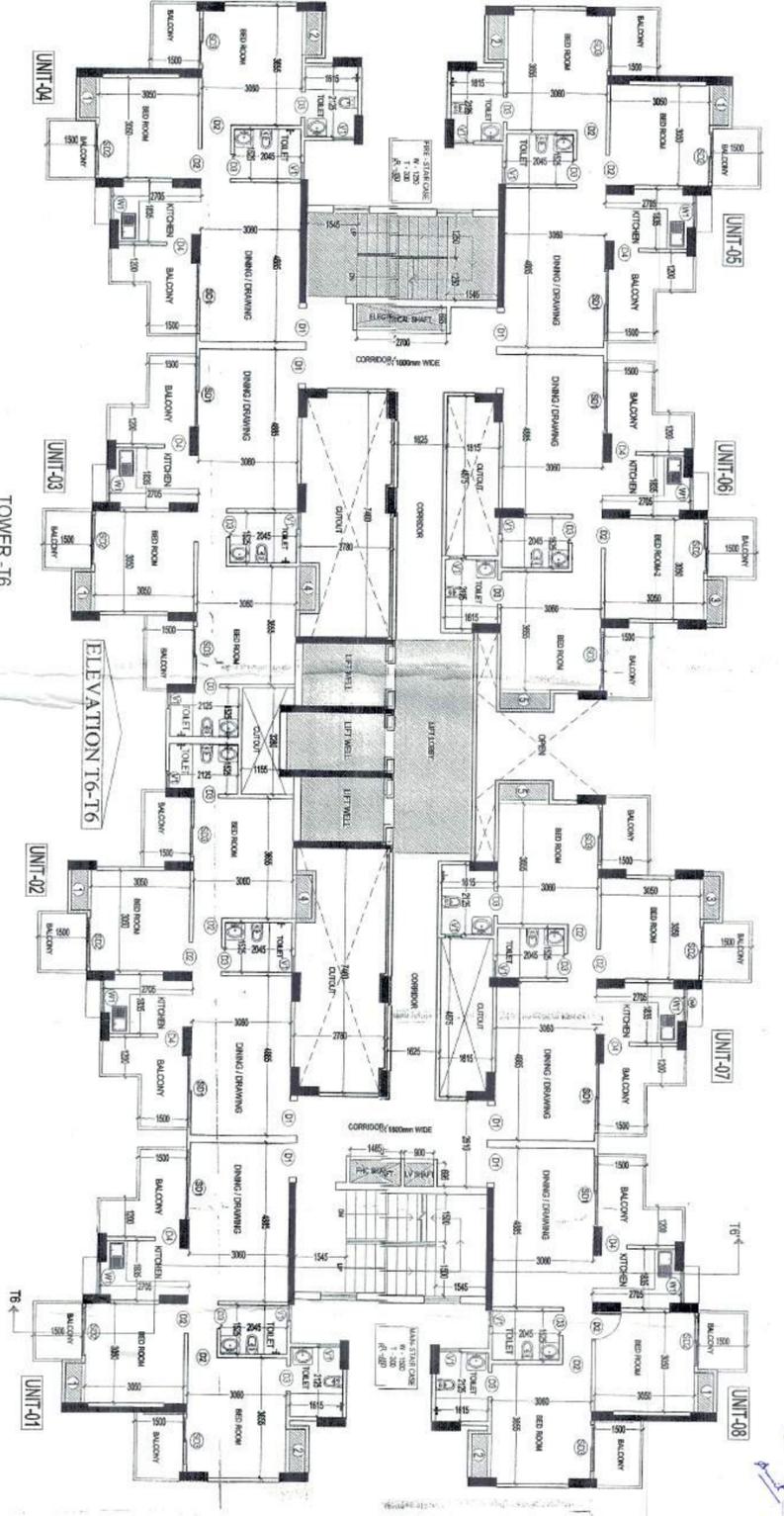
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38	T1	22th & Terrace floor, flat area detail, circulation F.A.R Detail of 1st to 22nd floor	SD-10
39	T1	Stilt floor to 21th floor	SD-09
40		Podium floor plan	SD-08
41		Basement Deduction Area Detail	SD-07
42		Total Basement Area Detail	SD-06
43		1st floor Plan	SD-05
44		Basement Plan	SD-04
45		Podium floor plan	SD-03
46		Area Statement	SD-02
47		Site Plan	SD-01



Greater Noida Regional Development Authority
APPROVED
 No. 11/2016
 Date: 11/11/2016
 Project: KV Developers Pvt. Ltd.
 Sector: Techzone IV, G. Noida



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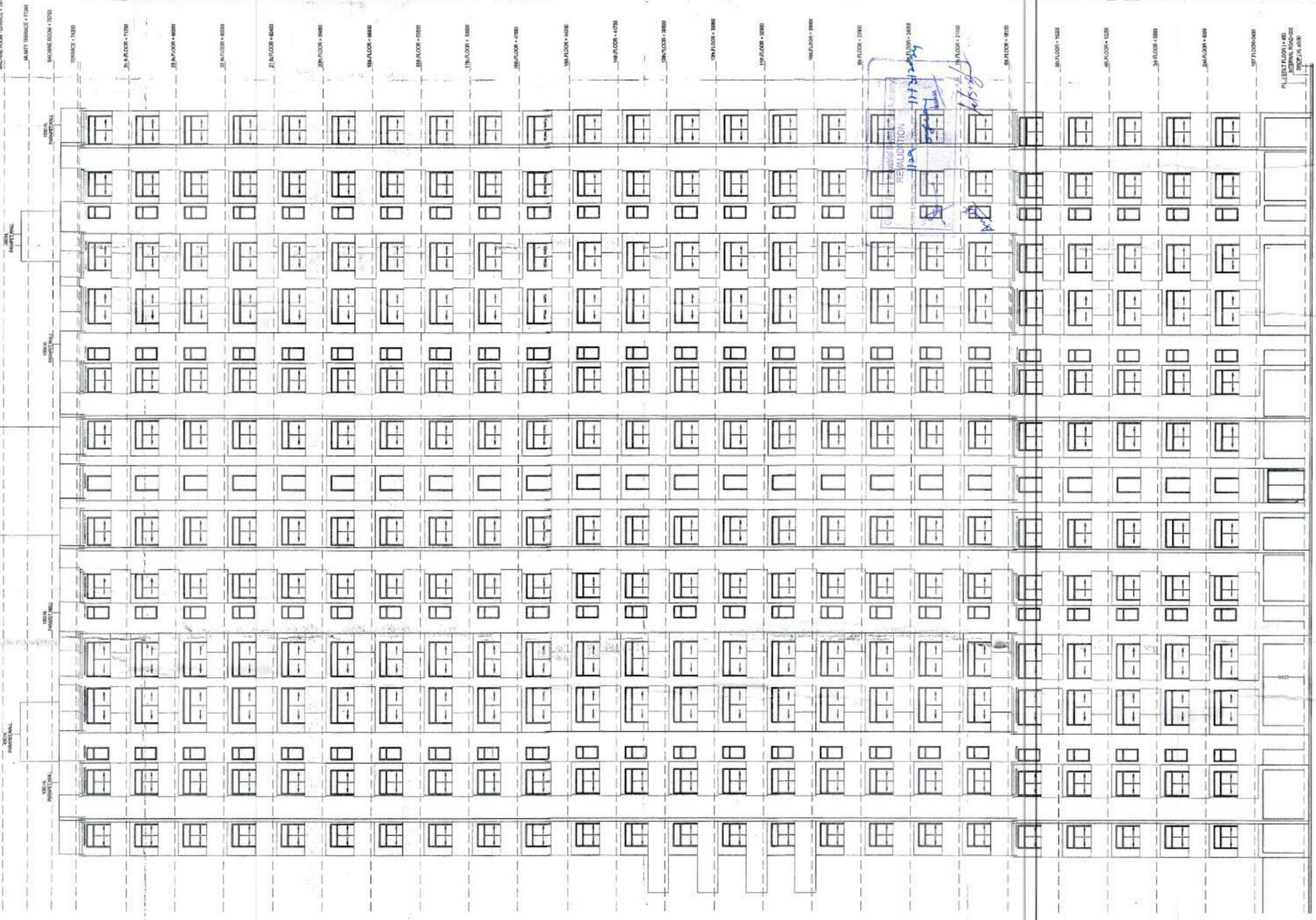
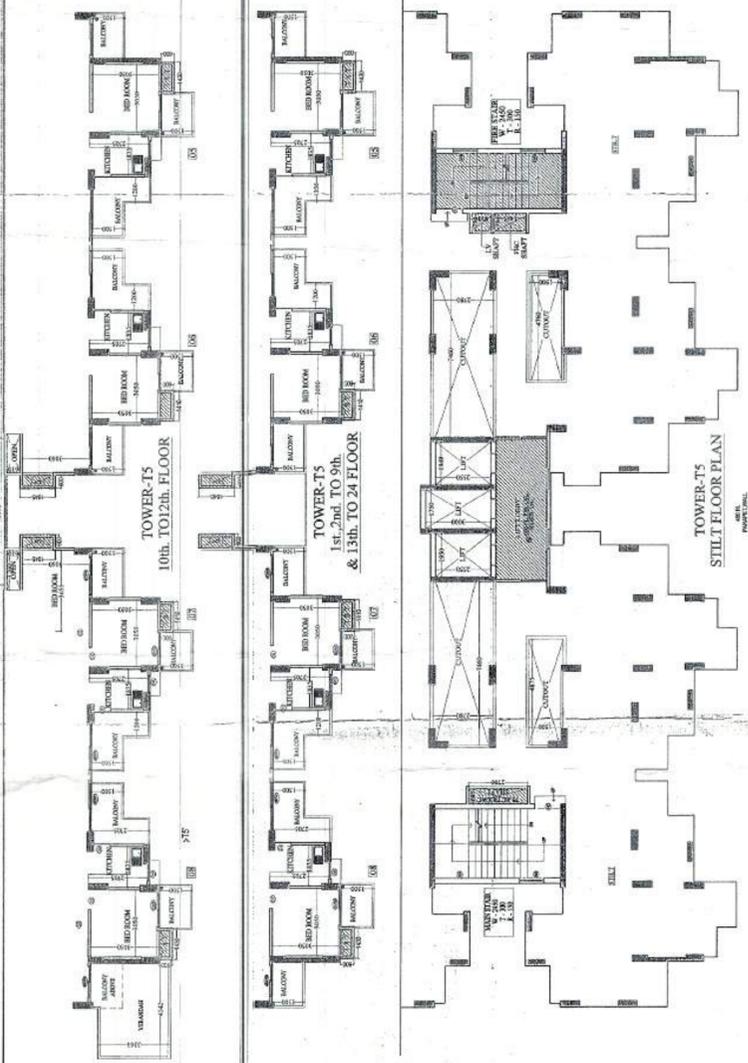
SUBMISSION DRAWING
 PROJECT :
 PROPOSED GROUP HOUSING
 AT PLOT NO. DV-GH-09B,
 SECTOR-TECHZONE IV, G. NOIDA
 CLIENT :
 KV DEVELOPERS PVT. LTD.
 TITLE :
 TOWER - T6
 STILT TO 8th, & 13th, TO 24th FLOOR PLAN
 DATE :
 SCALE : 1:100
 DRG. NO : SD-33
 NORTH :

For KV Developers Pvt. Ltd.
 APPROVED
 No. 11/2016
 Date: 11/11/2016
 Project: KV Developers Pvt. Ltd.
 Sector: Techzone IV, G. Noida

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DUPLICATE
THIS DRAWING IS NOT VALID FOR CONSTRUCTION
FOR ANY PURPOSES

SCHEMATIC
REVISED
DATE: 20/03/18



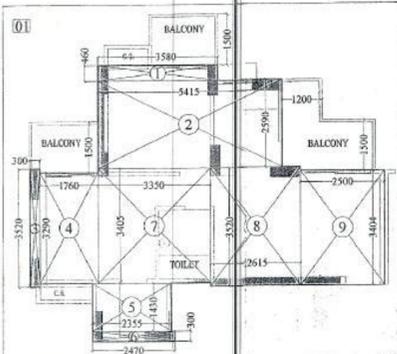
SUBMISSION DRAWING For KVM Developers Pvt. Ltd.
 PROJECT: PROPOSED GROUP HOUSING AT PLOT NO. DV-GH-09B, SECTOR-TECHZONE IV, G. NOIDA
 CLIENT: KVM DEVELOPERS PVT. LTD.
 TITLE: TOWER-15

APPROVED BY: [Signature]
 AUTHORIZED SIGNATORY

ARCHITECT'S SIGN: [Signature]
 OWNER'S SIGN: [Signature]

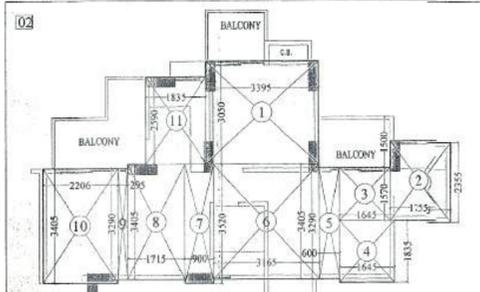
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19



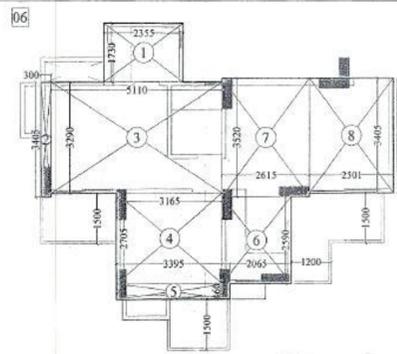
FLAT NO. = 01, 04, 05 & 08 ARE SAME
1st. TO 9th. & 13th. TO 24th. FLOOR

S.NO.	DIMENSION	AREA
1.	3.580 X 0.460	1.647 SQ.M
2.	5.415 X 2.590	14.025 SQ.M
3.	0.300 X 3.520	1.056 SQ.M
4.	1.760 X 3.290	5.790 SQ.M
5.	2.355 X 1.430	3.368 SQ.M
6.	2.470 X 0.300	0.741 SQ.M
7.	3.350 X 3.405	11.407 SQ.M
8.	2.615 X 3.520	9.205 SQ.M
9.	2.500 X 3.404	8.510 SQ.M
TOTAL		55.749 SQ.M
SAY AS		55.75 SQ.M



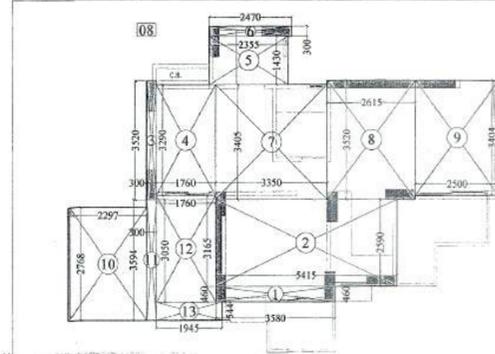
1st. TO 24th. FLOOR
FLAT NO - 02 & 03 AREA SAME

S.NO.	DIMENSION	AREA
1.	3.395 X 3.050	10.355 SQ.M
2.	1.755 X 2.355	4.119 SQ.M
3.	1.530 X 1.770	2.708 SQ.M
4.	1.645 X 1.835	3.019 SQ.M
5.	0.600 X 3.290	1.974 SQ.M
6.	3.165 X 3.405	10.777 SQ.M
7.	0.900 X 3.520	3.168 SQ.M
8.	1.715 X 3.405	5.840 SQ.M
9.	0.295 X 3.290	0.971 SQ.M
10.	2.206 X 3.405	7.511 SQ.M
11.	1.835 X 2.590	4.753 SQ.M
TOTAL		54.903 SQ.M
SAY AS		54.90 SQ.M



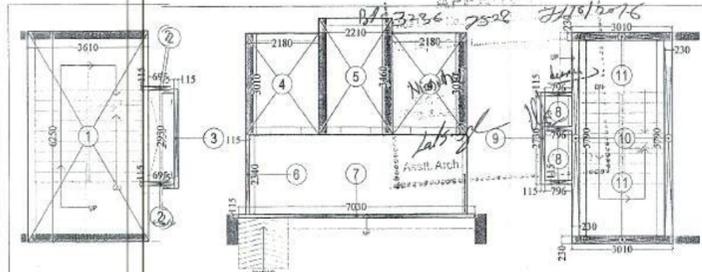
FLAT NO. = 06 & 07 ARE SAME
1st. TO 24th. FLOOR

S.NO.	DIMENSION	AREA
1.	2.355 X 1.730	4.074 SQ.M
2.	0.300 X 3.405	1.021 SQ.M
3.	5.110 X 3.290	16.812 SQ.M
4.	3.165 X 2.705	8.561 SQ.M
5.	3.395 X 0.460	1.562 SQ.M
6.	2.065 X 2.590	5.348 SQ.M
7.	2.615 X 3.520	9.205 SQ.M
8.	2.501 X 3.405	8.516 SQ.M
TOTAL		55.099 SQ.M
SAY AS		55.10 SQ.M



FLAT NO. = 08
10th. TO 12th. FLOOR

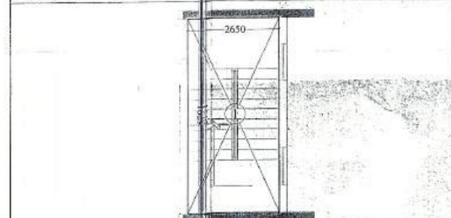
S.NO.	DIMENSION	AREA
1.	3.580 X 0.460	1.647 SQ.M
2.	5.415 X 2.590	14.025 SQ.M
3.	0.300 X 3.520	1.056 SQ.M
4.	1.760 X 3.290	5.790 SQ.M
5.	2.355 X 1.430	3.368 SQ.M
6.	2.470 X 0.300	0.741 SQ.M
7.	3.350 X 3.405	11.407 SQ.M
8.	2.615 X 3.520	9.205 SQ.M
9.	2.500 X 3.404	8.510 SQ.M
10.	2.297 X 2.768	6.358 SQ.M
11.	0.300 X 3.594	1.078 SQ.M
12.	1.760 X 3.165	5.570 SQ.M
13.	1.945 X 0.544	1.058 SQ.M
TOTAL		69.813 SQ.M
SAY AS		69.81 SQ.M



F.A.R. AREA DETAIL OF STILL FLOOR

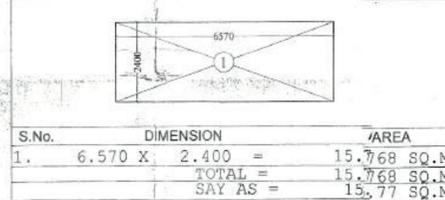
1.	3.610 X 6.250	=	22.562 SQ.M
2.	0.695 X 0.115	X 2 =	0.160 SQ.M
3.	0.115 X 2.930	X 2 =	0.337 SQ.M
4.	2.180 X 3.010	X 2 =	13.124 SQ.M
5.	2.210 X 3.460	=	7.647 SQ.M
6.	0.115 X 2.340	=	0.269 SQ.M
7.	7.030 X 0.115	=	0.808 SQ.M
8.	0.115 X 0.115	X 3 =	0.275 SQ.M
9.	0.230 X 5.790	X 2 =	2.663 SQ.M
10.	0.115 X 2.730	=	0.314 SQ.M
11.	3.010 X 0.230	X 2 =	1.385 SQ.M
TOTAL = 49.544 SQ.M			
SAY AS = 49.54 SQ.M			

15% FACILITY AREA DETAIL OF FIRE STAIR
GROUND. TO 24th. FLOOR



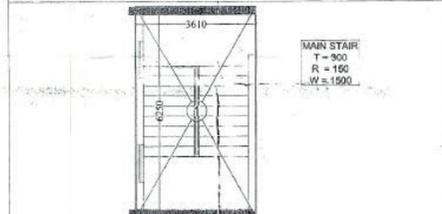
S.No.	DIMENSION	AREA
1.	2.650 X 5.791	15.346 SQ.M
TOTAL		15.346 SQ.M
SAY AS		15.35 SQ.M

15% FACILITY AREA DETAIL OF LIFT LOBBY
GROUND TO 24th. FLOOR



S.No.	DIMENSION	AREA
1.	6.570 X 2.400	15.768 SQ.M
TOTAL		15.768 SQ.M
SAY AS		15.77 SQ.M

15% FACILITY AREA DETAIL OF
MAIN STAIR CASE MUMTY

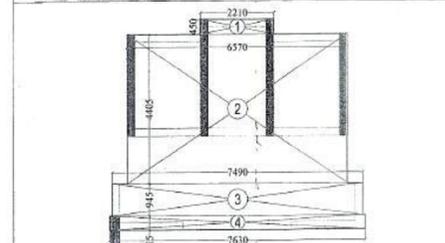


S.No.	DIMENSION	AREA
1.	3.610 X 6.250	22.562 SQ.M
TOTAL		22.56 SQ.M

15% FACILITY AREA OF STILL/GROUND FLOOR
= FIRE STAIR CASE + SERVICE SHAFT + LIFT LOBBY
= 15.35 + 3.77 + 15.77 = 34.89 SQ.M.

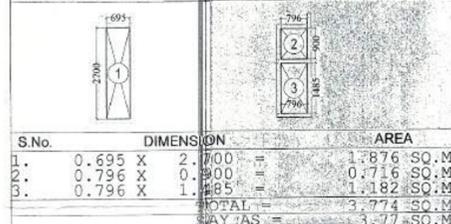
15% FACILITY AREA OF 1st. TO 24th. FLOOR
= FIRE STAIR CASE + SERVICE SHAFT + LIFT LOBBY
+ LIFT SHAFT + CUPBOARD
= 15.35 + 3.54 + 15.77 + 15.20 + 14.71 = 64.57 SQ.M.

15% FACILITY AREA DETAIL OF
MACHINE ROOM



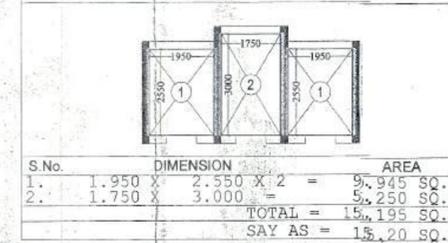
S.No.	DIMENSION	AREA
1.	2.210 X 0.450	0.994 SQ.M
2.	6.570 X 4.405	28.941 SQ.M
3.	7.490 X 0.945	7.078 SQ.M
4.	7.630 X 0.415	3.166 SQ.M
TOTAL		40.179 SQ.M
TOTAL		40.18 SQ.M

15% FACILITY AREA DETAIL OF SERVICE SHAFT
GROUND FLOOR



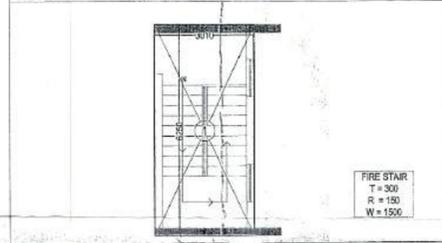
S.No.	DIMENSION	AREA
1.	0.695 X 2.700	1.876 SQ.M
2.	0.796 X 0.900	0.716 SQ.M
3.	0.796 X 1.185	0.943 SQ.M
TOTAL		3.536 SQ.M
SAY AS		3.54 SQ.M

15% FACILITY AREA DETAIL OF LIFT SHAFT
1st. TO 24th. FLOOR



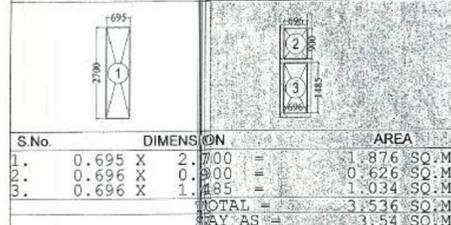
S.No.	DIMENSION	AREA
1.	1.950 X 2.550 X 2	9.945 SQ.M
2.	1.750 X 3.000	5.250 SQ.M
TOTAL		15.195 SQ.M
SAY AS		15.20 SQ.M

15% FACILITY AREA DETAIL OF
FIRE STAIR CASE MUMTY



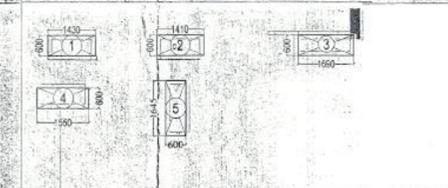
S.No.	DIMENSION	AREA
1.	3.010 X 6.250	18.812 SQ.M
TOTAL		18.81 SQ.M
SAY AS		18.81 SQ.M

15% FACILITY AREA DETAIL OF SERVICE SHAFT
1st. TO 24th. FLOOR



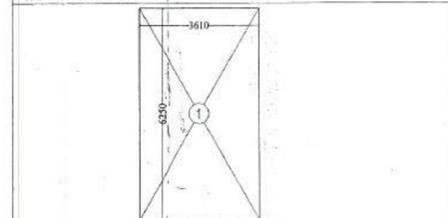
S.No.	DIMENSION	AREA
1.	0.695 X 2.700	1.876 SQ.M
2.	0.696 X 0.900	0.626 SQ.M
3.	0.696 X 1.185	0.824 SQ.M
TOTAL		3.536 SQ.M
SAY AS		3.54 SQ.M

15% FACILITY AREA DETAIL OF CUPBOARD
1st. TO 24th. FLOOR



S.No.	DIMENSION	AREA
1.	1.430 X 0.600 X 4	3.432 SQ.M
2.	1.410 X 0.600 X 4	3.384 SQ.M
3.	1.690 X 0.600 X 4	4.056 SQ.M
4.	1.550 X 0.600 X 2	1.860 SQ.M
5.	0.600 X 1.645 X 2	1.974 SQ.M
TOTAL		14.708 SQ.M
SAY AS		14.71 SQ.M

15% FACILITY AREA DETAIL OF
WATER TANK



S.No.	DIMENSION	AREA
1.	3.610 X 6.250	22.562 SQ.M
TOTAL		22.56 SQ.M

AREA DETAIL (F.A.R.) 1st. TO 9th. & 13th. TO 24th. FLOOR

FLAT No.	Flat area	No. Of Flat	TOTAL AREA
FLAT No.- 01, 04, 05 & 08 ARE SAME	55.75	4 Nos.	223.00 Sq. M
FLAT No.-02 & 03 ARE SAME	54.90	2 Nos.	109.80 Sq. M
FLAT No.-06 & 07 ARE SAME	55.10	2 Nos.	110.20 Sq. M
TOTAL AREA (Flats)			443.00 Sq. M
CIRCULATION	81.82 Sq.M	1No.	81.82 Sq. M
TOTAL 1st. FLOOR AREA			524.82 Sq. M

AREA DETAIL (F.A.R.) 10th. TO 12th. FLOOR

FLAT No.	Flat area	No. Of Flat	TOTAL AREA
FLAT No.- 01, 04, 05 ARE SAME	55.75	3 Nos.	167.25 Sq. M
FLAT No.- 08	69.81	1 Nos.	69.81 Sq. M
FLAT No.-02 & 03 ARE SAME	54.90	2 Nos.	109.80 Sq. M
FLAT No.-06 & 07 ARE SAME	55.10	2 Nos.	110.20 Sq. M
TOTAL AREA (Flats)			457.06 Sq. M
CIRCULATION	81.82 Sq.M	1No.	81.82 Sq. M
TOTAL 10th. FLOOR AREA			538.88 Sq. M

SUBMISSION DRAWING

PROJECT :
PROPOSED GROUP HOUSING
AT PLOT NO . DV-GH-09B,
SECTOR-TECHZONE IV, G. NOIDA

CLIENT :
KV DEVELOPERS PVT. LTD.

TITLE : TOWER- T5
FLAT AREA DETAIL
15% FACILITY AREA DETAIL

DATE :
SCALE : 1:100

For K.V. Developers Pvt. Ltd.
Authorised

OWNER'S SIGN

DRG. NO : SD-30

NORTH:

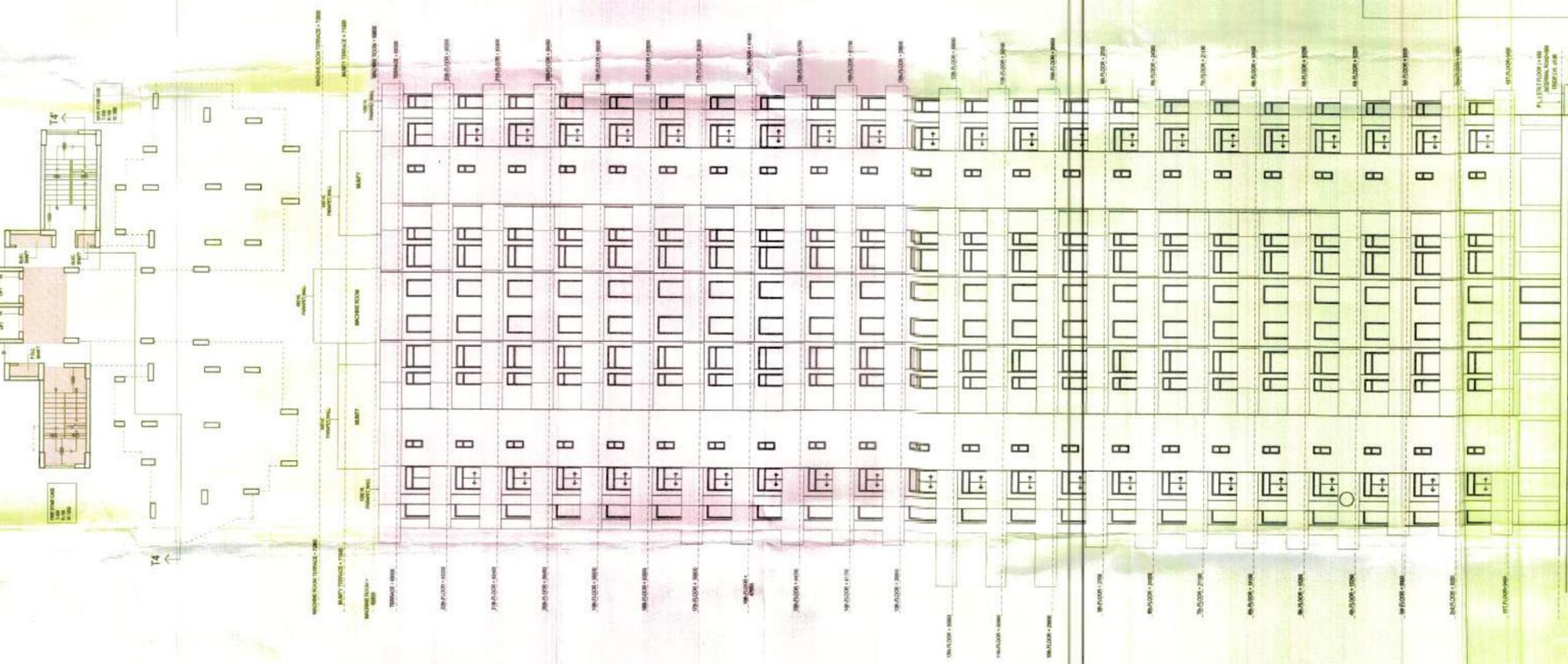
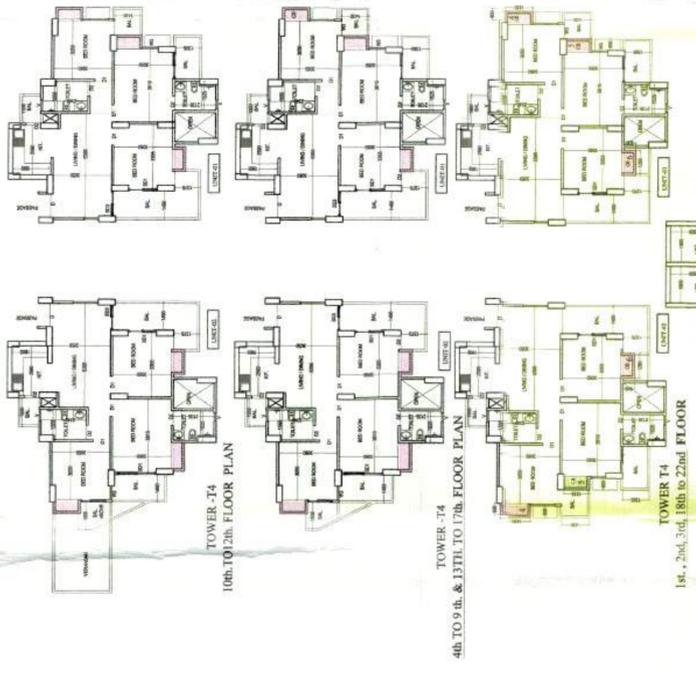
ARCHITECT'S SIGN

सत्यमेव जयते
प्रमाण प्रमाण (फोटोकॉपी)
केवल प्रमाण प्रमाण
DUPLICATE

Noida Industrial Development Authority
REVALIDATION
Date: 11/13/2024
5 years
11/13/2024

APPROVE
A-77, Sec-52, Noida
Ar. CHAITANYA V.P. TS.
Regn.No. CA/2012/55185

86-2236 21/12/17
 7/12/19/17
 9528-98
 Nimitz
 Nimitz



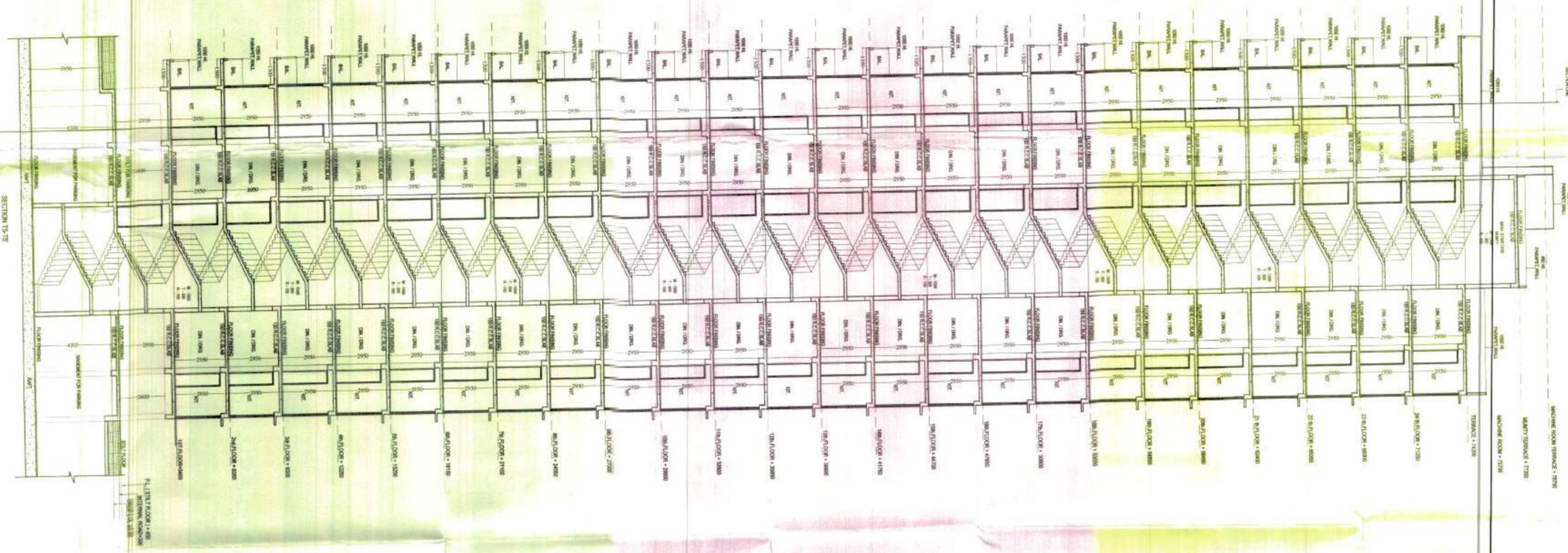
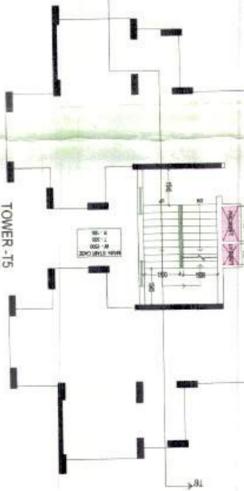
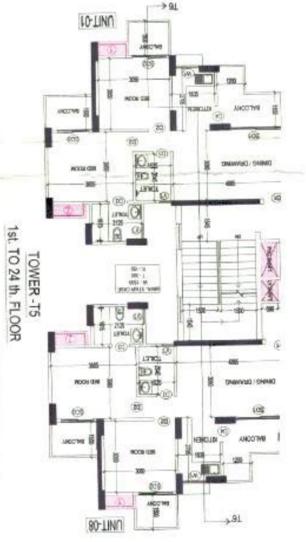
11/2/2017
 11/3/2017
 5/2/2017

DUPLICATE
 1/1/2017

SUBMISSION DRAWING
 PROJECT: PROPOSED GROUP HOUSING AT PLOT NO. DV-GH-09B, SECTOR-TECHZONE IV, G. NOIDA
 CLIENT: KV DEVELOPERS PVT. LTD.
 TITLE: TOWER T4
 ELEVATION T4-T4
 DATE: 11/2/2017
 ENG. NO.: SD-26
 SCALE: 1:200
 NORTH
 OWNERS SIGN: [Signature]
 ARCHITECT'S SIGN: [Signature]
 For K.V. Developers
 Authorised Signatory: [Signature]

12

22/02/2017
 11/02/2017
 04/2017



Greater Noida Industrial Estate - 2014 Architects
 REVALIDATION
 Valid Licence No. 1127 Date: 11/03/2023
 5 years

रिप्ले और
 एरर स्ट्रोक (फ्लैश)
 एरर ड्रॉइंग (रेफरेंस)
 शरदिका प्रोटी

883236
 7528
 21/8/2018
 5 years
 Shanti
 Luv

SUBMISSION DRAWING
 PROJECT :
 PROPOSED GROUP HOUSING
 AT PLOT NO. DV-6H-09B
 SECTOR-TECHZONE IV, G. Noida
 CLIENT :
 KV DEVELOPERS PVT. LTD.

TITLE :
 TOWER-15
 SECTION 15-15

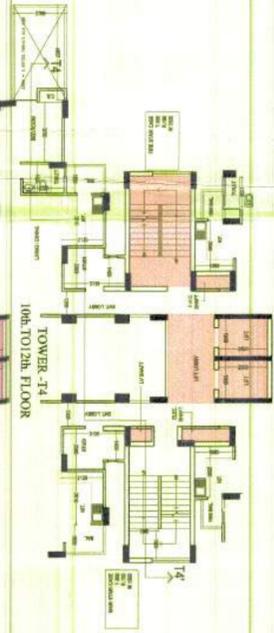
DATE :
 11/30
 SCALE :
 SD-32
 DISG. NO. :
 NORTH :

For KV Developers Pvt Ltd
 Architects: Shanti Luv
 ARCHITECTS SIGN
 OWNER'S SIGN

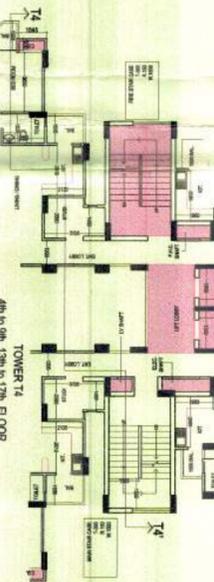
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DUPLICATE

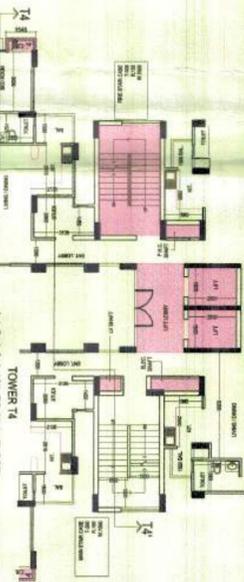
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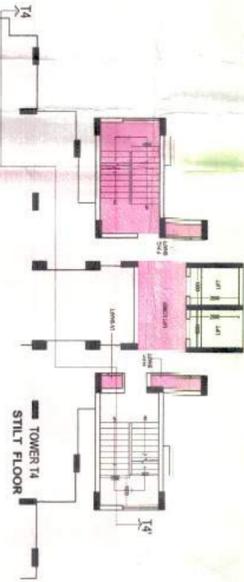
TOWER 14
10th TO 12th FLOOR



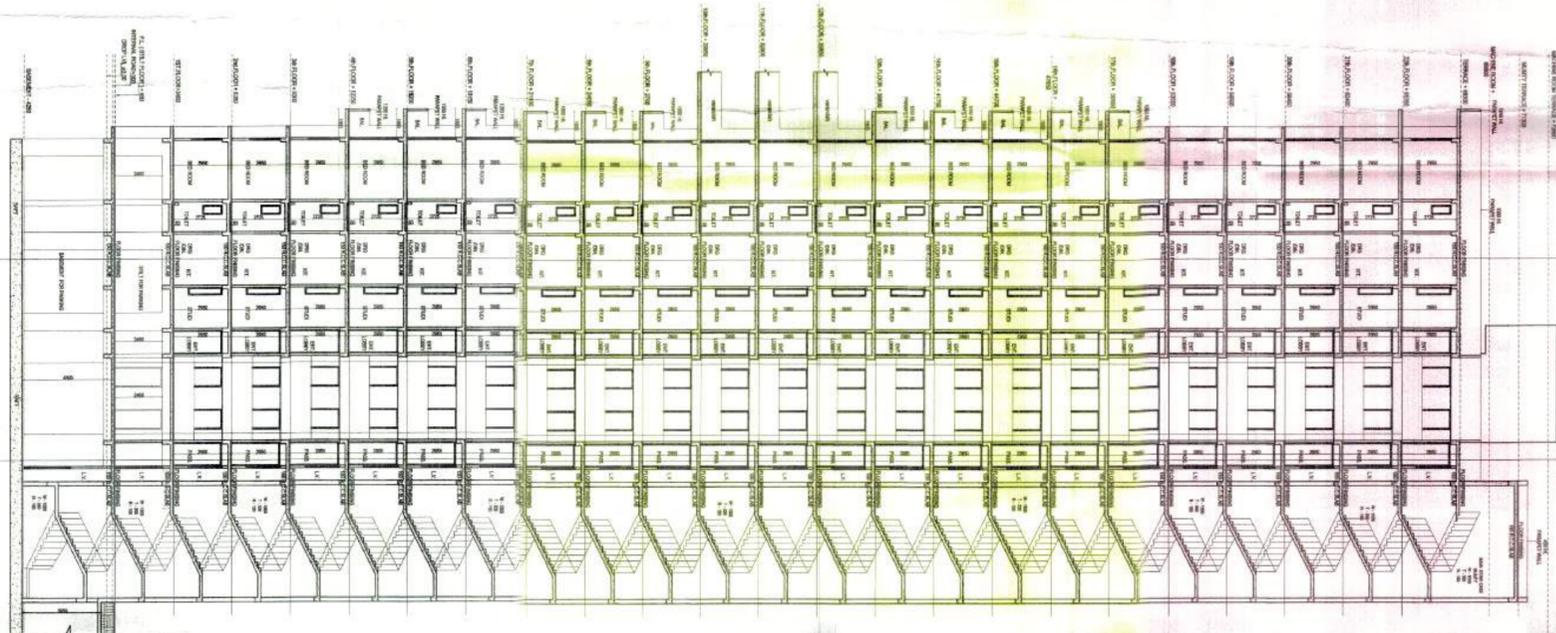
TOWER 14
4th to 9th, 15th to 17th FLOOR



TOWER 14
18th to 23rd FLOOR



TOWER 14
STILT FLOOR



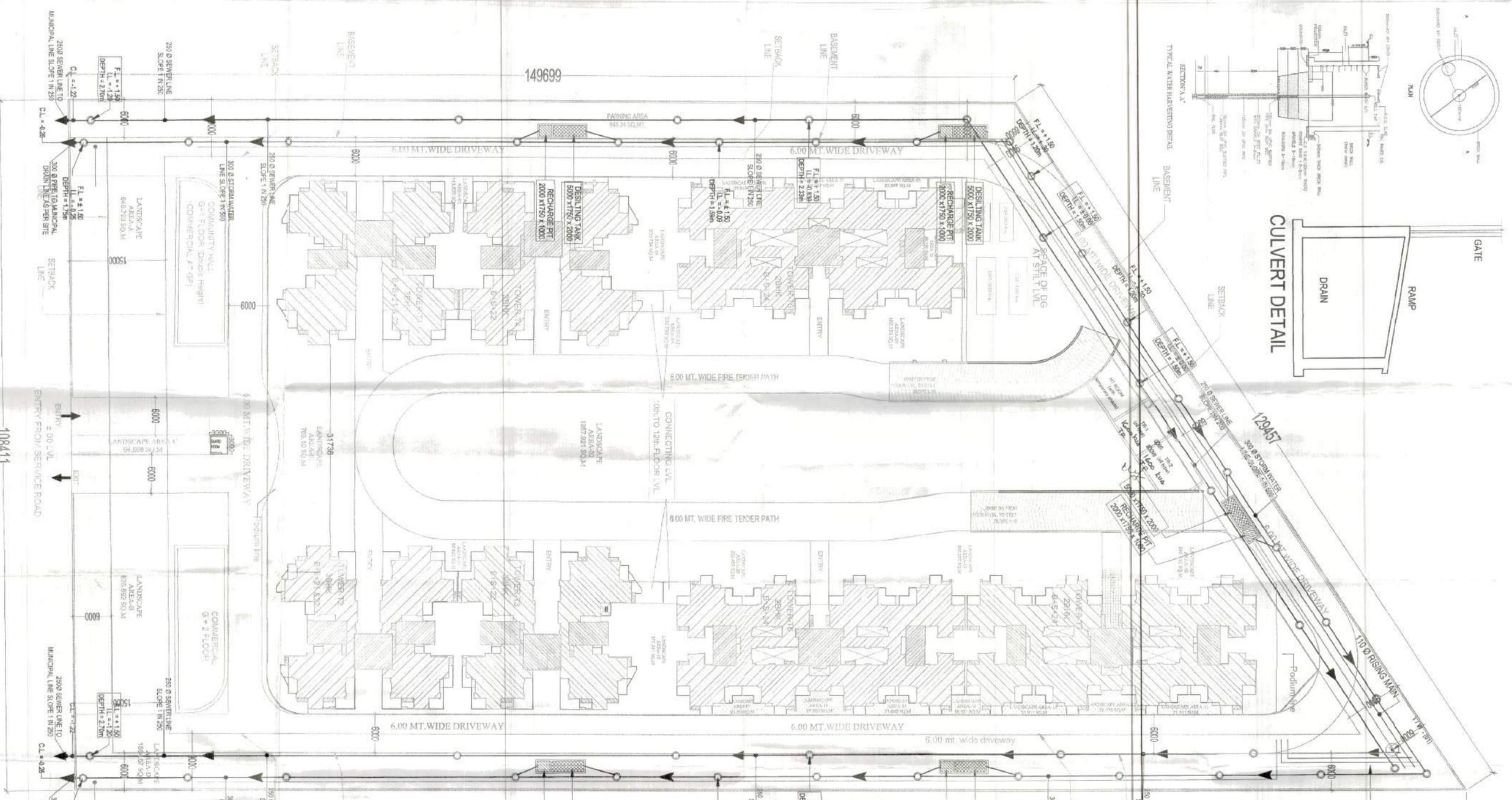
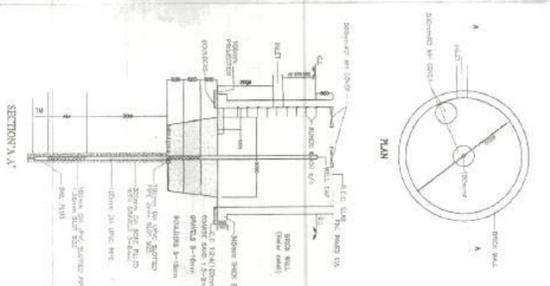
SECTION T4-T4



SUBMISSION DRAWING	
PROPOSED GROUP HOUSING	
AT PLOT NO. DV-GH-098,	
SECTOR-TECHZONE IV, G. Noida	
CLIENT :	
RV DEVELOPERS PVT. LTD.	
TITLE :	
TOWER 14	
SECTION T4-T4	
DATE :	DWG NO :
SCALE : 1/200	NO. OF SHEETS :
OWNER'S SIGN :	ARCHITECT'S SIGN :

For K.V. Developer
Authorised Signatory
SACHWALE
Architects & Planners
A-11, Sector 17, Noida
U.P. Pin Code - 201305

Handwritten notes and signatures in the bottom right corner, including the name 'Nandini' and a date '28/01/2024'.

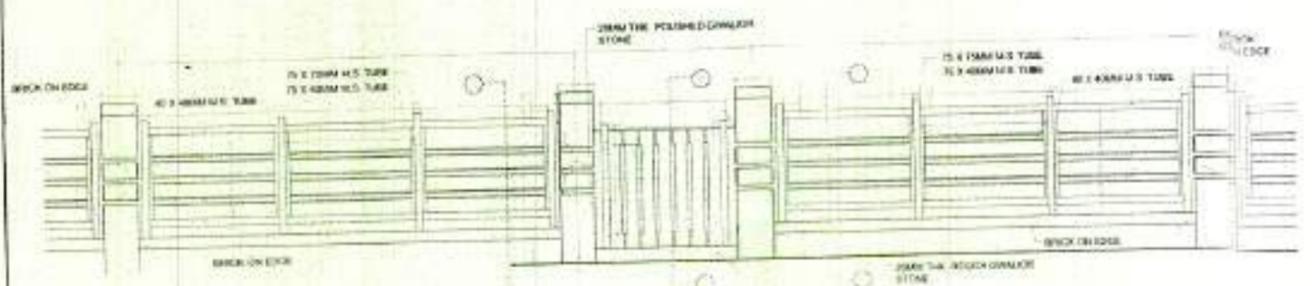


SITE PLAN

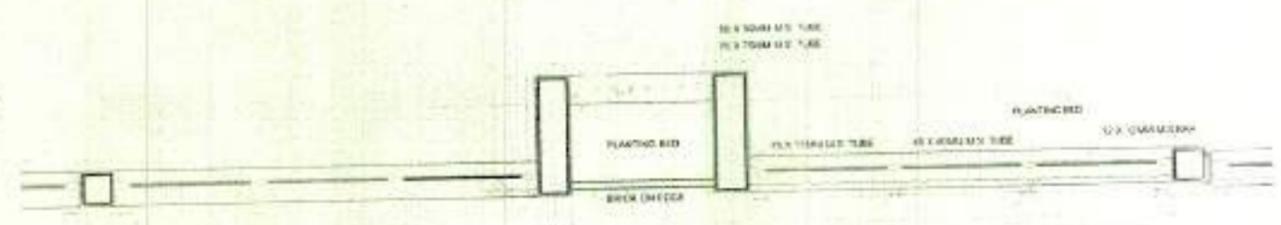
S.NO	PARTICULARS	F.A.R. %	SQ. MTR.
1	TOTAL PLOT AREA		19,596.00
2	PERMISSIBLE F.A.R. FOR HOUSING	3.50	69,961.00
	A) PERMISSIBLE F.A.R. FOR HOUSING	= 2.75 X 19,596.00 = 54,981.50 SQ.M.	
	B) ADDITIONAL 0.75 F.A.R. PURCHASABLE	= 19,996.00 X 0.75 = 14,998.50 SQ.M.	
	TOTAL PERMISSIBLE F.A.R. FOR HOUSING = A + B	= 54,981.50 + 14,998.50 = 69,980.00 SQ.M.	
3	PERMISSIBLE 15% F.A.R. FOR FACILITY	15%	10,492.85
	A) PERMISSIBLE 15% FOR FACILITY		
	OF TOTAL MAIN F.A.R. AREA	15% OF 54,981.50 = 8,247.225 SQ.M.	
	B) PERMISSIBLE 15% FOR FACILITY		
	OF TOTAL PURCHASABLE F.A.R. AREA	= 15% OF 14,998.50 SQ.M. = 2,249.775 SQ.M.	
	TOTAL PERMISSIBLE 15% F.A.R. FOR FACILITY = A+B	= 8,247.225 + 2,249.775 = 10,497.00 SQ.M.	
4	PERMISSIBLE GROUND COVERAGE		6995.10
	19,996.00 SQ.M. @ 35% = 6998.10 SQ. MT.	35%	
5	PROPOSED TOTAL GROUND COVERAGE		4246.32
	PERMISSIBLE AREA IN F.A.R. FOR COMMERCIAL		
	100% OF TOTAL F.A.R. AREA	= 100% X 19,996.50 = 19,996.50	6995.51
	100% X 69981.00 SQ.M. = 69981.00 SQ.M.		
6	PROPOSED COMMERCIAL F.A.R. AREA DETAIL		
7	TOTAL F.A.R. ACHIEVED	3.497	69920.61
	A) F.A.R. ACHIEVED FOR RESIDENTIAL	69933.7	
	B) F.A.R. ACHIEVED FOR COMMERCIAL	699.91	
	TOTAL F.A.R. AREA PROPOSED	(A+B) = 69933.61 SQ.M.	
8	ACHIEVED FOR FACILITY		10490.11
	PROPOSED AREA IN 15% FACILITY AREA FOR HOUSING =		
	FIRE STAIR CASE AREA + LIFT TOWER AREA + INVERTED AREA		
	+ CHIMNEY + GARAGE ROOM + OVER HEAD TANK + S.T.P. +		
	L.T. PAVILION + 10490.11 SQ. MT.		
9	PERMISSIBLE DENSITY = 2100 PPH		
10	A) ACHIEVED DENSITY (ASSUMING 4.0 NO. PERSONS PER UNIT FOR 200 NO. UNITS = 800.00 PPH)	19,998.39	
	B) ACHIEVED DENSITY = 821 No.	821 No.	
	C) ACHIEVED PERSONS = UNITS X 4.0 = 800 X 4.0 = 3200	3200	
11	DESISTING TANK 5000 X 1750 X 2000	7869.84	
	RECHARGE PIT 2000 X 1750 X 1000	7869.84	
12	PROPOSED LANDSCAPE AREA	7860	
	REQUIRED TREE AS PER 1 NO. OF TREE PER 100 SQ.MT. OF OPEN AREA	157 NO.S	
	(G.O.T. AREA - GROUND COVERAGE) X 100 = (19,996.00 - 4246.32) / 100 = 157.57 NO. SAY 157 NO.S.		
13	NO. OF TREES PROPOSED - 160 NO.S. OF 60% EVER GREEN	160 NO.S	
14	PARKING REQUIRED	874 E.C.S.	
	@ 1 E.C.S. / 80 SQ.M. F.A.R. AREA		
	= 69,920.61 / 80 = 874 E.C.S.		
15	PROPOSED PARKING	887 E.C.S.	
	BARBERY PARKING AREA	461	
	A) = 14,520.00 @ 30 SQ.MT. PER E.C.S.		
	B) = 14,520.00 @ 30 SQ.MT. PER E.C.S.		
	C) = 14,520.00 @ 30 SQ.MT. PER E.C.S.		
	D) = 14,520.00 @ 30 SQ.MT. PER E.C.S.		
	E) = 14,520.00 @ 30 SQ.MT. PER E.C.S.		
	F) = 14,520.00 @ 30 SQ.MT. PER E.C.S.		
	G) = 14,520.00 @ 30 SQ.MT. PER E.C.S.		
	H) = 14,520.00 @ 30 SQ.MT. PER E.C.S.		
	I) = 14,520.00 @ 30 SQ.MT. PER E.C.S.		
	J) = 14,520.00 @ 30 SQ.MT. PER E.C.S.		
	K) = 14,520.00 @ 30 SQ.MT. PER E.C.S.		
	L) = 14,520.00 @ 30 SQ.MT. PER E.C.S.		
	M) = 14,520.00 @ 30 SQ.MT. PER E.C.S.		
	N) = 14,520.00 @ 30 SQ.MT. PER E.C.S.		
	O) = 14,520.00 @ 30 SQ.MT. PER E.C.S.		
	P) = 14,520.00 @ 30 SQ.MT. PER E.C.S.		
	Q) = 14,520.00 @ 30 SQ.MT. PER E.C.S.		
	R) = 14,520.00 @ 30 SQ.MT. PER E.C.S.		
	S) = 14,520.00 @ 30 SQ.MT. PER E.C.S.		
	T) = 14,520.00 @ 30 SQ.MT. PER E.C.S.		
	U) = 14,520.00 @ 30 SQ.MT. PER E.C.S.		
	V) = 14,520.00 @ 30 SQ.MT. PER E.C.S.		
	W) = 14,520.00 @ 30 SQ.MT. PER E.C.S.		
	X) = 14,520.00 @ 30 SQ.MT. PER E.C.S.		
	Y) = 14,520.00 @ 30 SQ.MT. PER E.C.S.		
	Z) = 14,520.00 @ 30 SQ.MT. PER E.C.S.		
16	TOTAL NON F.A.R. AREA	28,798.70	
	A) TOTAL MANSION AREA	11,518.00 SQ. MT.	
	B) PROPOSED NON F.A.R. AREA	8,899.28 SQ. MT.	
	C) TOTAL SPLIT AREA	8,381.42 SQ. MT.	
	TOTAL A+B+C	28,798.70 SQ. MT.	
17	TOTAL SPLIT UP AREA	1,07,497.42	
	A) TOTAL F.A.R. AREA	69933.61 SQ. MT.	
	B) TOTAL FACILITY AREA	10490.11 SQ. MT.	
	C) TOTAL NON F.A.R. AREA	28,798.70 SQ. MT.	
	TOTAL A+B+C	1,07,497.42 SQ. MT.	

PROJECT: SUBMISSION DRAWING
 PROPOSED GROUP HOUSING AT PLOT NO. DV-GH-09B, SECTOR-TECHZONE IV, G. NOIDA
 CLIENT: KV DEVELOPERS PVT. LTD.
 SHEET TITLE: SERVICES PLAN
 DATE: 09-05-13
 DRG. NO: SD-01
 SCALE: 1:100
 ARCHITECTS: ARCHITECT'S SIGN
 For K.V. DEVELOPERS PVT. LTD.
 ARCHITECTS: ARCHITECT'S SIGN

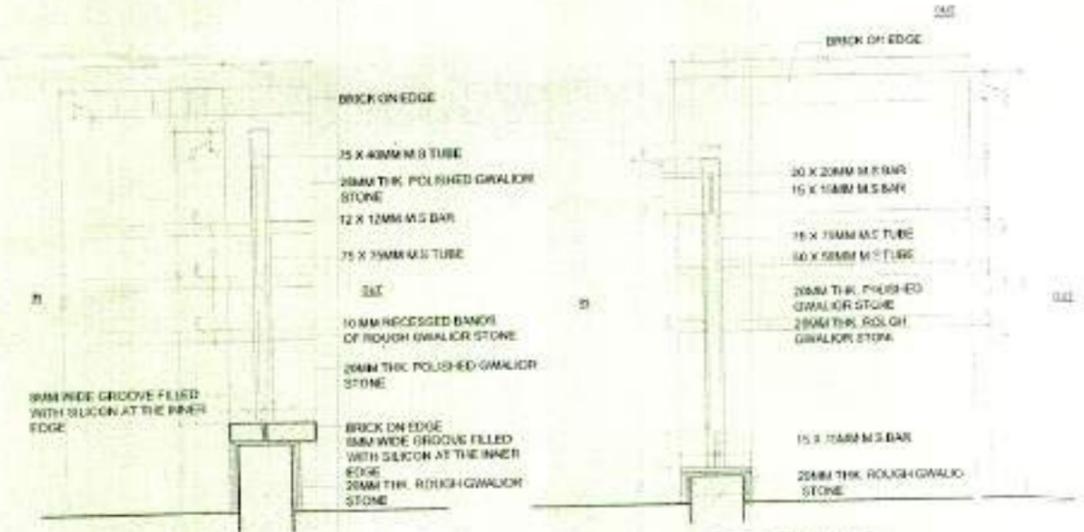




ELEVATION OF BOUNDARY WALL TYPICAL GRILL PANEL

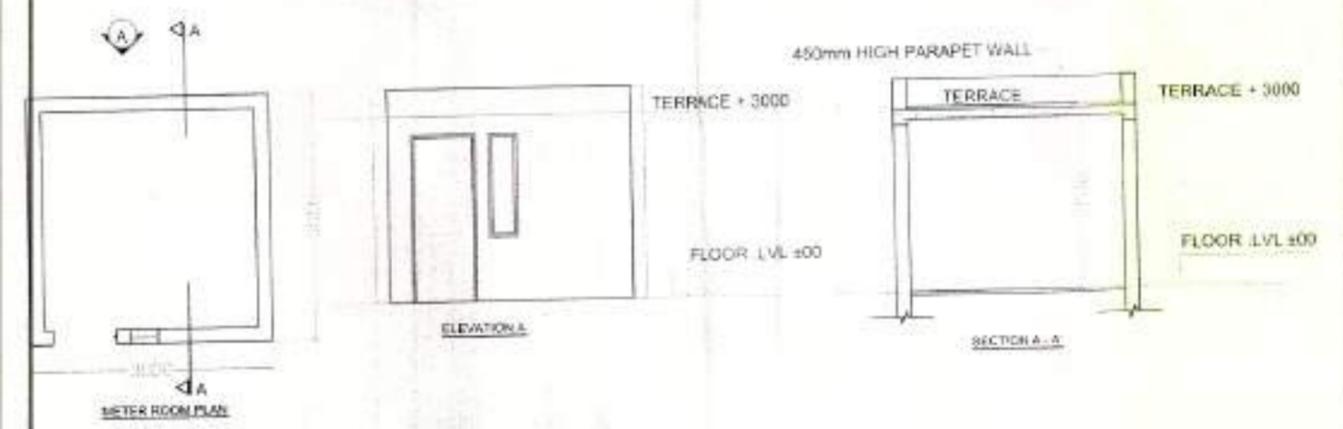
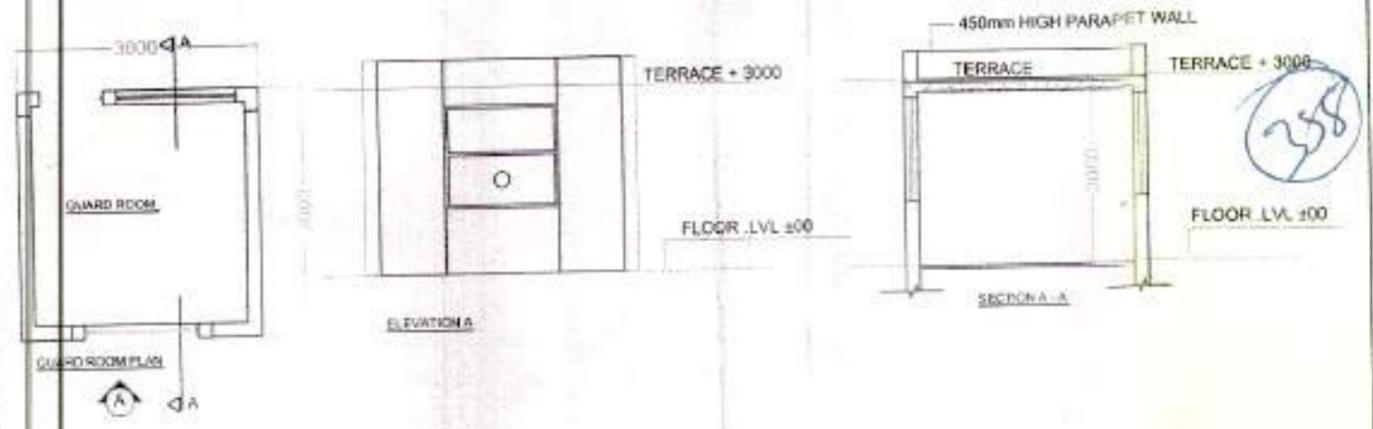


PLAN OF BOUNDARY WALL TYPICAL GRILL PANEL



SECTION AA SCALE - 1:10

SECTION BB SCALE - 1:10



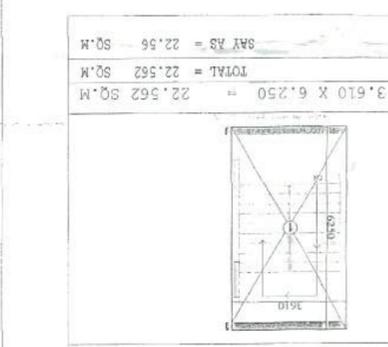
SUBMISSION DRAWING	
PROJECT	PROPOSED GROUP HOUSING AT PLOT NO. D/4/4/08/1 SECTOR-TECH-3/ZONE IV, G. Noida
CLIENT	KV DEVELOPERS PVT. LTD.
TITLE	BOUNDARY WALL DETAIL, CLOSE ROOM DETAIL, METER ROOM DETAIL
DATE	27.10.2018
SCALE	1:20
ORIENT.	NORTH

PROJECT: SUBMISSION DRAWING
 AT PLOT NO. DV-GH-09B,
 SECTOR-TECHZONE IV, G. NOIDA
 CLIENT: KV DEVELOPERS PVT. LTD.
 TOWER-17
 TITLE: 15% FACILITY AREA DETAIL
 DRG. NO.: SD-40
 DATE: _____
 SCALE: 1:100
 NORTH: _____
 AUTHORIZED SIGNATORY
 OWNER'S SIGN
 ARCHITECT: ARCHITECTS CHATANYA VAS
 A-77, Sec-02, Noida
 U.PIN-2013016



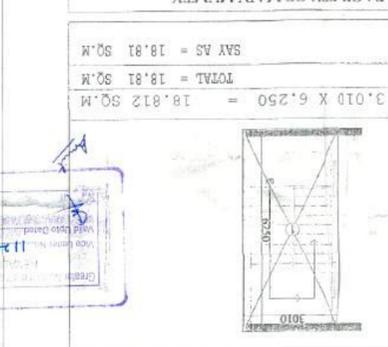
15% FACILITY OF FIRE MUMMITY & WATER TANK

1.	3.610 X 6.250 =	22.562 SQ.M
2.	3.010 X 6.250 =	18.812 SQ.M
TOTAL =		44.374 SQ.M
SAY AS =		44.37 SQ.M



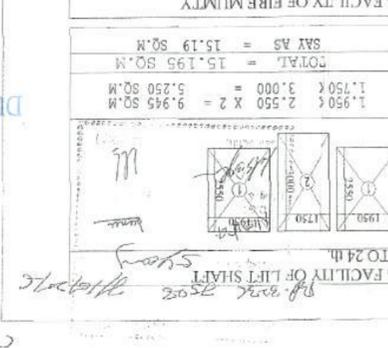
15% FACILITY OF FIRE STAIR

1.	2.550 X 5.790 =	14.764 SQ.M
TOTAL =		14.764 SQ.M
SAY AS =		14.76 SQ.M



15% FACILITY OF MAIN MUMMITY

1.	3.610 X 6.250 =	22.562 SQ.M
2.	3.010 X 6.250 =	18.812 SQ.M
TOTAL =		41.374 SQ.M
SAY AS =		41.37 SQ.M



15% FACILITY OF FIRE MUMMITY

1.	1.315 X 0.600 X 6 =	4.734 SQ.M
2.	1.575 X 0.600 X 4 =	3.780 SQ.M
3.	1.545 X 0.600 X 2 =	1.860 SQ.M
4.	1.550 X 0.600 X 2 =	1.860 SQ.M
5.	1.760 X 0.600 X 2 =	2.112 SQ.M
TOTAL =		14.340 SQ.M
SAY AS =		14.34 SQ.M



15% FACILITY OF CUP BOARD

1.	1.950 X 2.550 X 2 =	9.945 SQ.M
2.	1.750 X 3.000 X 2 =	5.250 SQ.M
TOTAL =		15.195 SQ.M
SAY AS =		15.19 SQ.M

15% FACILITY AREA OF 1st. FLOOR TO 24th.

1.	2.550 X 5.790 X 2 =	29.718 SQ.M
2.	0.280 X 6.250 X 2 =	3.500 SQ.M
3.	0.115 X 2.930 X 2 =	0.672 SQ.M
4.	0.115 X 2.930 X 2 =	0.672 SQ.M
5.	0.280 X 6.250 X 2 =	3.500 SQ.M
6.	0.115 X 2.930 X 2 =	0.672 SQ.M
7.	0.115 X 2.930 X 2 =	0.672 SQ.M
8.	0.115 X 2.930 X 2 =	0.672 SQ.M
9.	0.115 X 2.930 X 2 =	0.672 SQ.M
10.	0.115 X 2.930 X 2 =	0.672 SQ.M
TOTAL =		48.435 SQ.M
SAY AS =		48.435 SQ.M

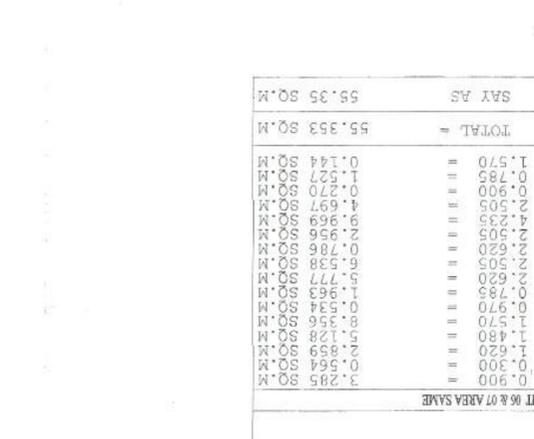


15% FACILITY AREA OF STILL FLOOR

1.	2.550 X 5.790 X 2 =	29.718 SQ.M
2.	0.280 X 6.250 X 2 =	3.500 SQ.M
3.	0.115 X 2.930 X 2 =	0.672 SQ.M
4.	0.115 X 2.930 X 2 =	0.672 SQ.M
5.	0.280 X 6.250 X 2 =	3.500 SQ.M
6.	0.115 X 2.930 X 2 =	0.672 SQ.M
7.	0.115 X 2.930 X 2 =	0.672 SQ.M
8.	0.115 X 2.930 X 2 =	0.672 SQ.M
9.	0.115 X 2.930 X 2 =	0.672 SQ.M
10.	0.115 X 2.930 X 2 =	0.672 SQ.M
TOTAL =		48.435 SQ.M
SAY AS =		48.435 SQ.M

AREA DETAIL (F.A.R.) 1st. TO 24th. FLOOR

FLAT NO.	Flat area	No. Of Flat	TOTAL AREA
UNIT 01 (010405408)	56.40	4 No.	225.60 Sq. M.
UNIT 02 (02803)	55.51	2No.	111.02 Sq. M.
UNIT 03 (03807)	55.33	2No.	110.67 Sq. M.
TOTAL AREA (Flat)			447.29 Sq. M.
CIRCULATION F.A.R. AREA			82.14 Sq. M.
TOTAL =			529.43 Sq. M.



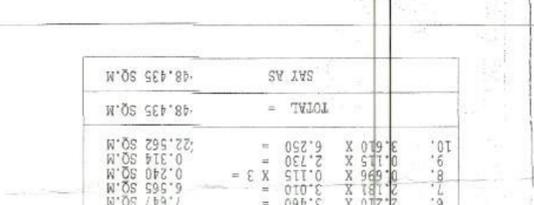
F.A.R. AREA DETAIL OF UNIT 06 & 07 AREA SAME

1.	3.650 X 3.285 =	11.990 SQ.M
2.	1.780 X 0.300 =	0.534 SQ.M
3.	1.620 X 0.300 =	0.486 SQ.M
4.	1.480 X 0.300 =	0.444 SQ.M
5.	1.570 X 0.300 =	0.471 SQ.M
6.	1.378 X 0.300 =	0.413 SQ.M
7.	1.378 X 0.300 =	0.413 SQ.M
8.	1.378 X 0.300 =	0.413 SQ.M
9.	1.378 X 0.300 =	0.413 SQ.M
10.	1.378 X 0.300 =	0.413 SQ.M
11.	1.378 X 0.300 =	0.413 SQ.M
12.	1.378 X 0.300 =	0.413 SQ.M
13.	1.378 X 0.300 =	0.413 SQ.M
14.	1.378 X 0.300 =	0.413 SQ.M
15.	1.378 X 0.300 =	0.413 SQ.M
16.	1.378 X 0.300 =	0.413 SQ.M
17.	1.378 X 0.300 =	0.413 SQ.M
18.	1.378 X 0.300 =	0.413 SQ.M
19.	1.378 X 0.300 =	0.413 SQ.M
20.	1.378 X 0.300 =	0.413 SQ.M
21.	1.378 X 0.300 =	0.413 SQ.M
22.	1.378 X 0.300 =	0.413 SQ.M
23.	1.378 X 0.300 =	0.413 SQ.M
24.	1.378 X 0.300 =	0.413 SQ.M
25.	1.378 X 0.300 =	0.413 SQ.M
26.	1.378 X 0.300 =	0.413 SQ.M
27.	1.378 X 0.300 =	0.413 SQ.M
28.	1.378 X 0.300 =	0.413 SQ.M
29.	1.378 X 0.300 =	0.413 SQ.M
30.	1.378 X 0.300 =	0.413 SQ.M
TOTAL =		55.353 SQ.M
SAY AS =		55.35 SQ.M



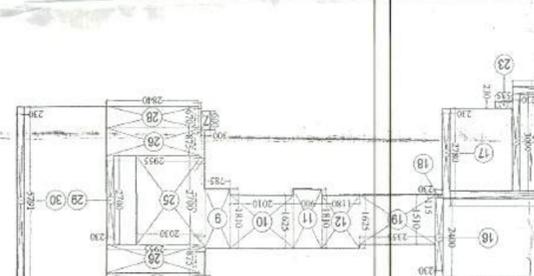
15% FACILITY AREA OF 1st. FLOOR TO 24th.

1.	2.550 X 5.790 X 2 =	29.718 SQ.M
2.	0.280 X 6.250 X 2 =	3.500 SQ.M
3.	0.115 X 2.930 X 2 =	0.672 SQ.M
4.	0.115 X 2.930 X 2 =	0.672 SQ.M
5.	0.280 X 6.250 X 2 =	3.500 SQ.M
6.	0.115 X 2.930 X 2 =	0.672 SQ.M
7.	0.115 X 2.930 X 2 =	0.672 SQ.M
8.	0.115 X 2.930 X 2 =	0.672 SQ.M
9.	0.115 X 2.930 X 2 =	0.672 SQ.M
10.	0.115 X 2.930 X 2 =	0.672 SQ.M
TOTAL =		48.435 SQ.M
SAY AS =		48.435 SQ.M



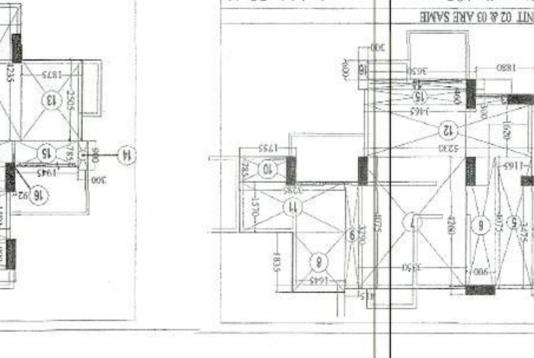
15% FACILITY AREA OF STILL FLOOR

1.	2.550 X 5.790 X 2 =	29.718 SQ.M
2.	0.280 X 6.250 X 2 =	3.500 SQ.M
3.	0.115 X 2.930 X 2 =	0.672 SQ.M
4.	0.115 X 2.930 X 2 =	0.672 SQ.M
5.	0.280 X 6.250 X 2 =	3.500 SQ.M
6.	0.115 X 2.930 X 2 =	0.672 SQ.M
7.	0.115 X 2.930 X 2 =	0.672 SQ.M
8.	0.115 X 2.930 X 2 =	0.672 SQ.M
9.	0.115 X 2.930 X 2 =	0.672 SQ.M
10.	0.115 X 2.930 X 2 =	0.672 SQ.M
TOTAL =		48.435 SQ.M
SAY AS =		48.435 SQ.M



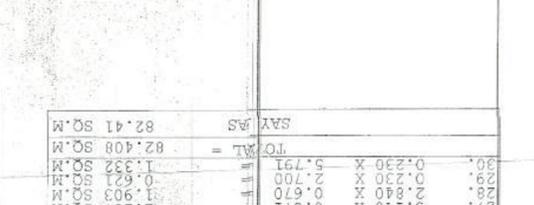
F.A.R. AREA DETAIL OF UNIT 04 & 05 AREA SAME

1.	3.650 X 3.285 =	11.990 SQ.M
2.	1.780 X 0.300 =	0.534 SQ.M
3.	1.620 X 0.300 =	0.486 SQ.M
4.	1.480 X 0.300 =	0.444 SQ.M
5.	1.570 X 0.300 =	0.471 SQ.M
6.	1.378 X 0.300 =	0.413 SQ.M
7.	1.378 X 0.300 =	0.413 SQ.M
8.	1.378 X 0.300 =	0.413 SQ.M
9.	1.378 X 0.300 =	0.413 SQ.M
10.	1.378 X 0.300 =	0.413 SQ.M
11.	1.378 X 0.300 =	0.413 SQ.M
12.	1.378 X 0.300 =	0.413 SQ.M
13.	1.378 X 0.300 =	0.413 SQ.M
14.	1.378 X 0.300 =	0.413 SQ.M
15.	1.378 X 0.300 =	0.413 SQ.M
16.	1.378 X 0.300 =	0.413 SQ.M
17.	1.378 X 0.300 =	0.413 SQ.M
18.	1.378 X 0.300 =	0.413 SQ.M
19.	1.378 X 0.300 =	0.413 SQ.M
20.	1.378 X 0.300 =	0.413 SQ.M
21.	1.378 X 0.300 =	0.413 SQ.M
22.	1.378 X 0.300 =	0.413 SQ.M
23.	1.378 X 0.300 =	0.413 SQ.M
24.	1.378 X 0.300 =	0.413 SQ.M
25.	1.378 X 0.300 =	0.413 SQ.M
26.	1.378 X 0.300 =	0.413 SQ.M
27.	1.378 X 0.300 =	0.413 SQ.M
28.	1.378 X 0.300 =	0.413 SQ.M
29.	1.378 X 0.300 =	0.413 SQ.M
30.	1.378 X 0.300 =	0.413 SQ.M
TOTAL =		55.509 SQ.M
SAY AS =		55.51 SQ.M



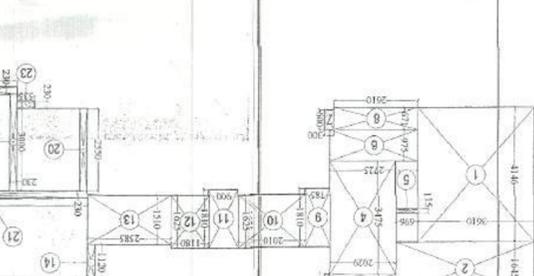
15% FACILITY AREA OF 1st. FLOOR TO 24th.

1.	2.550 X 5.790 X 2 =	29.718 SQ.M
2.	0.280 X 6.250 X 2 =	3.500 SQ.M
3.	0.115 X 2.930 X 2 =	0.672 SQ.M
4.	0.115 X 2.930 X 2 =	0.672 SQ.M
5.	0.280 X 6.250 X 2 =	3.500 SQ.M
6.	0.115 X 2.930 X 2 =	0.672 SQ.M
7.	0.115 X 2.930 X 2 =	0.672 SQ.M
8.	0.115 X 2.930 X 2 =	0.672 SQ.M
9.	0.115 X 2.930 X 2 =	0.672 SQ.M
10.	0.115 X 2.930 X 2 =	0.672 SQ.M
TOTAL =		48.435 SQ.M
SAY AS =		48.435 SQ.M



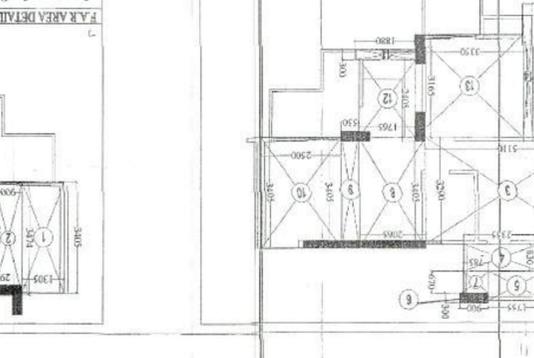
15% FACILITY AREA OF STILL FLOOR

1.	2.550 X 5.790 X 2 =	29.718 SQ.M
2.	0.280 X 6.250 X 2 =	3.500 SQ.M
3.	0.115 X 2.930 X 2 =	0.672 SQ.M
4.	0.115 X 2.930 X 2 =	0.672 SQ.M
5.	0.280 X 6.250 X 2 =	3.500 SQ.M
6.	0.115 X 2.930 X 2 =	0.672 SQ.M
7.	0.115 X 2.930 X 2 =	0.672 SQ.M
8.	0.115 X 2.930 X 2 =	0.672 SQ.M
9.	0.115 X 2.930 X 2 =	0.672 SQ.M
10.	0.115 X 2.930 X 2 =	0.672 SQ.M
TOTAL =		48.435 SQ.M
SAY AS =		48.435 SQ.M



F.A.R. AREA DETAIL OF UNIT 08 & 09 AREA SAME

1.	3.650 X 3.285 =	11.990 SQ.M
2.	1.780 X 0.300 =	0.534 SQ.M
3.	1.620 X 0.300 =	0.486 SQ.M
4.	1.480 X 0.300 =	0.444 SQ.M
5.	1.570 X 0.300 =	0.471 SQ.M
6.	1.378 X 0.300 =	0.413 SQ.M
7.	1.378 X 0.300 =	0.413 SQ.M
8.	1.378 X 0.300 =	0.413 SQ.M
9.	1.378 X 0.300 =	0.413 SQ.M
10.	1.378 X 0.300 =	0.413 SQ.M
11.	1.378 X 0.300 =	0.413 SQ.M
12.	1.378 X 0.300 =	0.413 SQ.M
13.	1.378 X 0.300 =	0.413 SQ.M
14.	1.378 X 0.300 =	0.413 SQ.M
15.	1.378 X 0.300 =	0.413 SQ.M
16.	1.378 X 0.300 =	0.413 SQ.M
17.	1.378 X 0.300 =	0.413 SQ.M
18.	1.378 X 0.300 =	0.413 SQ.M
19.	1.378 X 0.300 =	0.413 SQ.M
20.	1.378 X 0.300 =	0.413 SQ.M
21.	1.378 X 0.300 =	0.413 SQ.M
22.	1.378 X 0.300 =	0.413 SQ.M
23.	1.378 X 0.300 =	0.413 SQ.M
24.	1.378 X 0.300 =	0.413 SQ.M
25.	1.378 X 0.300 =	0.413 SQ.M
26.	1.378 X 0.300 =	0.413 SQ.M
27.	1.378 X 0.300 =	0.413 SQ.M
28.	1.378 X 0.300 =	0.413 SQ.M
29.	1.378 X 0.300 =	0.413 SQ.M
30.	1.378 X 0.300 =	0.413 SQ.M
TOTAL =		56.404 SQ.M
SAY AS =		56.40 SQ.M



F.A.R. AREA DETAIL OF UNIT 10 & 11 AREA SAME

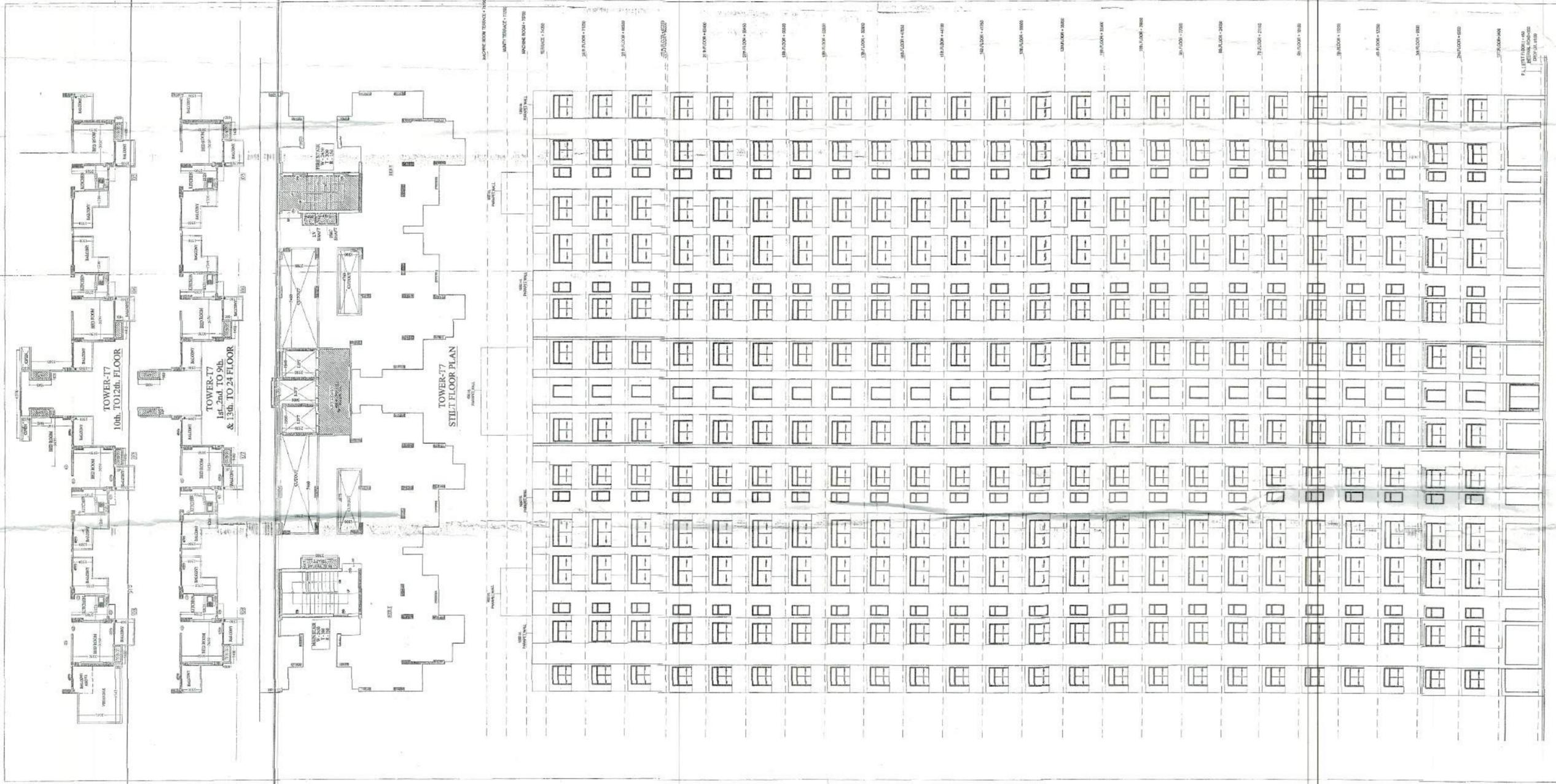
1.	3.650 X 3.285 =	11.990 SQ.M
2.	1.780 X 0.300 =	0.534 SQ.M
3.	1.620 X 0.300 =	0.486 SQ.M
4.	1.480 X 0.300 =	0.444 SQ.M
5.	1.570 X 0.300 =	0.471 SQ.M
6.	1.378 X 0.300 =	0.413 SQ.M
7.	1.378 X 0.300 =	0.413 SQ.M
8.	1.378 X 0.300 =	0.413 SQ.M
9.	1.378 X 0.300 =	0.413 SQ.M
10.	1.378 X 0.300 =	0.413 SQ.M
11.	1.378 X 0.300 =	0.413 SQ.M
12.	1.378 X 0.300 =	0.413 SQ.M
13.	1.378 X 0.300 =	0.413 SQ.M
14.	1.378 X 0.300 =	0.413 SQ.M
15.	1.378 X 0.300 =	0.413 SQ.M
16.	1.378 X 0.300 =	0.413 SQ.M
17.	1.378 X 0.300 =	0.413 SQ.M
18.	1.378 X 0.300 =	0.413 SQ.M
19.	1.378 X 0.300 =	0.413 SQ.M
20.	1.378 X 0.300 =	0.413 SQ.M
21.	1.378 X 0.300 =	0.413 SQ.M
22.	1.378 X 0.300 =	0.413 SQ.M
23.	1.378 X 0.300 =	0.413 SQ.M
24.	1.378 X 0.300 =	0.413 SQ.M
25.	1.378 X 0.300 =	0.413 SQ.M
26.	1.378 X 0.300 =	0.413 SQ.M
27.	1.378 X 0.300 =	

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Greater Noida Industrial Dev. Authority
 Greater Noida
 Sector-17
 Plot No. DV-GH-09B
 Date: 12/11/11
 Scale: 1:100
 Project: Tower-17
 Drawing: Elevation

Greater Noida Industrial Dev. Authority
 Greater Noida
 Sector-17
 Plot No. DV-GH-09B
 Date: 12/11/11
 Scale: 1:100
 Project: Tower-17
 Drawing: Elevation

DUPLICATE
 For use only
 For reference only



ELEVATION: T17

SUBMISSION DRAWING		FOR M. V. DEVELOPERS PVT. LTD.	
PROJECT: PROPOSED GROUP HOUSING AT PLOT NO. DV-GH-09B, SECTOR-TECHZONE IV, G. NOIDA		APPROVED BY: [Signature]	
CLIENT: KV DEVELOPERS PVT. LTD.		OWNER'S SIGN: [Signature]	
TITLE: TOWER-17		DATE: 12/11/11	
REVISION: T17		SCALE: 1:100	
DRAWING NO: SD-41		NORTH: [Arrow]	

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